



## HISTORIC DISTRICT COMMISSION

April 4, 2024 - 6:00PM  
Saugatuck City Hall  
102 Butler St. Saugatuck, MI 49453

1. **Call to Order**
2. **Roll Call**
3. **Agenda Changes/Additions/Deletions**
4. **Approval of Minutes:**
  - A. Minutes of Regular Meeting held on March 7, 2024
5. **Public Comments on Agenda Items** (*Limit 3 Minutes*)
6. **Unfinished Business:**
7. **New Business:**
  - A. 132 Mason – Outdoor Dining on Patio and Parking Space
  - B. 128 Hoffman – Outdoor Dining on Sidewalk Area and Parking Spaces
  - C. 246 Butler – Front Door Replacement
  - D. 650 Water – Kitchen Hood, HVAC, and Screening
  - E. 120 Mary – Renovation of Principal Dwelling, Conversion of Accessory Building, Installation of Pool and Hot Tub
  - F. Continued Discussion of Goals
8. **Administrative Approvals & Updates:**
  - A. 329-339 Culver – Lift Gate (pending)
  - B. 247 Butler – Roof Replacement

### **NOTICE:**

This public meeting will be held in-person. The public can join via Zoom video/audio conference technology.

Join online by visiting:

<https://us02web.zoom.us/j/2698572603>

Join by phone by dialing:

**(312) 626-6799**

**-or-**

**(646) 518-9805**

Then enter "Meeting ID":

**269 857 2603**

Please send questions or comments regarding meeting agenda items prior to meeting to: [rcummins@saugatuckcity.com](mailto:rcummins@saugatuckcity.com)

C. 241 Culver – Roof Replacement (pending)

**9. Communication:**

**10. Public Comments** (*Limit 3 Minutes*)

**11. Commission Comments**

**12. Adjourn** (*Voice Vote*)

*The Saugatuck Historic District Commission has the responsibility to regulate the construction, demolition, and improvements to the exterior of structures in the historic district. The intent is to safeguard the heritage of the City of Saugatuck, to protect the architecture and local village character of the City, to foster civic beauty, and to promote the use of historic districts for the education, pleasure, and welfare of the residents, visitors, and general public.*



**City of Saugatuck  
Historic District Commission  
Meeting Minutes March 7, 2024, 6:00 PM**

**PROPOSED**

Saugatuck City Hall  
102 Butler Street

**Call to Order/Roll Call:** Chair Straker called the meeting to order at 6:00 p.m.

**Present:** Chairman Straker, Vice-Chairman Paterson, Commission members: Cannarsa, Donahue, Gardner, Godfrey & Leo.

**Absent:** None.

**Others Present:** Director of Planning, Zoning, and Project Management Cummins, Deputy Clerk Williams.

**Agenda Changes/Additions/Deletions:**

Move item 8c “Continuation of Discussion of 2024 Goals” under Administrative Approvals and Updates to New Business, Item 7c.

**Approval of Minutes for February 1, 2024:**

*Motion by Donahue, second by Cannarsa, to approve the minutes for the February 1, 2024, meeting minutes. Upon voice vote, the motion was carried unanimously.*

**Public Comments:** None.

**Unfinished Business:** None.

**New Business:**

A. 149 Griffith – Minor deviations from approved plans:

The applicant requests approval for a partial roof replacement and installation of vinyl siding along the rear side of a front parapet. All applications to construct, alter, repair, move, or demolish any structure or install or alter any signage or fence structure in a historic district

shall include the supporting plans and documents as specified by § 152.07 B. The applicant has provided specifications concerning the proposed roofing and siding materials. While the location of the siding was specified, the extent of the roof replacement is unclear (the application states “one whole section”).

*Motion by Leo, second by Gardner to approve the roofing and siding project for the building located at 120 Butler Street in accordance with the plans and details submitted within the application materials. Upon voice vote, the motion was carried unanimously.*

B. 230 Culver – Installation of Canvas and Metal Entry Structure:

The applicant requests a canvas and metal entry structure at 230 Culver Street, the home of Bowdies Chophouse. In 2018, the HDC considered a request to install pergolas on each side of a black canvas awning in front of the restaurant building. The approved elements do not currently exist on the site. The 12-6-18 minutes state:

***P-HIS 18046 / 230 Culver Street – Pergola Addition:*** *A motion was made by Peterson, 2nd by Cannarsa, to approve Application P-HIS 18046 / 230 Culver Street for installation of two black metal frame pergola structures over the restaurant’s existing outdoor patio area. The motion included approving the vestibule entryway cover on a seasonal basis from about Halloween to Easter (removed completely between approximately Easter to Halloween), conditioned upon fire department approval. Upon voice vote the motion was carried unanimously.*

*Motion by Godfrey, second by Gardner to approve the proposed temporary/seasonal canvas and metal entry structure in accordance with the plans and details submitted within the application materials. Approval shall be subject to the following conditions:*

- *Temporary/Seasonal entry structure is approved for installation around November 1<sup>st</sup> and is requested to be removed no later than May 15<sup>th</sup>. Upon voice vote, the motion was carried unanimously.*
- *The temporary entry structure material shall be constructed of materials previously approved by Chris Mantels, Deputy Chief/Fire Inspector.*

*Upon Voice vote, motion was carried unanimously.*

C. Discussion of 2024 Goals:

Chair Straker said that after their last meeting he went while it was still fresh in his head and tried to get some things onto a sheet of paper. He included these notes in the packet and told the Commission to take it as a starting point. He said that they should have around three major macro goals and a little bit of work on the charter for their goals for the team in 2024. He likes the idea of a post meeting survey that is super simple with like three questions such as, would you recommend this experience to someone else, yes or no? He says it is as simple as that and starts to get a baseline. He said that they can come up with the questions later. The group has also spoken about a newspaper spotlight, but he says that a quarterly spotlight is about as ambitious as he would like to go. They have also talked about thank you notes, and Straker said at the end of the meeting after they adjourn, they send them around to the

Commission and then mail them to the applicant. He said that they have talked about a rewards program which would need to be flushed out. He thinks training is self-explanatory. He appreciates that Commissioner Paterson has always had interest in diving deeper into guidelines and interpreting that.

Commission member Donahue thinks that they should focus on like three topics and know that they can accomplish them instead of coming up with a whole bunch of stuff that they aren't going to achieve.

Commission member Gardner said that he presented to Council last night to think about policies that they may want for the Historic District Commission. They are the policy body, and we will see if they come up with anything good. He thinks they may not get anything back as he says he doesn't think most of them understand what the Historic District Commission's role is in the community. He thinks it may be an opportunity for them to do a presentation at a Council meeting at some point or a guest speaker to talk to Council about what HDC does and doesn't do. He thinks there are some misperceptions about things that the Historic District Commission that the HDC used to do but doesn't do anymore.

Chair Straker asked Zoning Administrator Cummins about a year end summary and asked if he has done this since he has been here. Cummins said that Cindy did them on a regular basis. Chair Straker said that they were a pretty good baseline of the activity that the HDC completed that year, and it is a great report that goes back to Council noting what they have learned and shows that they are tracking information.

Commission member Cannarsa said that he particularly likes the purpose and said that it's really distinct. He said if they do a newspaper spotlight, it could be in italics at the bottom, it could be on the back of the inside of their Thank You cards, it needs to be something that they repeat because it is important. That is why they are here to remind themselves and other people while they are here.

Chair Straker said that in comparison to the thing that is on the back of their agenda, he was trying to stay away from what he thinks about the charter versus their purpose. He doesn't know if it's overlap or not. Maybe there are two different things, and they are doing the same thing, and can they get rid of one of them. He said that he almost feels like what is written on the back on page two was probably something written by either another commission or a state or Secretary of Interior. Something which doesn't make it right or wrong. It's just longer and a little more like they have the responsibility.

Commissioner Leo said that goes back to the original intent of the HDC to stop the demolition of the old cottages. Commissioner Gardner said that he understands where Leo is coming from, but he says that this is still the HDC's responsibility. Leo reiterated that they were trying to get the cottages removed so they could build three new houses and the Commission pushed back pretty hard on that.

Commissioner Cannarsa said that his point is, that they use the word carefully preserving in there, and this is something that someone would read, and he thinks they would stop reading that. He was referring to it terms of marketing, like something like this would be good to put up in front of people.

Chair Straker said that you can keep this because it's official and you could add to the end, say it in another way, or how they can do that. Commissioner Paterson added that this could do well in a trifold and it would do good in a courtroom. Straker asked the Commission if there was anything in the top section that they would like to add or delete. Commissioner Gardner said that he personally thinks that it is good. He said that he would take the next steps and put it into a grid and say, okay here are the dates and here is what we need to do. He said to just out some timelines around these and use a smart approach. Just so they can measure against this. Straker added that maybe there is an addition, once they understand policies from Council to that they may want to add and then just make sure that they are adding part of the goals and that there is a circle back at the yearly summary to educate.

The Commissioners then discussed Establishing Internal Champions and assigned each commissioner an area of focus:

1. Building Materials – John Cannarsa
2. External Communication – Will Donahue
3. Guidelines Expertise – Keith Paterson
4. Community Nuance – Russ Gardner
5. Learning/Trends from other Historic Districts – Laura Godfrey

#### **Administrative Approvals & Updates:**

- 149 Griffith – Minor deviations from approved plans.
- 435 Water – Signage.
- Reminder of training on Tuesday, March 12, 2024.

**Communication:** None.

**Public Comment:** None.

#### **Commission Comments:**

Commissioner Godfrey: She says she frequently gets asked about mural and asked the Commission if there was a deadline for the removal. Zoning Administrator Cummins said that they evaluated options to remove the mural without damaging the structure. They are now waiting for a safer temperature range for the removal. Vendors are scheduling really far out at this time.

Commissioner Gardner: He said that his house needs the roof replaced and asked if that would need to be approved by the Historic District Commission. Zoning Administrator Cummins answered “yes”. He said that a clock that used to be displayed on the front of City Hall was found in the old Wilkins building. He is on a mission to get the clock back.

#### **Adjourn:**

*Motion by Gardner, second by Leo to adjourn. Upon voice vote, motion carried unanimously. Chairman Straker adjourned the meeting at 7:03 p.m.*

Respectfully Submitted by  
Sara Williams,

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Deputy Clerk



## MEMORANDUM

**TO:** Historic District Commission  
City of Saugatuck

**FROM:** David M. Jirousek, AICP  
Consulting Planner

**DATE:** April 1, 2024

**RE:** Historic District Permit Application, Brian and Lisa Barnhill: 132 Mason Street

**REQUEST:** The applicant requests Historic District Commission approval for an expanded outdoor seating area at the Round the Corner Ice Cream Shop.

**BACKGROUND:** The property is located in the City Center C-1 zoning district and the Historic District. The building at 132 Mason Street is a contributing resource built in the 1890s. Three tables with three chairs each are proposed in the existing patio area in front of the building, and three tables with three chairs each are planned to be placed within one public parking space within the City's right-of-way (May 1<sup>st</sup> to September 30).

The applicable describes the tables as round, and the tables and chairs are constructed with matching stainless steel. The tables and chairs will be the same as those provided in previous seasons, as shown in the pictures in the application and as evident in street-view online imagery. Although dimensions are described, no images of the benches, trash container, or market-style string lights were provided.

**APPLICABILITY:** A permit shall be obtained before any work affecting the exterior appearance of a resource is performed within the Historic District (§ 152.03).

### § 152.07 D. GUIDELINES:

- 1. In reviewing applications and plans submitted under this chapter, the Commission shall follow U.S. Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Structures as set forth in 36 C.F.R. part 67, as amended. Additional guidelines may be developed and followed if they are equivalent in guidance to the Secretary's standards and guidelines and are approved by the Center. Any additional guidelines must be adopted by the Commission and approved by the City*



*Council. In reviewing applications and plans, the Commission shall also give consideration to:*

- a. The historical or architectural significance of the resource and its relationship to the historic value of the surrounding area.*
  - b. The compatibility of the exterior of the structure and the space around it with the visual or historical context of the surrounding area.*
  - c. The impact of the exterior of the structure and the space around it on the village/rural character and contextual aesthetic of the city.*
  - d. Other factors which the Commission considers to be pertinent.*
- 2. In exercising its authority to approve or deny an application under this chapter, the Commission shall exercise its educated judgment on a case-by-case basis in interpreting these guidelines and the following the applicable standards.*

**COMPLETENESS REVIEW:** All applications to construct, alter, repair, move, or demolish any structure or install or alter any signage or fence structure in a historic district shall include the supporting plans and documents as specified by § 152.07 B. The applicant provided a sketch plan with furniture and barrier locations and site photographs from previous seasons.

**RECOMMENDATION:** The HDC guidelines have no specific recommendations regarding temporary tables and chairs. In this case, the intent of § 152.07 D. Guidelines should be considered. We feel that the number, style, and location of tables and chairs do not detract from the overall character of the contributing property. However, the application should be supplemented by additional images of the benches, trash container, and string lights.

If the HDC determines that the applicable standards of the Historic Preservation Review Guidelines are met, the following motion may be used.

*I move to approve the outdoor dining areas in accordance with the plans, materials, and details submitted with the application for 132 Mason Street. Approval shall be subject to the following conditions (if applicable):*

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_
4. \_\_\_\_\_

5. \_\_\_\_\_

6. \_\_\_\_\_

Commission Review Fee: \$250  
Administrative Review Fee: \$50



## Historic District Permit Application

### LOCATION INFORMATION APPLICATION NUMBER \_\_\_\_\_

Address 132 MASON STREET Parcel Number \_\_\_\_\_

### APPLICANTS INFORMATION

Name BRIAN & LISA BARNHILL Address / PO Box 6407 PALMETTO CT.  
City SAUGATUCK State MI Zip 49453 Phone 269-355-2696  
Interest In Project FENCING & OUTDOOR SEATING E-Mail LISABARNHILL12@YAHOO.COM  
Signature *Lisa Barnhill* *Brian Barnhill* Date 3-18-24

### OWNERS INFORMATION (IF DIFFERENT FROM APPLICANTS)

Name N/A Address / PO Box \_\_\_\_\_  
City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_ Phone \_\_\_\_\_  
E-Mail \_\_\_\_\_

I hereby authorize that the applicant as listed above is authorized to make this application for proposed work as my agent and we agree to conform to all applicable laws and regulations of the City of Saugatuck. I additionally grant City of Saugatuck staff or authorized representatives thereof access to the property to inspect conditions, before, during, and after the proposed work is completed.

Signature \_\_\_\_\_ Date \_\_\_\_\_

### CONTRACTORS/ DEVELOPERS INFORMATION (UNLESS PROPOSED WORK IS TO BE DONE BY THE PROPERTY OWNER)

Name N/A Contact Name \_\_\_\_\_  
Address / PO Box \_\_\_\_\_ City \_\_\_\_\_  
State \_\_\_\_\_ Zip \_\_\_\_\_ Phone \_\_\_\_\_ Fax \_\_\_\_\_  
E-Mail \_\_\_\_\_  
License Number \_\_\_\_\_ Expiration Date \_\_\_\_\_

### PROPERTY INFORMATION

Depth \_\_\_\_\_ Width \_\_\_\_\_ Size \_\_\_\_\_ Zoning District \_\_\_\_\_ Current Use \_\_\_\_\_  
Check all that apply: Waterfront \_\_\_\_\_ Dunes \_\_\_\_\_ Vacant \_\_\_\_\_

### PROJECT DESCRIPTION (ATTACH MORE SHEETS IF NECESSARY)

OUTDOOR SEATING IN PARKING SPOT AND EXISTING PATIO AREAS. SEE ATTACHED DRAWINGS AND LAYOUT. FOR THE MONTHS STARTING MAY 1ST - SEPTEMBER 30.

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## HISTORIC DISTRICT REQUIREMENTS (SECTION 152.07)

Pursuant to Section 152.07, please attach the following supporting documents when applying for historic district approval if applicable:

Y   N   NA

- Photographs of the structure and its relationship to adjacent structures.
- A plot plan with the placement of the proposed addition, or location of fencing to be constructed.
- Elevation drawings of the exterior of the structure or improvements.
- Samples of all proposed exterior finishes and materials.
- Photographs showing, in detail, the problem areas to be addressed during the proposed repair or alteration.
- A scale drawing of all proposed signage, including design, lettering style, type of illumination (if any), placement or location on the lot or building, and the type of support(s) for the sign(s).
- If an application for signage is made by tenants of a building located within a historic district, the tenants must obtain written permission from the building owner to install or alter the proposed sign(s).
- Plot plan showing the following:
  - Current location, shape, area and dimension of the lot.
  - Current site improvements (including structures, sidewalks, decks, streets, fences, etc).
  - Proposed improvements and distances from other improvements or property lines.
  - Proposed and/or current yard, open space and parking space dimensions and calculations.
  - Location of any flood plains, watersheds, wetlands, easements, critical dunes, or other applicable features.
- Description of proposed use and of the building (dwelling, structure, barn, garage and the like) or improvements.
- Detailed written description of the activities related to the proposed use and/or improvements.

**OFFICE USE ONLY:**  
 Application Complete \_\_\_\_\_ Fee Paid \_\_\_\_\_ Date Paid \_\_\_\_\_  
 Notes: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

## Round the Corner Ice Cream Shop – EODA

- Barriers: White vinyl fence, picket style 36" high x 8' long
- Parking space dimensions: 8' deep, 24' long
- Tables/chairs: 24" round stainless steel
- Benches (2): 30" deep, 6' long
- A covered trash container will sit in the middle of the space, measuring 18" wide, 30" tall, 14" deep
- Lighting:
  - Reflective markers on each 8' section of fence
  - Market-style string lights strung from electric outlet on building to (2) metal posts 8' high; cord will wrap down post to fence then be string the length of fence. Solar powered lighting will be used decoratively around the bottom of the fence
  - Lights will be powered 24/7

DRIVE WALKWAY

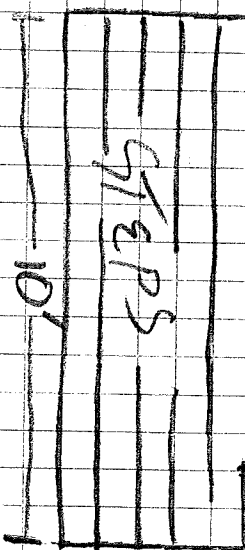
P2

P2

P2

P2

13



14

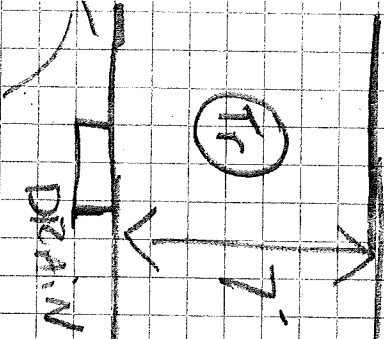
CHAIRLIS

14

16

SIDEWALK

16



TR

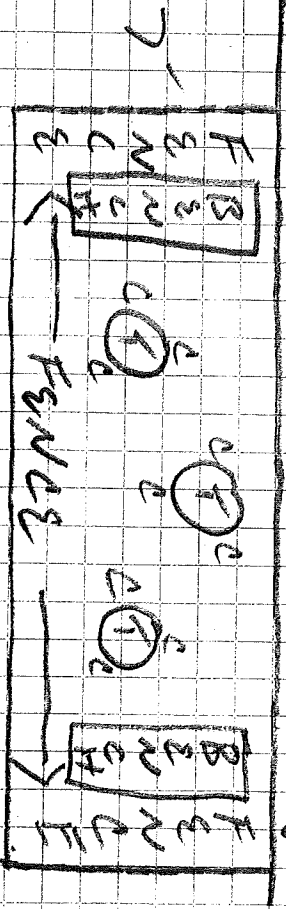
7

DRAIN

TR

BENCH

TR



F BENCH

TR

TR

TR

CHAIRLIS

CHAIRLIS

FOUNT 36"

20

9' DRIVEWAY

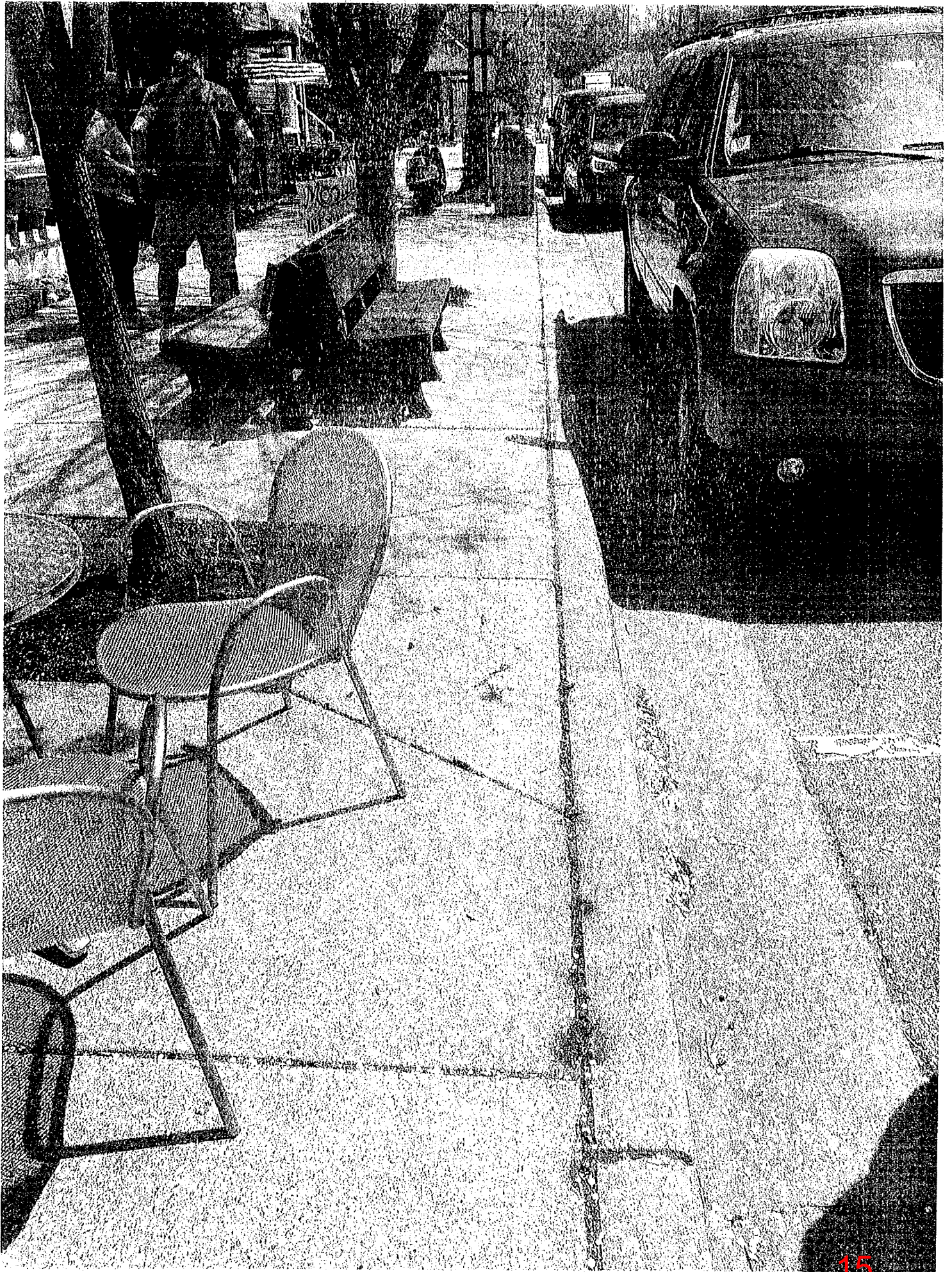
ON WEST SIDE OF BUILDING

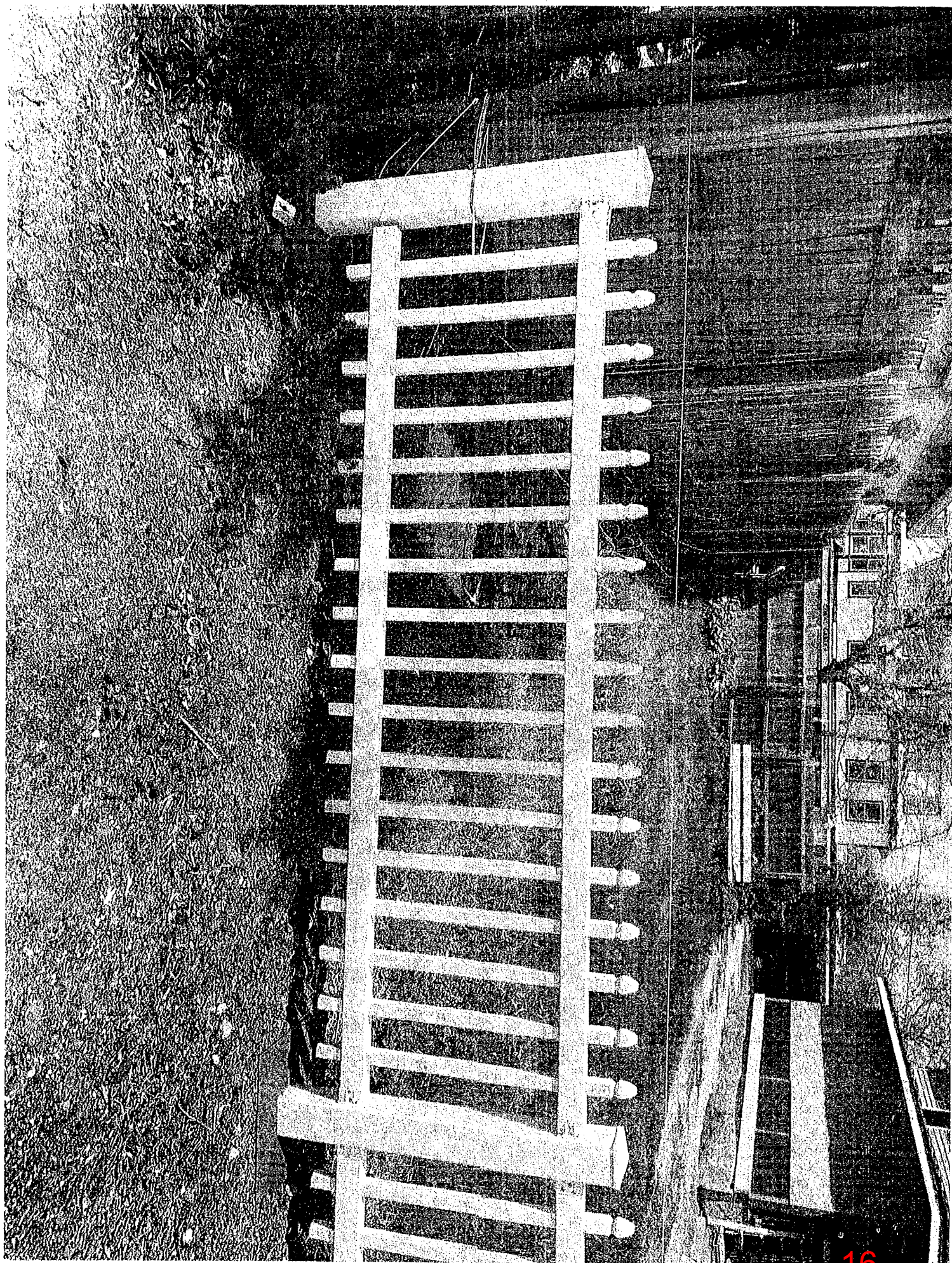
TR = TREE

P = PILLAR

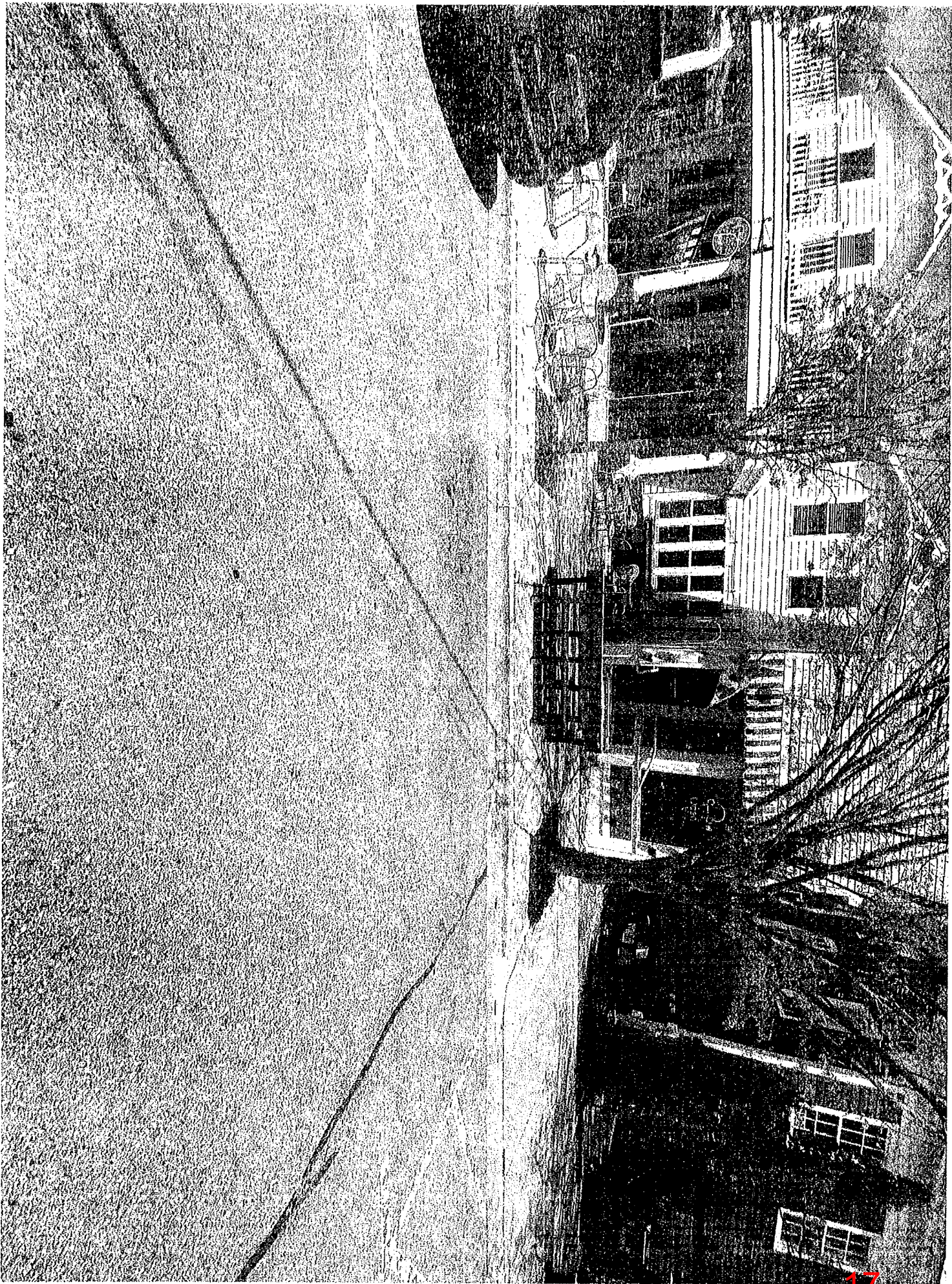
T = TABLE

C = CHAIR









OTOS



Coral Gables

WATER Street

MATROS

SIDE WALK

MASON Street

SIDE WALK

~~GLASS~~  
Business

Driveway

Tea  
merchants

Charlies

Kilwins

Pump

Side walk

Side walk

Butler Street

Sidewalk

Sand  
Bar

Garden

Drugs  
Store



## MEMORANDUM

**TO:** Historic District Commission  
City of Saugatuck

**FROM:** David M. Jirousek, AICP  
Consulting Planner

**DATE:** April 1, 2024

**RE:** Historic District Permit Application, Tom Arnold: 128 Hoffman Street

**REQUEST:** The applicant requests Historic District Commission approval for an expanded outdoor seating area at Wally's Bar and Grill.

**BACKGROUND:** The property is located in the Water Street East C-2 zoning district and the Historic District. The building at 132 Mason Street is a contributing resource built in the mid-1800s. Four square tables with four chairs each are proposed along the sidewalk and tree lawn area. Two square tables with four chairs and three round tables with barstools are proposed within the public parking spaces in front of the building. Previously approved outdoor seating is located outside of the right-of-way directly in front of the building.

The applicant has provided images of the outdoor seating area from previous years, although images show lounge chairs with blue cushions to the west side of the parking spaces. The proposed barriers are black metal with attached LED string lots. The chairs, barstools, and round tables are black, while the square tables have white tops with black legs. A black garbage can is placed in the central area. However, specifications on the sanitation station were not provided.

**APPLICABILITY:** A permit shall be obtained before any work affecting the exterior appearance of a resource is performed within the Historic District (§ 152.03).

### § 152.07 D. GUIDELINES:

1. *In reviewing applications and plans submitted under this chapter, the Commission shall follow U.S. Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Structures as set forth in 36 C.F.R. part 67, as amended. Additional guidelines may be developed and followed if they are equivalent in guidance*

*to the Secretary's standards and guidelines and are approved by the Center. Any additional guidelines must be adopted by the Commission and approved by the City Council. In reviewing applications and plans, the Commission shall also give consideration to:*

- a. The historical or architectural significance of the resource and its relationship to the historic value of the surrounding area.*
  - b. The compatibility of the exterior of the structure and the space around it with the visual or historical context of the surrounding area.*
  - c. The impact of the exterior of the structure and the space around it on the village/rural character and contextual aesthetic of the city.*
  - d. Other factors which the Commission considers to be pertinent.*
- 2. In exercising its authority to approve or deny an application under this chapter, the Commission shall exercise its educated judgment on a case-by-case basis in interpreting these guidelines and the following the applicable standards.*

**COMPLETENESS REVIEW:** All applications to construct, alter, repair, move, or demolish any structure or install or alter any signage or fence structure in a historic district shall include the supporting plans and documents as specified by § 152.07 B. The applicant provided a sketch plan with furniture and barrier locations, site photographs from previous seasons, and specification sheets concerning lighting and barriers.

**RECOMMENDATION:** The HDC guidelines have no specific recommendations regarding temporary tables and chairs. In this case, the intent of § 152.07 D. Guidelines should be considered. We feel that the number, style, and location of tables, chairs, barriers, and lighting do not detract from the overall character of the contributing property.

If the HDC determines that the applicable standards of the Historic Preservation Review Guidelines are met, the following motion may be used.

*I move to approve the outdoor dining areas in accordance with the plans, materials, and details submitted with the application for 128 Hoffman Street. Approval shall be subject to the following conditions (if applicable):*

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_

4. \_\_\_\_\_

5. \_\_\_\_\_

6. \_\_\_\_\_



## Historic District Permit Application

**LOCATION INFORMATION** **APPLICATION NUMBER** \_\_\_\_\_ - \_\_\_\_\_

Address 128 HOFFMAN STREET Parcel Number #0357-300-107-00

**APPLICANTS INFORMATION**

Name WALLY'S BAR & GRILL Address / PO Box P.O. BOX 576  
City SAUGATUCK State MI Zip 49453 Phone 269-857-5641  
Interest In Project \_\_\_\_\_ E-Mail WALLYSSAUGATUCK@GMAIL.COM  
Signature [Signature] Date 3.20.24

**OWNERS INFORMATION (IF DIFFERENT FROM APPLICANTS)**

Name TOM ARNOLD Address / PO Box P.O. BOX 903  
City SAUGATUCK State MI Zip 49453 Phone 616-796-5367  
E-Mail TOMMYWAYNE22@GMAIL.COM

I hereby authorize that the applicant as listed above is authorized to make this application for proposed work as my agent and we agree to conform to all applicable laws and regulations of the City of Saugatuck. I additionally grant City of Saugatuck staff or authorized representatives thereof access to the property to inspect conditions, before, during, and after the proposed work is completed.

Signature [Signature] Date 3.20.24

**CONTRACTORS/ DEVELOPERS INFORMATION (UNLESS PROPOSED WORK IS TO BE DONE BY THE PROPERTY OWNER)**

Name \_\_\_\_\_ Contact Name \_\_\_\_\_  
Address / PO Box \_\_\_\_\_ City \_\_\_\_\_  
State \_\_\_\_\_ Zip \_\_\_\_\_ Phone \_\_\_\_\_ Fax \_\_\_\_\_  
E-Mail \_\_\_\_\_  
License Number \_\_\_\_\_ Expiration Date \_\_\_\_\_

**PROPERTY INFORMATION**

Depth ATTACHED Width Size \_\_\_\_\_ Zoning District \_\_\_\_\_ Current Use \_\_\_\_\_  
Check all that apply: Waterfront \_\_\_\_\_ Dunes \_\_\_\_\_ Vacant \_\_\_\_\_

**PROJECT DESCRIPTION (ATTACH MORE SHEETS IF NECESSARY)**

SEEKING APPROVAL FOR ANNUAL EXPANDED DINING.  
WE HAVE BEEN DOING IT FOR SINCE ITS INCEPTION. PLEASE SEE ATTACHED






**HISTORIC DISTRICT REQUIREMENTS (SECTION 152.07)**

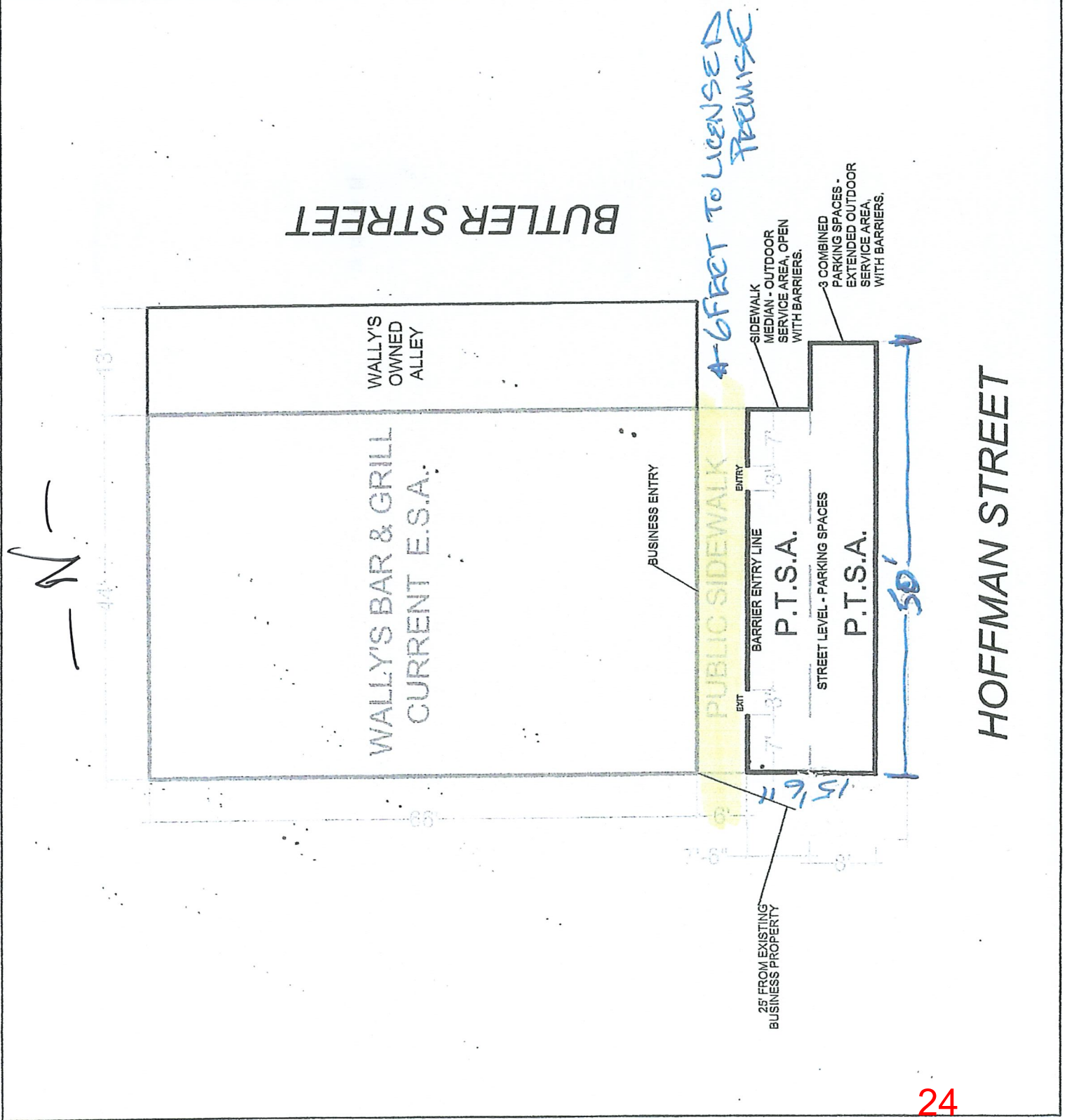
Pursuant to Section 152.07, please attach the following supporting documents when applying for historic district approval if applicable:

Y N NA

- Photographs of the structure and its relationship to adjacent structures.
- A plot plan with the placement of the proposed addition, or location of fencing to be constructed.
- Elevation drawings of the exterior of the structure or improvements.
- Samples of all proposed exterior finishes and materials.
- Photographs showing, in detail, the problem areas to be addressed during the proposed repair or alteration.
- A scale drawing of all proposed signage, including design, lettering style, type of illumination (if any), placement or location on the lot or building, and the type of support(s) for the sign(s).
- If an application for signage is made by tenants of a building located within a historic district, the tenants must obtain written permission from the building owner to install or alter the proposed sign(s).
- Plot plan showing the following:
  - Current location, shape, area and dimension of the lot.
  - Current site improvements (including structures, sidewalks, decks, streets, fences, etc).
  - Proposed improvements and distances from other improvements or property lines.
  - Proposed and/or current yard, open space and parking space dimensions and calculations.
  - Location of any flood plains, watersheds, wetlands, easements, critical dunes, or other applicable features.
  - Description of proposed use and of the building (dwelling, structure, barn, garage and the like) or improvements.
  - Detailed written description of the activities related to the proposed use and/or improvements.

**OFFICE USE ONLY:**  
 Application Complete \_\_\_\_\_ Fee Paid \_\_\_\_\_ Date Paid \_\_\_\_\_  
 Notes: \_\_\_\_\_  
 \_\_\_\_\_  
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 \_\_\_\_\_  
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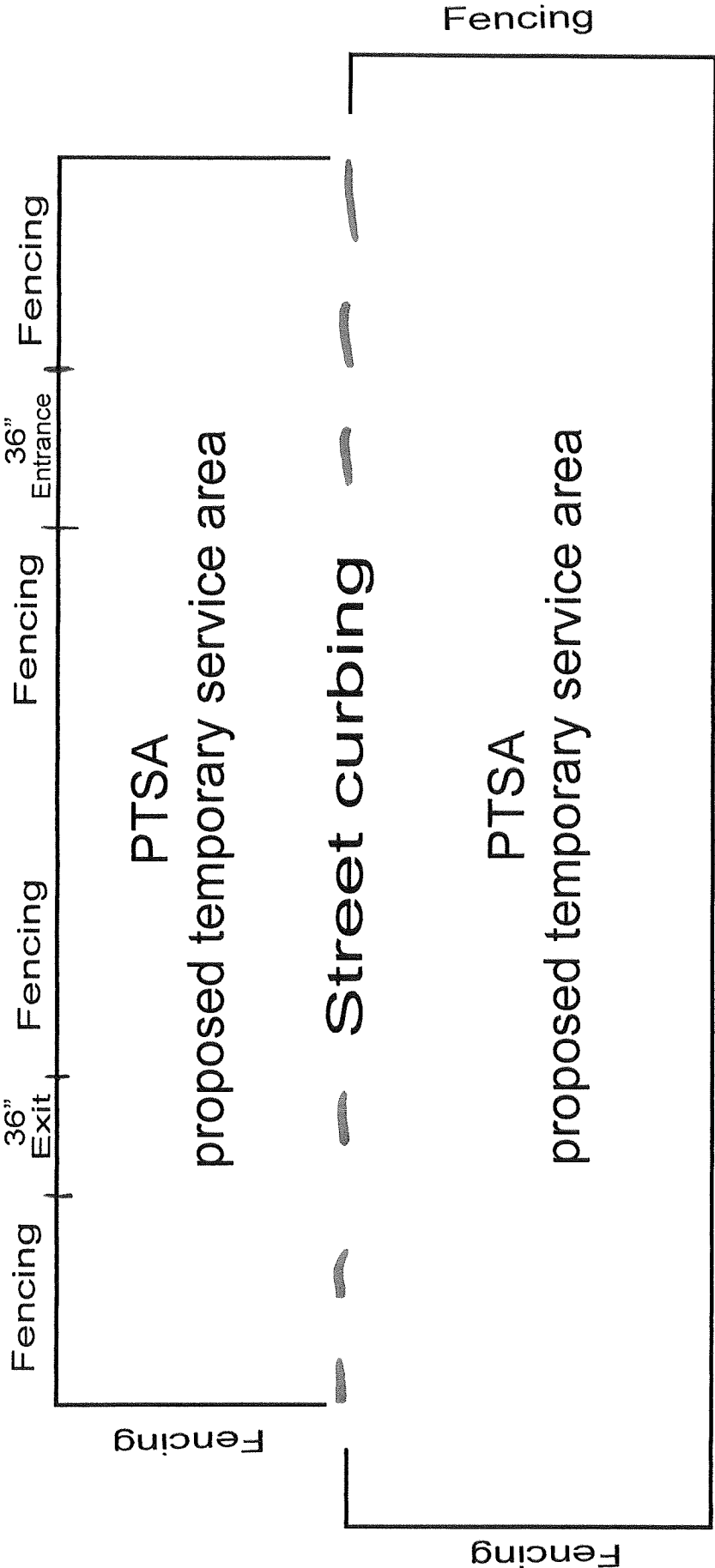
<b>LEGEND</b>	
<b>E.S.A.</b>	EXISTING SERVICE AREA
<b>P.T.S.A.</b>	PROPOSED TEMPORARY SERVICE AREA
	BARRIER - HEIGHT 38", LENGTH 7'-0"
<b>DOC. TITLE</b>	
2020 PROPOSED OUTDOOR SERVICE AREA DIAGRAM	
<b>BUSINESS OWNER</b>	
TOM ARNOLD	
<b>BUSINESS</b>	
AL TOM ENTERPRISES, INC. WALLY'S	
<b>ADDRESS</b>	
128 HOFFMAN ST. SAUGATUCK, MI 49453	
<b>DATE</b>	05/31/2020
<b>SCALE</b>	1/16" = 1'-0"
<b>SITE PLAN</b>	
 	





—N—

# Facing Wally's Bar & Grill ESA (Established Service Area)

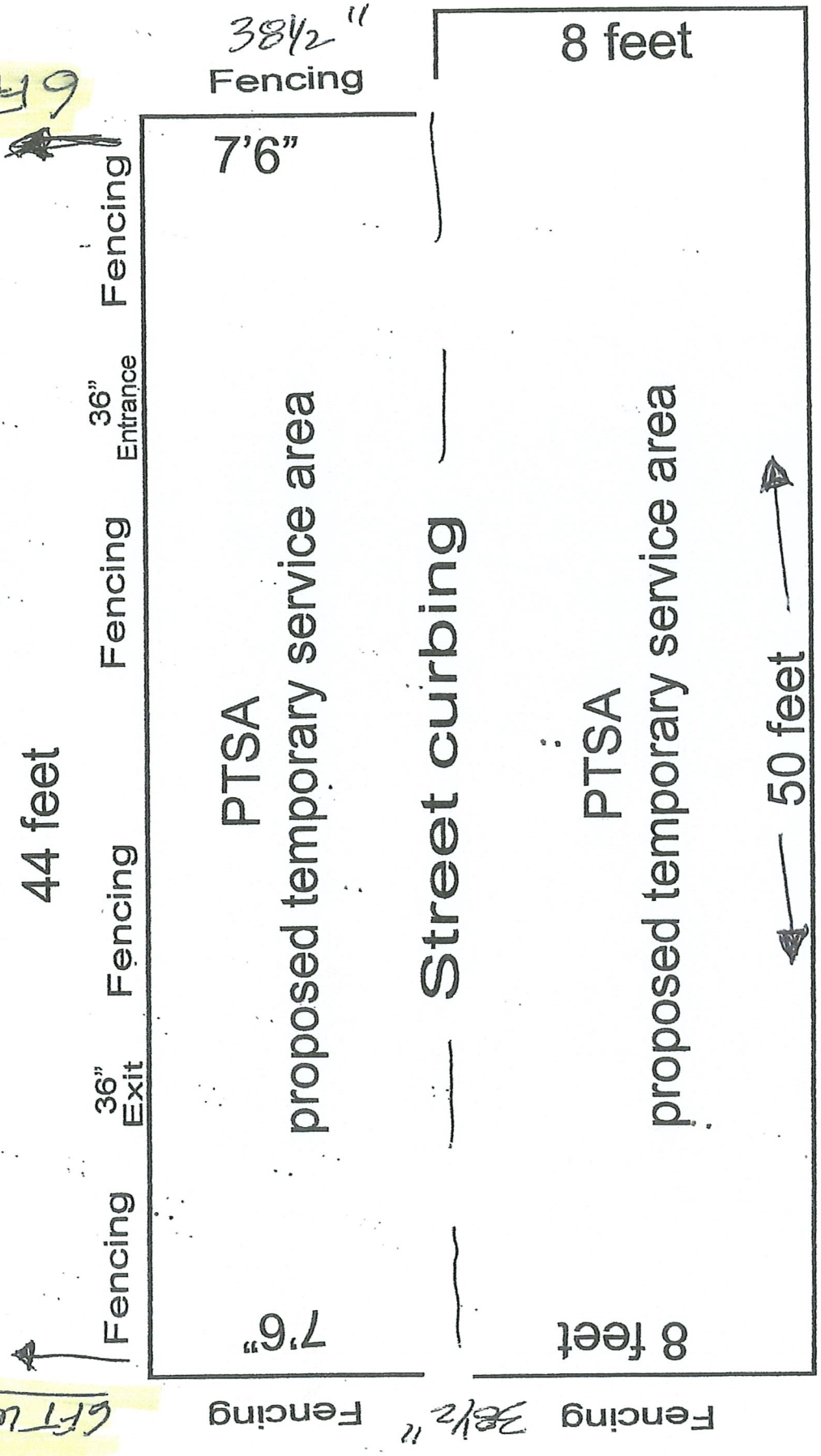


# Fencing

- NS -

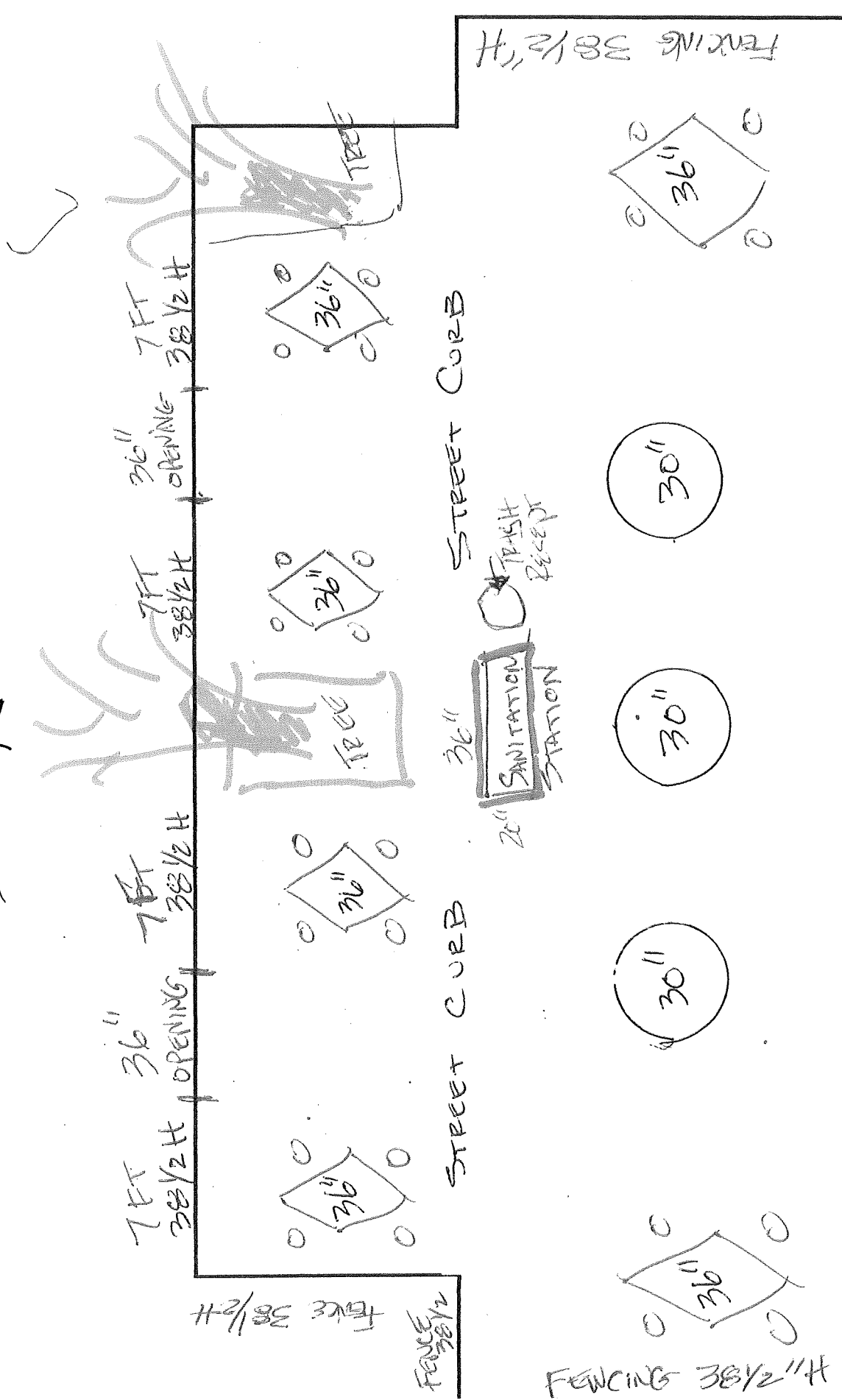
# Facing Wally's Bar & Grill ESA (Established Service Area)

6 FT Wally's

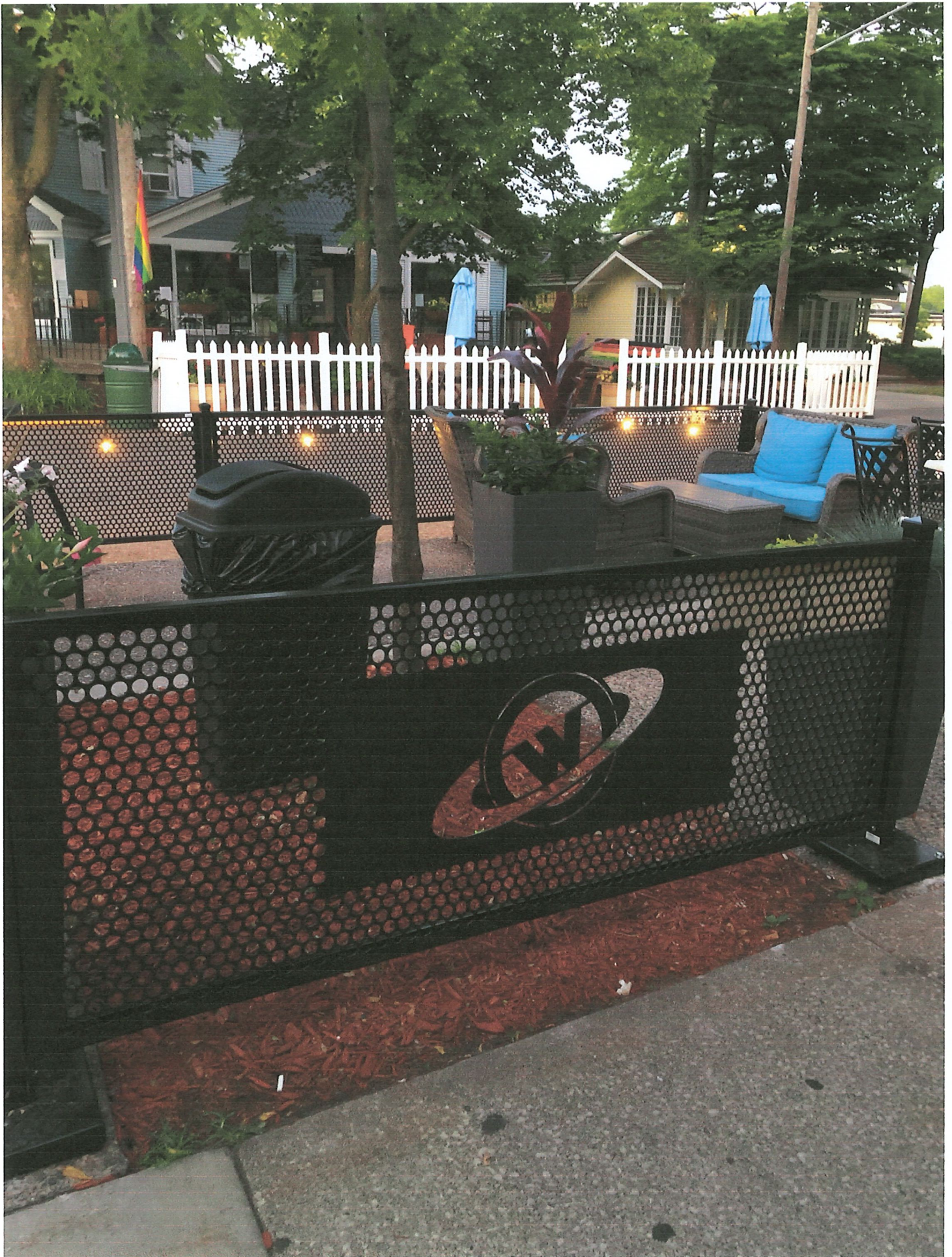


Fencing \*\* all fencing is 38 1/2 tall,

— N —



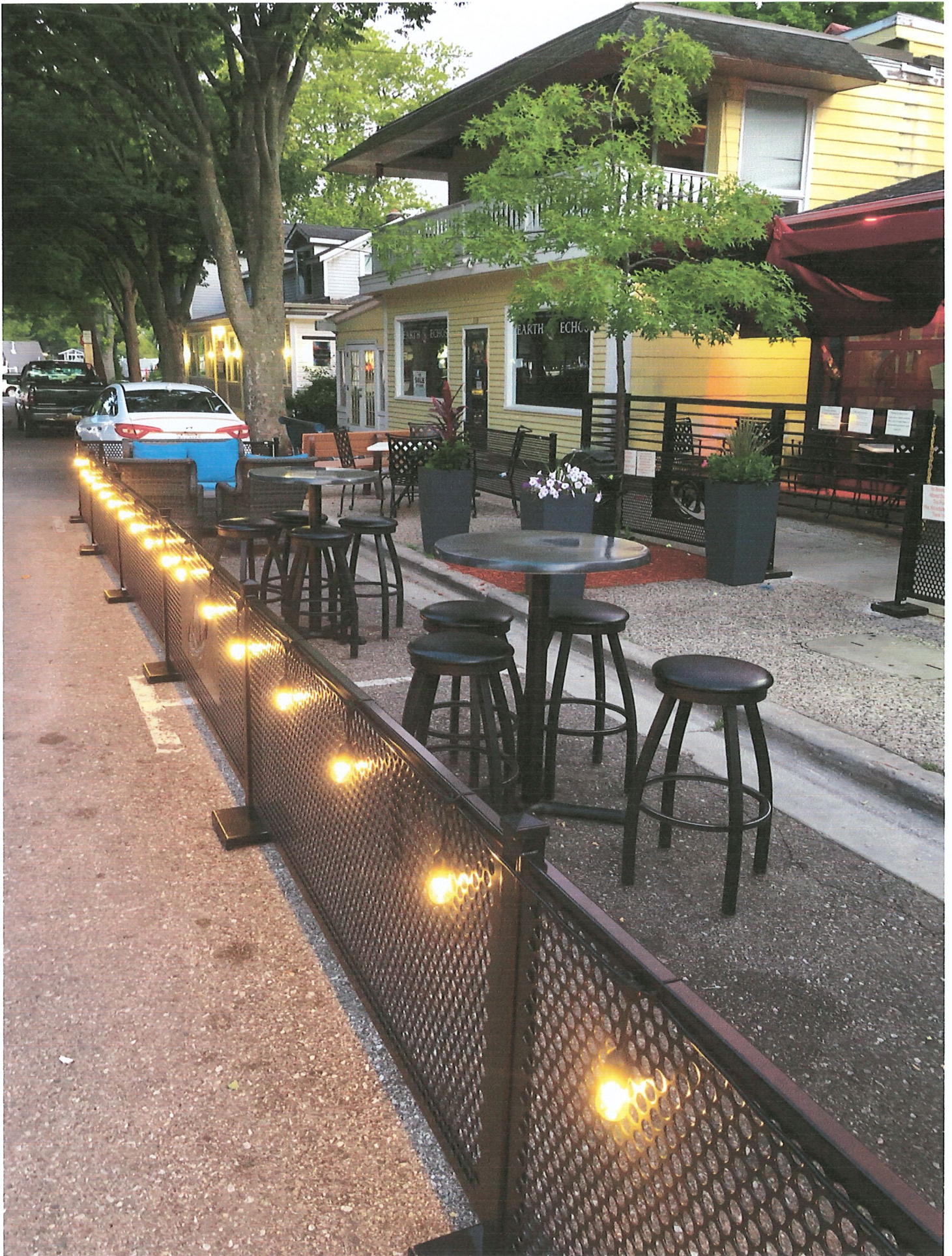
FENCING 38 1/2" H

















<

"The fencing turned out awesome...  
It looks great and was crazy easy to put together"  
- Wally's Bar & Grill



<

"The fencing turned out awesome...  
It looks great and was crazy easy to put together"  
- Wally's Bar & Grill



shipping in two weeks on certain products

## sidewalk cafe partitions

- rust proof
- removable
- lightweight
- long-lasting
- easy assembly
- low maintenance

[shop now](#)



## PARTITIONS, PLANTERS, & UMBRELLAS FOR OUTDOOR USE

Are you looking to bring your indoor dining experience outdoors? A contemporary and modular outdoor fencing solution is the answer. At SelectSpace® Partitions, we provide restaurant and hospitality owners with a DIY quality fencing system that is easy to set up and improves the looks of any outdoor space. There is no time to bring your fantastic indoor dining experience outside like the present. The experts at SelectSpace® are ready to guide you throughout the design process! [Contact us](#) today for a free quote.

[partition panels](#)

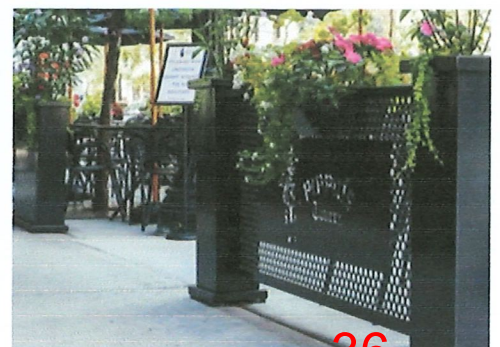
[metal fence planters](#)

[gates](#)

[stands](#)

[umbrellas](#)

## check out our latest blog posts





shipping in two weeks on certain products

## testimonials



**"My experience was great!**

Design service was quick and approved in two days!

Customizing the colors to our theme was such a relief, so it didn't look out of place!"

- Annapurna, Chicago IL



**"Working with SelectSpace® Partitions has been an absolute pleasure, from start to finish.**

Their customer service is fantastic, they respond to clients in a timely manner, and they provide accurate information.

**We definitely plan on using SelectSpace® Partitions on future projects."**

- will fuka, McCloud Builders



**"The fencing turned out awesome..."**

**It looks great and was crazy easy to put together."**

- Wally's Bar and Grill, Saugatuck MI



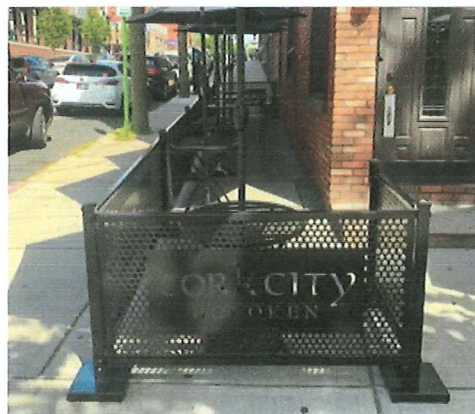
**"Thank you SelectSpace Partitions for making our patio space lovely.**

**You were on budget and on time and the custom partition is beautiful."**

- Scratch Distillery Edmonds, WA



**"Our experience with SelectSpace® Partitions could not have been better. We reached out to get outdoor partitions for our bar patio and they went above and beyond to create something timeless and perfect for us!**



**"Given the COVID-19 pandemic, we've had to move our entire operations outdoors.**

**Within a matter of days, SelectSpace® Partitions had us up and running with a clean professional look that continues**



**"I found SelectSpace® Partitions to be very responsive and knowledgeable on their product. I have wondered for years why I product like this has not existed. I immediately bought them for both my restaurants.**



## shipping in two weeks on certain products

We could not be more pleased with the promptness and detail of SelectSpace® Partitions. We thank you for helping us!"  
- On The Rocks, Romeoville IL

[read the case study.](#)

results and would highly recommend SelectSpace® Partitions."  
- daniel dekemper, Cork City Pub, Hoboken, NJ

[read the case study.](#)

for 20 years and highly recommend this product to anyone looking for a simple and durable solution to sidewalk cafe barriers."  
- ryan marks, the VIG and the Whale

## WHY CHOOSE SELECTSPACE® PARTITIONS?

When you're looking for the kind of outdoor partitions that can add both functionality and aesthetic value to a patio, SelectSpace® is the place to go. We're the company that creates sidewalk cafe partitions that are low-maintenance, lightweight, rust-proof and able to last with your business. We make them as modular components, so you can arrange them exactly as desired. They're also easy to assemble, giving great flexibility and the option to move them when needed. Best of all, we're the partition provider that offers a variety of customization options, which means we can create exactly the look you want.

Whether you know exactly what you're looking for or want to talk about ideas, reach out to us. Count on our experts to help you see the potential in your patio. We'll find ways to organize and beautify the space to create an incredible ambience for customers and value for the restaurant.



### attractive design

elegantly designed, SelectSpace® custom room dividers and partitions for outdoor use will enhance the beauty of any venue



### customizable

match your aesthetic with custom colors and panel patterns, including your own logo



### durable construction

made from heavy-gauge aluminum & stainless steel coated with long-lasting finishes



### modular & flexible

mix & match components to create a unique system that perfectly fits your space



### easy assembly

designed to be easily assembled; no tools necessary to add or remove panels



### light & compact

lightweight with a slim profile, SelectSpace® partitions are effortless to move and store



## shipping in two weeks on certain products



# café and restaurant sidewalk partitions

The appearance of overflow customers — diners pouring out into the sidewalk, enjoying themselves in full view of the public — might seem like a happy circumstance for a café or restaurant owner. But imagine how much more inviting your outdoor space would look with attractive outdoor patio partitions.

Sidewalk barriers are a way to truly own and personalize your space. Learn more about the benefits of a sidewalk café fence and other outdoor dining barriers below, and find out why products from SelectSpace® Partitions are the smartest option around.

## the benefits of sidewalk partitions

It's challenging to personalize an outdoor café space that spills onto the sidewalk with no clear boundaries. Even if your restaurant's style is casual, an element of structure may be desirable. Sidewalk fencing and partitions add a touch of class and definition to any [outdoor seating area](#).

You should also take into account your restaurant's security. It's a slippery slope between clutter and chaos, and proper partitioning can keep areas organized and the flow of traffic smooth.

## legal factors to consider

Aesthetics aside, outdoor fence dividers may sometimes be functionally and legally necessary. In many locations, they are required by law. Depending on local regulations, a restaurant with seating that extends more than 3 feet into pedestrian areas may be required to place sidewalk partitions or patio barriers. Additionally, restaurants serving alcohol typically are required to have sidewalk partitions in place, regardless of how far into the public space your seating extends.

For aesthetic and perhaps environmental purposes, local regulations sometimes also require that plants comprise a specified percentage of the partition system. We offer [planter stands](#) and [hanging planters](#) that make it easy to meet these requirements.

Visit our [permits](#) page for additional information on regulations.

Regardless of legal considerations, sectioning off outdoor seating from pedestrian walkways is considered a best practice. And it's our job to help you do that in a way that works for you.

## the types of products we carry

Our patio partitions are manufactured to suit most outdoor seating needs. Our rustproof, lightweight and sturdy products are designed to be removable so you can reposition them as needed. They are available in [3-foot panels](#), [5-foot panels](#) and [7-foot panels](#).



## shipping in two weeks on certain products

[Contact us](#) today to learn more about the [products we carry](#) and to find out how outdoor seating partitions can improve the look, feel and functionality of your space.

## how it works

### 1 measure

make a sketch or use a drawing of your space and measure all the areas that need partitions to create a layout

### 2 order

match your layout by selecting the correct components and quantities from the shop

### 3 assemble

assemble the pole stands and place all stands in their correct spots BEFORE attaching panels



3636 S Kedzie Ave  
Chicago, IL 60632  
mon - fri: 9am - 5pm CT

© 2024 SelectSpace Partitions®  
enjoy your new partition system!

[frequently asked questions](#)  
[usage guidelines & return policy](#)  
[website terms & conditions](#)  
[privacy policy](#)

Tel: (855) 839-1200



**made in the USA**

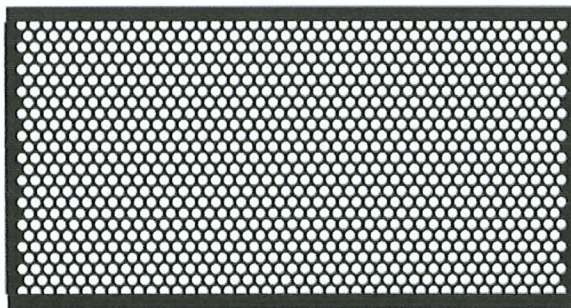




## shipping in two weeks on certain products

Home / partition panels / 5' Partition Panel- Circle

[< Prev](#) | [Next >](#)



### 5' Partition Panel- Circle

\$499.99

- Black Available for Quick Ship Program - 2 weeks or less!
- modern circular perforated

[Read more](#)

color



custom color RAL # or Pantone # (optional)

Quantity

[add to cart](#)

[specifications](#) [structure & design](#) [additional information](#)

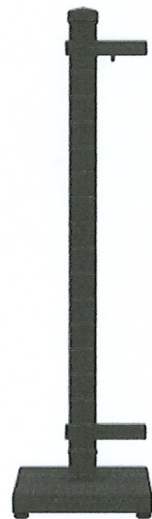
- product dimensions (L x H x D): 56" x 29.50" x 1.4"
- assembled panel height:
  - Floor to Bottom: 4.5" without leg levelers
  - Floor to Top: 34" without leg levelers
- product weight: 19 lbs



## shipping in two weeks on certain products

Home / partition stands / Partition End Stand

< Prev | Next >



### Partition End Stand

\$339.99

- black Available for Quick Ship Program - 2 weeks or less!
- adjustable arms for new

[Read more](#)

color



custom color RAL # or Pantone # (optional)

Quantity

add to cart

[specifications](#)   [structure & design](#)   [additional information](#)

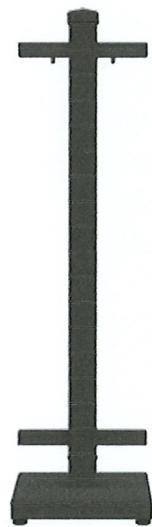
- assembled dimensions (H x L x W): 36" x 10" x 10"
- assembled weight: 13 lbs
- pole dimensions (W x L): 2" x 2"
- pole material: 1/8" thick aluminum
- base dimensions (W x L): 10" x 10"
- base material: .135" stainless steel



## shipping in two weeks on certain products

Home / partition stands / Partition Straight Stand

< Prev | Next >



### Partition Straight Stand

\$349.99

- Black Available for Quick Ship Program - 2 weeks or less!
- adjustable arms for new

[Read more](#)

color



custom color RAL # or Pantone # (optional)

Quantity

add to cart

[specifications](#)   [structure & design](#)   [additional information](#)

- assembled dimensions (H x L x W): 36" x 10" x 10"
- assembled weight: 13 lbs
- pole dimensions (W x L): 2" x 2"
- pole material: 1/8" thick aluminum
- base dimensions (W x L): 10" x 10"



"The fencing turned out awesome...  
It looks great and was crazy easy to put together"  
- Wally's Bar & Grill

**12** | **24**  
**BULBS** | **FEET**



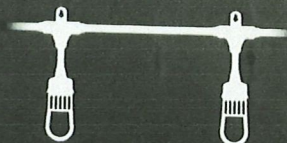
# LED SHATTER-PROOF CAFÉ LIGHTS™

COMMERCIAL GRADE | LIFETIME LED GUARANTEE

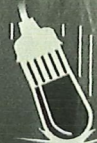
WHITE OR **COLOR-CHANGING** BULBS



POWERED BY\*  
**enbrighten**  
REMOTE CONTROLS  
ALL FEATURES



**2FT. OF SPACE  
BETWEEN BULBS**



**SHATTER-  
PROOF**



**LINKABLE  
UP TO 750FT.**



## MEMORANDUM

**TO:** Historic District Commission  
City of Saugatuck

**FROM:** David M. Jirousek, AICP  
Consulting Planner

**DATE:** April 1, 2024

**RE:** Historic District Permit Application, Saugatuck Flooring, LLC: 246 Butler Street

**REQUEST:** The applicant requests approval to replace the front entry doors.

**BACKGROUND:** The property is located in the City Center C-1 zoning district and the Historic District. The building is a contributing resource. Please note that a front awning/overhang was removed by a past owner, not the current owner/applicant.

**APPLICABILITY:** A permit shall be obtained before any work affecting the exterior appearance of a resource is performed within the Historic District (§ 152.03).

### § 152.07 D. GUIDELINES:

1. *In reviewing applications and plans submitted under this chapter, the Commission shall follow U.S. Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Structures as set forth in 36 C.F.R. part 67, as amended. Additional guidelines may be developed and followed if they are equivalent in guidance to the Secretary's standards and guidelines and are approved by the Center. Any additional guidelines must be adopted by the Commission and approved by the City Council. In reviewing applications and plans, the Commission shall also give consideration to:*
  - a. *The historical or architectural significance of the resource and its relationship to the historic value of the surrounding area.*
  - b. *The compatibility of the exterior of the structure and the space around it with the visual or historical context of the surrounding area.*
  - c. *The impact of the exterior of the structure and the space around it on the village/rural character and contextual aesthetic of the city.*

- d. *Other factors which the Commission considers to be pertinent.*
- 2. *In exercising its authority to approve or deny an application under this chapter, the Commission shall exercise its educated judgment on a case-by-case basis in interpreting these guidelines and the following the applicable standards.*

**COMPLETENESS REVIEW:** All applications to construct, alter, repair, move, or demolish any structure or install or alter any signage or fence structure in a historic district shall include the supporting plans and documents as specified by § 152.07 B. The applicant has provided a specification sheet concerning the proposed front door replacement. However, they have not provided information concerning the ability to salvage the original existing front doors.

## **II. PRIMARY STRUCTURES**

The HDC must also determine if the replacement doors are consistent with the neighborhood and the Historic District. The following guidelines should be considered:

### *D. Doors and Windows*

1. *Retaining Windows and Doors Windows and doors that contribute to the overall historic character of a building should be retained and repaired as needed, including their functional and decorative features, such as frames, sash, muntins, sills, heads, moldings, surrounds, hardware, shutters, glazing, panels, sidelights, fanlights, and thresholds.*

#### *2. Replacing Windows and Doors*

*(a) If replacement of a deteriorated window or door feature or detail is necessary replace only the deteriorated feature in kind rather than the entire unit. Match the original in material, design, dimension, proportion, reflective qualities, profile, sash rails, stiles, muntins, panels, and operation. If replacement of an entire unit is necessary, replace the unit in kind, matching the design, dimension, panels, pane configuration, architectural trim, detail, muntins and materials. It is not appropriate to use snap-in muntins to create a false divided-light appearance.*

*(b) Replacement windows and doors should maintain and fit existing openings and be consistent in glass size and with existing trim and other features of the structure.*

*(c) Changing the number, location, and size or glazing pattern of windows and doors through cutting new openings, blocking-in, and installing replacement sash which does not fit the historic opening are not recommended.*

*3. Doors Original doors should not be substituted with stock doors that do not fit the opening properly or do not fit with the style of the house. Transom windows and sidelights should be preserved.*

**Comment:** No change to the opening is proposed, but the new door is a standard type for modern commercial buildings. No information has been provided concerning the ability to salvage the existing doors. However, the applicant has noted that doors and windows to units on each side of the subject unit have been replaced with modern products, and the proposed doors would be consistent with those products.

**RECOMMENDATION:**

If the HDC determines that it is unreasonable to require the repair of the doors and the applicable standards of the Historic Preservation Review Guidelines are met, the following motion may be used:

*Motion to approve the new front entry replacement doors at 246 Butler Street in accordance with the plans and details submitted within the application materials. Approval shall be subject to the following conditions (if applicable):*

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_
4. \_\_\_\_\_
5. \_\_\_\_\_
6. \_\_\_\_\_



Commission Review Fee: \$250  
Administrative Review Fee: \$50



### Historic District Permit Application

**LOCATION INFORMATION** **APPLICATION NUMBER** \_\_\_\_\_

Address 246 Butler St Parcel Number 57-300-136-00

**APPLICANTS INFORMATION**

Name Saugatuck Flooring, LLC Address / PO Box 365 S Maple St.  
City Saugatuck State mi Zip 49453 Phone 616 502 4242  
Interest In Project Project Manager E-Mail saugatuckflooring@gmail.com  
Signature [Signature] Date 3/11/2024

**OWNERS INFORMATION (IF DIFFERENT FROM APPLICANTS)**

Name EST Holdings, LLC Address / PO Box 1558 Spruce Drive  
City Kalamazoo State MI Zip 49008 Phone 269 488 2025  
E-Mail Kris@esthomemorgage.com

I hereby authorize that the applicant as listed above is authorized to make this application for proposed work as my agent and we agree to conform to all applicable laws and regulations of the City of Saugatuck. I additionally grant City of Saugatuck staff or authorized representatives thereof access to the property to inspect conditions, before, during, and after the proposed work is completed.

Signature [Signature] Date 3-11-2024

**CONTRACTORS/ DEVELOPERS INFORMATION (UNLESS PROPOSED WORK IS TO BE DONE BY THE PROPERTY OWNER)**

Name Saugatuck Flooring, LLC Contact Name Lucien Champagne  
Address / PO Box \_\_\_\_\_ City \_\_\_\_\_  
State \_\_\_\_\_ Zip \_\_\_\_\_ Phone \_\_\_\_\_ Fax \_\_\_\_\_  
E-Mail \_\_\_\_\_  
License Number \_\_\_\_\_ Expiration Date \_\_\_\_\_

**PROPERTY INFORMATION**

Depth 42 Width 7 Size Aprox 300 SF Zoning District \_\_\_\_\_ Current Use Retail  
Check all that apply: Waterfront \_\_\_\_\_ Dunes \_\_\_\_\_ Vacant X

**PROJECT DESCRIPTION (ATTACH MORE SHEETS IF NECESSARY)**

Front door and window replacement, for security, and ADA compliance.  
Update Electrical, new outlets and switches.  
Update HVAC, new ductwork.  
Update Plumbing, Bathroom.  
Update interior Finishes, Paint, Flooring, etc.  
All work to be permitted through MTS.

Please note, Demolition and removal of awning and signage was prior to contracting with Saugatuck Flooring.  
Awning and Signage removal was done prior to Mr. McWilliams ownership.  
Saugatuck Flooring is willing to assist in any way to resolve the Demo and Sign/Awning issue.

102 Butler Street • P.O. Box 86 • Saugatuck, MI 49453  
Phone: 269-857-2603 • Website: [www.saugatuckcity.com](http://www.saugatuckcity.com)



## HISTORIC DISTRICT REQUIREMENTS (SECTION 152.07)

Pursuant to Section 152.07, please attach the following supporting documents when applying for historic district approval if applicable:

Y   N   NA

- Photographs of the structure and its relationship to adjacent structures.
- A plot plan with the placement of the proposed addition, or location of fencing to be constructed.
- Elevation drawings of the exterior of the structure or improvements.
- Samples of all proposed exterior finishes and materials.
- Photographs showing, in detail, the problem areas to be addressed during the proposed repair or alteration.
- A scale drawing of all proposed signage, including design, lettering style, type of illumination (if any), placement or location on the lot or building, and the type of support(s) for the sign(s).
- If an application for signage is made by tenants of a building located within a historic district, the tenants must obtain written permission from the building owner to install or alter the proposed sign(s).
- Plot plan showing the following:
  - Current location, shape, area and dimension of the lot.
  - Current site improvements (including structures, sidewalks, decks, streets, fences, etc).
  - Proposed improvements and distances from other improvements or property lines.
  - Proposed and/or current yard, open space and parking space dimensions and calculations.
  - Location of any flood plains, watersheds, wetlands, easements, critical dunes, or other applicable features.
- Description of proposed use and of the building (dwelling, structure, barn, garage and the like) or improvements.
- Detailed written description of the activities related to the proposed use and/or improvements.

**OFFICE USE ONLY:**  
 Application Complete \_\_\_\_\_ Fee Paid \_\_\_\_\_ Date Paid \_\_\_\_\_  
 Notes: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_



CHRIS

January  
HOURS

MONDAY	CLOSED
TUESDAY	CLOSED
WEDNESDAY	CLOSED
THURSDAY	CLOSED
FRIDAY	CLOSED
SATURDAY	10 AM - 4 PM
SUNDAY	CLOSED

Shop with a lot of shops in town  
213 State St  
Smyrna, GA 30080

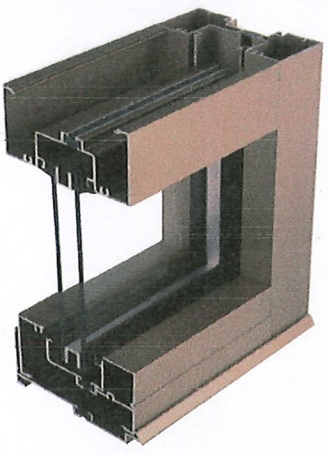
  
**FOLLOW  
TUCK'S  
ONLINE**  
@shopstucksmi  
  
www.shopstuck.com







Wendy's, Cemetery Road, Hilliard, OH  
 Installer: Richardson Glass

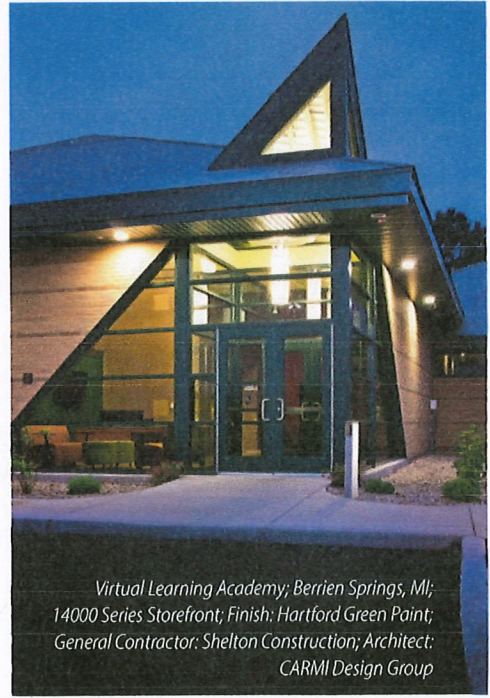


## Tubelite® E/T14000 Storefront

For optimal strength and thermal performance, use Tubelite's 14000 Series Storefront Framing, a flush-glazed system for use on storefront and low-rise applications. Framing is available in standard non-thermal and thermal members with 2" x 4-1/2" profiles and a 1/2" bite for use with glass or panels up to 1-1/8" thick. Extra-heavy intermediate verticals are available for high performance against strong windloads.

Reduce project labor costs with the flexibility of inside or outside glazing. Members can be assembled using screw spline or clip joinery, and framing is compatible with Tubelite Narrow, Medium and Wide Stile Doors.

Our 14000 Series Storefront products are subjected to thorough testing by an independent laboratory, ensuring that you get the highest quality storefront framing products that the industry has to offer.



Virtual Learning Academy; Berrien Springs, MI;  
 14000 Series Storefront; Finish: Hartford Green Paint;  
 General Contractor: Shelton Construction; Architect:  
 CARMI Design Group

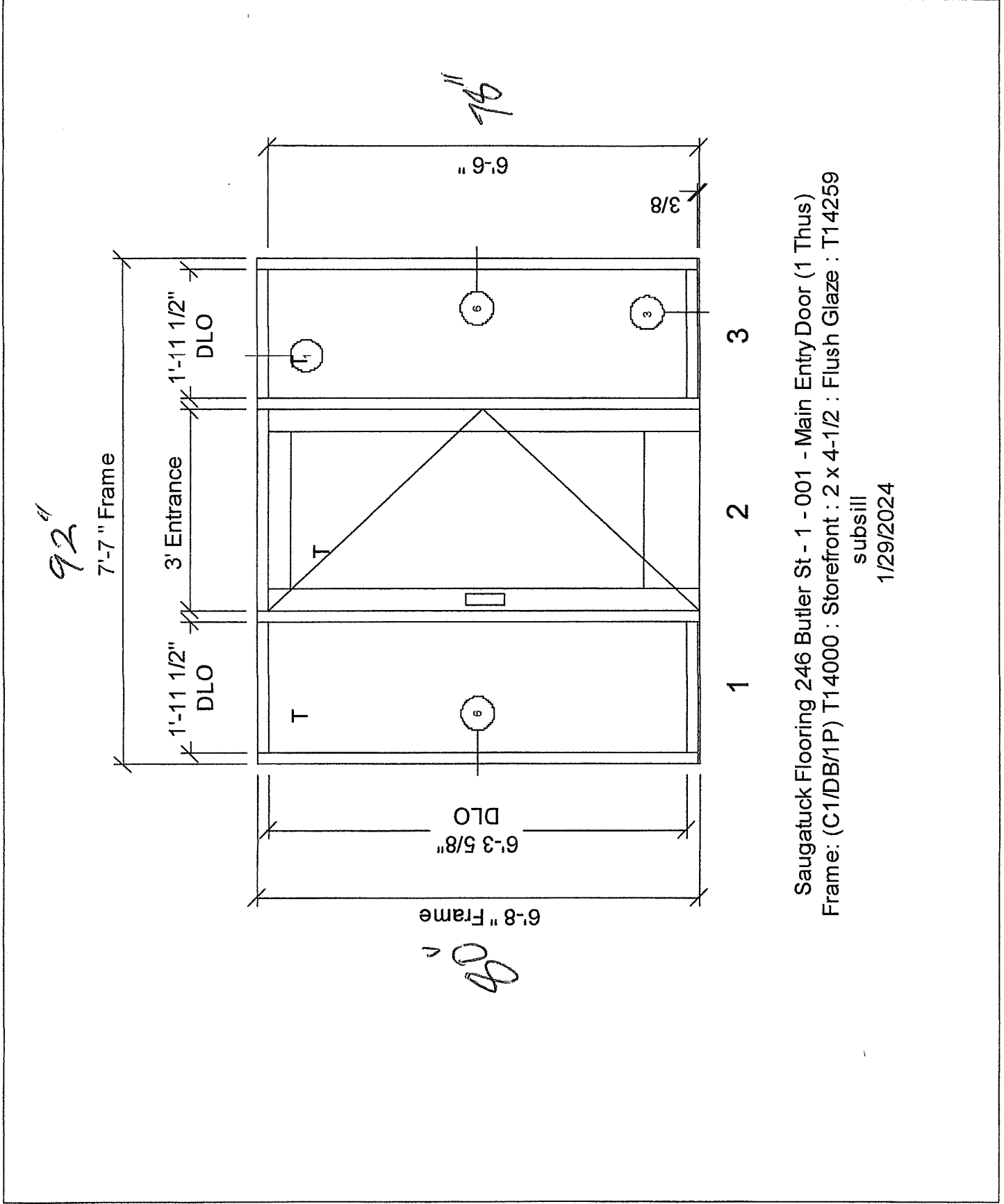
### Tubelite® T14000 Product Specifications

**Application:** Low-rise commercial buildings: retail, office, healthcare, schools, etc.  
**Description:** 2" x 4-1/2" center set, outside or inside flush glazed storefront

Face Width:	System Depth:	Glass:	Air Infiltration:	Water Infiltration:	Structural:	CRF:	U-Factor**:	Acoustic:
2"	4-1/2"	1" std (1/8" - 1-1/8")	0.06 CFM/Ft.2 @ 6.24 PSF	10 PSF - Static 10 PSF - Dynamic	30 PSF - Design 45 PSF - Overload	T (Thermal) 62 <sub>f</sub> 68 <sub>g</sub>	0.38 - Thermally Insulated 0.33 - Thermally Broken	STC 32 OITC 26

\*\* U-Factor per NFRC 100. Refer to the U-Value table at: [www.tubeliteinc.com/products/storefront/14000-series-storefront-framing/](http://www.tubeliteinc.com/products/storefront/14000-series-storefront-framing/)  
 800-866-2227 / [www.tubeliteinc.com](http://www.tubeliteinc.com)

JOB NUMBER	
DRAWN BY	Mark Windemuller
DATE	1/29/2024
GENERAL CONTRACTOR	
ARCHITECT	Saugatuck Flooring 246 Butler St
JOB NAME	Saugatuck Flooring 246 Butler St



Saugatuck Flooring 246 Butler St - 1 - 001 - Main Entry Door (1 Thus)  
 Frame: (C1/DB1P) T14000 : Storefront : 2 x 4-1/2 : Flush Glaze : T14259  
 sub sill  
 1/29/2024

ATTY 2K SAUC

# GLASS I M A G E S

## Estimate

1/24/2024

(616) 928-1033

www.glassimages.net

Saugatuck Flooring  
Lucien Champagne  
365 South Maple  
Saugatuck, MI 49453

616.502.4242

Project: 246 Butler St Saugauck

Estimate #	Purchase Order #	E-mail
28608		saugatuckflooring@gmail.com

Qty	Description	Total
	Estimate for Installation of New Entry System  Tubelite T14000 Series Storefront System - (1) 3'0" x 6'8" Medium Stile Entry Door - (2) 2'0" Fixed Sidelites - 1" Bronze Insulated Glass - Bronze Anodized Aluminum Finish - Maximum Security Locking - Complete Demo of Existing and Installation of New  Does Not Include: - Finished Exterior Trim - Finished Interior Trim - Flooring replacement of repair	

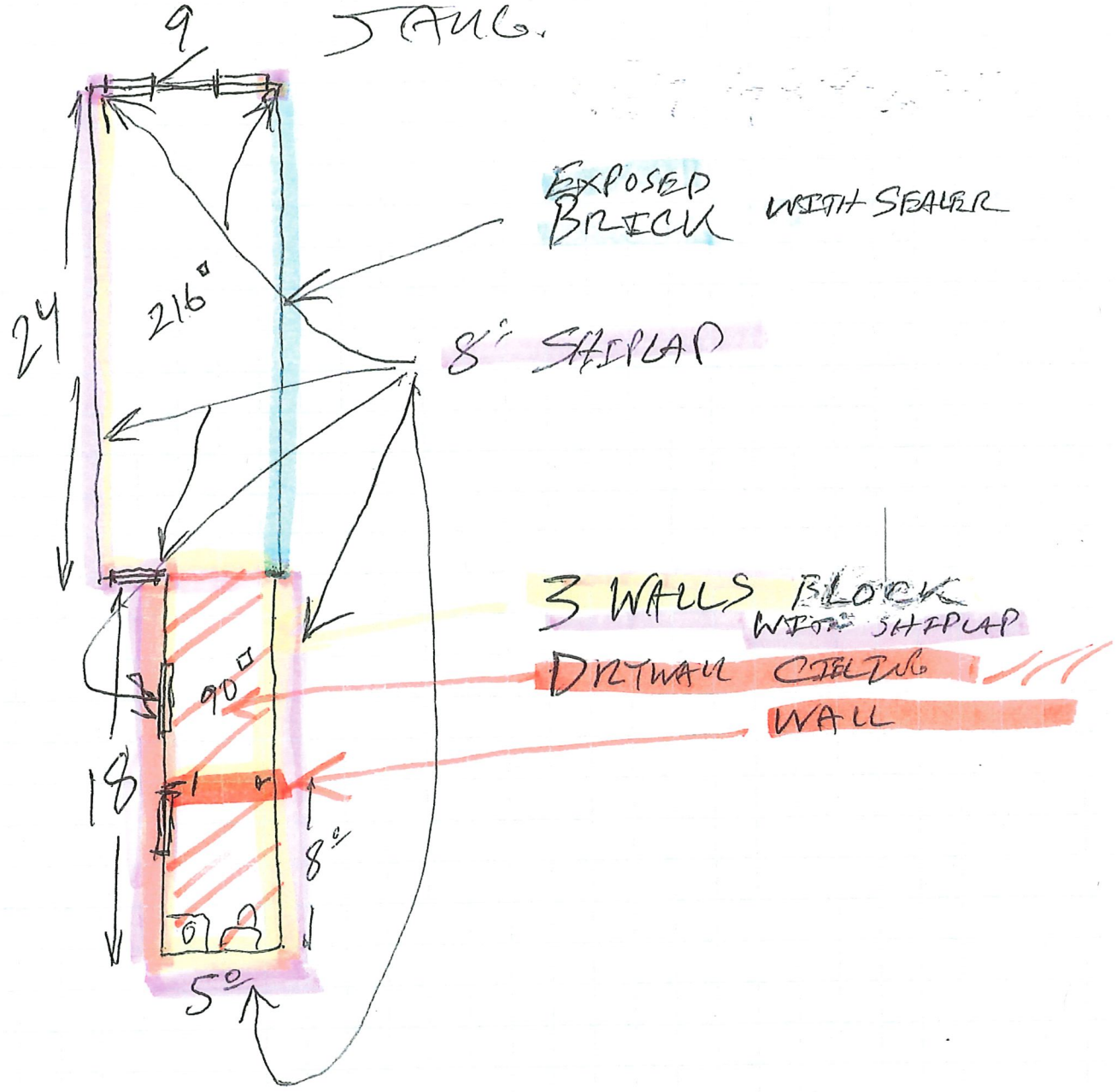
**Estimate pricing is valid for up to 15 days**

Signature \_\_\_\_\_

Glass Images Inc.  
4142 Blue Star Highway  
Holland, MI 49423



246 BUTLER ST.  
5 AUG.



6



## MEMORANDUM

**TO:** Historic District Commission  
City of Saugatuck

**FROM:** David M. Jirousek, AICP  
Consulting Planner

**DATE:** April 1, 2024

**RE:** Historic District Permit Application, Alec & Lindsay Payleitner: 650 Water Street

**REQUEST:** The applicant requests Historic District Commission approval for a structural expansion to the north side of the building to accommodate kitchen hood exhaust equipment and roof-top HVAC equipment and screening.

**BACKGROUND:** The property is in the Waterfront Preservation C-2 zoning district and the Historic District. The building is not a contributing structure.

The Planning Commission recently approved a special land use request and associated site plan for restaurant use, expanded outdoor dining areas, and service of alcoholic beverages. Among other things, approval was conditioned upon HDC approval. Additionally, a variance request was recently approved for the exhaust system's encroachment into front and waterfront setbacks.

The "chase" enclosure is proposed to be two feet deep and four feet wide and is proposed to be constructed with the same finish and materials as the existing building. The HVAC equipment is proposed on the roof and is proposed to be screened with rooftop wooden picket fencing, which is used on the eastern portion of the building.

**APPLICABILITY:** A permit shall be obtained before any work affecting the exterior appearance of a resource is performed within the Historic District (§ 152.03).

### § 152.07 D. GUIDELINES:

- 1. In reviewing applications and plans submitted under this chapter, the Commission shall follow U.S. Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Structures as set forth in 36 C.F.R. part 67, as amended.*

*Additional guidelines may be developed and followed if they are equivalent in guidance to the Secretary's standards and guidelines and are approved by the Center. Any additional guidelines must be adopted by the Commission and approved by the City Council. In reviewing applications and plans, the Commission shall also give consideration to:*

- a. The historical or architectural significance of the resource and its relationship to the historic value of the surrounding area.*
  - b. The compatibility of the exterior of the structure and the space around it with the visual or historical context of the surrounding area.*
  - c. The impact of the exterior of the structure and the space around it on the village/rural character and contextual aesthetic of the city.*
  - d. Other factors which the Commission considers to be pertinent.*
- 2. In exercising its authority to approve or deny an application under this chapter, the Commission shall exercise its educated judgment on a case-by-case basis in interpreting these guidelines and the following the applicable standards.*

**COMPLETENESS REVIEW:** All applications to construct, alter, repair, move, or demolish any structure or install or alter any signage or fence structure in a historic district shall include the supporting plans and documents as specified by § 152.07 B. The applicant has provided information concerning the kitchen hood exhaust system, HVAC equipment, and screening.

**I. KEY ELEMENTS:** Applicable sections of the guidelines are included below.

#### **VII. B. Mechanical Systems with Outside Elements**

- 1. Mechanical Equipment Not Obtrusive Mechanical equipment and systems include but are not limited to all exterior devices related to heating, electric, plumbing, air conditioning, ventilation and media. A few examples of such devices and systems are vents, exhaust pipes, cable, conduit, electrical boxes, meters, air conditioning units, generators, antennae, and phone and cable boxes. New mechanical systems should be installed so that they cause the least alteration possible to the building's floor plan, the exterior elevation, site and environment, and the least damage to historic building material. All mechanical equipment should be installed in the least visible location, normally the rear of the structure.*
- 2. Heating/Air Conditioning units should be installed in the window frames in such a manner that the sash and frames are protected.*

3. *Central Air Conditioning unit(s) should be installed on a side of a structure not facing a public street, where they cannot be seen from the street or are screened from view with shrubbery or appropriate fencing.*
4. *Antennas and Vents Normal-size television and radio antennas, and basement and roof ventilators should be placed to be as little visible as possible from the street or neighboring properties. (Does not include CB and ham radio equipment or satellite dishes.)*
5. *Attaching Equipment When mechanical equipment is affixed to a building it must be installed to avoid damaging the structure. For example, when affixed to a masonry structure, it should be attached to mortar joints, not the brick or stone. Mechanical equipment should be installed low to the ground and using as little space as possible. This will decrease the visual impact, while also enabling the installation of appropriate screening.*

**Comment:** The proposed kitchen hood vent exhaust is proposed along the north side of the building toward the rear. The system would be no further north than other portions of the building that currently encroach into the north front setback and public right-of-way. Sufficient space along the seawall would be maintained for foot travel, and the exhaust equipment would have a low visual impact as materials will match the building's existing siding.

Additionally, the HVAC system will be as far west as possible and screened. The HDC may wish to require the color of the screening to match the roof or siding colors.

**RECOMMENDATION:** If the HDC determines that the applicable standards of the Historic Preservation Review Guidelines are met, the following motion may be used.

*I move to approve the proposed kitchen hood vent exhaust system, HVAC system, and roof screening in accordance with the plans and details submitted within the application materials. Approval shall be subject to the following conditions (if applicable):*

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_
4. \_\_\_\_\_

5. \_\_\_\_\_

6. \_\_\_\_\_



## Historic District Permit Application

**LOCATION INFORMATION** **APPLICATION NUMBER** \_\_\_\_\_ - \_\_\_\_\_

Address 650 Water Street

Parcel Number 03-57-300-029-00

**APPLICANTS INFORMATION**

Name Alec + Lindsay Payleitner Address / PO Box PO Box 841

City Saugatuck State MI Zip 49453 Phone 312.480.8161

Interest In Project Business Owners / Operators E-Mail alec@grow-food.com

Signature \_\_\_\_\_ Date 01.22.2024

**OWNERS INFORMATION (IF DIFFERENT FROM APPLICANTS)**

Name AMK Holdings, LLC Address / PO Box 6917 N Maple Rd

City Saline State MI Zip 48176 Phone 734.627.7099

E-Mail jack@amkproperties.com

I hereby authorize that the applicant as listed above is authorized to make this application for proposed work as my agent and we agree to conform to all applicable laws and regulations of the City of Saugatuck. I additionally grant City of Saugatuck staff or authorized representatives thereof access to the property to inspect conditions, before, during, and after the proposed work is completed.

Signature \_\_\_\_\_ Date 1/17/2024

**CONTRACTORS/ DEVELOPERS INFORMATION (UNLESS PROPOSED WORK IS TO BE DONE BY THE PROPERTY OWNER)**

Name Dana White Builders Contact Name Dana White

Address / PO Box PO Box 16 City Douglas

State MI Zip 49406 Phone 616.886.7545 Fax \_\_\_\_\_

E-Mail danawhitebuilders@gmail.com

License Number 2102193025 Expiration Date 05.31.2026

**PROPERTY INFORMATION**

Depth 65.25' Width 169.5' Size 1 acre Zoning District Water Street North, C-1 Current Use N/A

Check all that apply: Waterfront  Dunes \_\_\_\_\_ Vacant \_\_\_\_\_

**PROJECT DESCRIPTION (ATTACH MORE SHEETS IF NECESSARY)**

On the following page is a general project description. Some elements of the product description are irrelevant to the purview of the Historic District Commision. The primary issues of interest in this application are:

1. Outdoor seating (on the north and east sides of the building—7 pages of detail within this application)
2. Exhaust vent for a new kitchen hood (on the north wall of the building—rendering within this application)
3. Outdoor sign (replacement design, same location—3 pages of detail within this application)
4. Wooden privacy fence for garbage cans (on the south side of the building, see site plan)



## Historic District Permit Application

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Depth 65.25' Width 169.5' Size 1 acre Zoning District Water Street North, C-1 Current Use N/A

Check all that apply: Waterfront  Dunes \_\_\_\_\_ Vacant \_\_\_\_\_

**PROJECT DESCRIPTION (ATTACH MORE SHEETS IF NECESSARY)**

We are proposing an alternative solution to our HVAC equipment required to install a restaurant hood on the premise. The proposed renderings show a 2' deep and 4' wide chase that runs the height of the building. The chase would be finished with the same materials/color as the current facade of the building. The equipment would be housed on the northwest corner of the roof of the building.

Per city rules: "Roof mounted equipment. Roof mounted equipment shall be screened from the view of abutting streets and surrounding properties by an architectural feature such as a parapet wall, roof or other structure that is compatible with the building." The equipment would not be visible from the front of the building. However, we are proposing a wooden picket fence to screen equipment from a south-facing vantage point. This fencing would match the current fencing on the level, eastern part of the current roof. (See enclosed photo of the front of the building for reference.)

**PROJECT DESCRIPTION (ATTACH MORE SHEETS IF NECESSARY)**

TYPE OF BUSINESS: Fast Casual Restaurant

CAPACITY: 49

OPERATORS: Chef Lindsay Payleitner and Alec Payleitner, formerly owners/operators of GROW Café + Bistro (2016-2023)

HISTORY OF THE SPACE: Previously River Market Deli, it was operating primarily as a retail establishment (including beer, wine, and liquor) for the past 7 years

INDOOR SEATING: Walk-up ordering, communal seating, no full table service

OUTDOOR SEATING: Temporary sidewalk patio set up to the north and east of the building (see site plan)

HOURS OF OPERATION (tentative): April through October, 7 days a week, 11am - 8pm

SERVICE STYLE: Guests will order/pay at a counter, and have their food and drinks prepared to-order and brought to them to enjoy at the communal seating in the 49-seat dining room, outdoor sidewalk patio, or for takeaway.

PACKAGING: All food and drink items will be in compostable disposables. All alcoholic beverages will be in Social District labeled cups.

OFFERINGS: Tex-mex inspired food, soft serve ice cream sundaes, frozen drinks

ALCOHOLIC BEVERAGES: Upon transfer of our existing liquor license, we will offer beer, wine, and cocktails for on-premise consumption and social district takeaway

INTERIOR IMPROVEMENTS (see attached 'Floor Plan'): Replacement under flooring (concrete), over flooring (epoxy), hood system, two additional ADA restrooms, fire proof ceiling/flooring upgrade

EXTERIOR IMPROVEMENTS: There will be no changes to the footprint of the building, or, with the exception of replacement signage, any changes to the exterior appearance of the building.





**HISTORIC DISTRICT REQUIREMENTS (SECTION 152.07)**

Pursuant to Section 152.07, please attach the following supporting documents when applying for historic district approval if applicable:

Y   N   NA

- Photographs of the structure and its relationship to adjacent structures.
- A plot plan with the placement of the proposed addition, or location of fencing to be constructed.
- Elevation drawings of the exterior of the structure or improvements.
- Samples of all proposed exterior finishes and materials.
- Photographs showing, in detail, the problem areas to be addressed during the proposed repair or alteration.
- A scale drawing of all proposed signage, including design, lettering style, type of illumination (if any), placement or location on the lot or building, and the type of support(s) for the sign(s).
- If an application for signage is made by tenants of a building located within a historic district, the tenants must obtain written permission from the building owner to install or alter the proposed sign(s).
- Plot plan showing the following:
  - Current location, shape, area and dimension of the lot.
  - Current site improvements (including structures, sidewalks, decks, streets, fences, etc).
  - Proposed improvements and distances from other improvements or property lines.
  - Proposed and/or current yard, open space and parking space dimensions and calculations.
  - Location of any flood plains, watersheds, wetlands, easements, critical dunes, or other applicable features.
- Description of proposed use and of the building (dwelling, structure, barn, garage and the like) or improvements.
- Detailed written description of the activities related to the proposed use and/or improvements.

**OFFICE USE ONLY:**  
 Application Complete \_\_\_\_\_ Fee Paid \_\_\_\_\_ Date Paid \_\_\_\_\_  
 Notes: \_\_\_\_\_  
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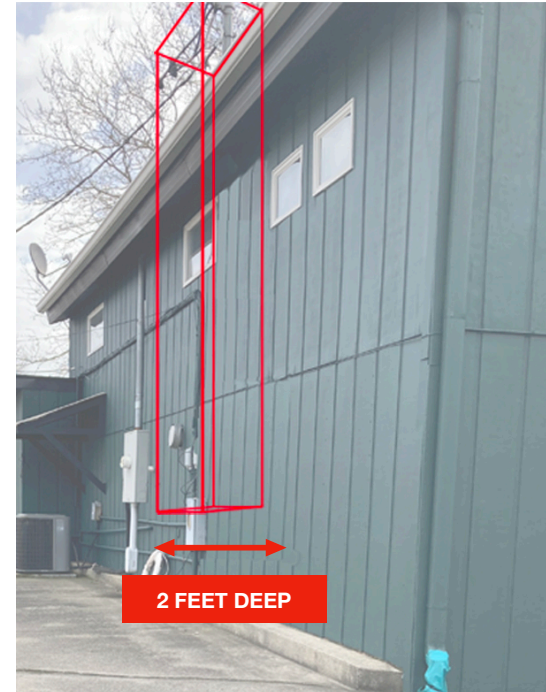
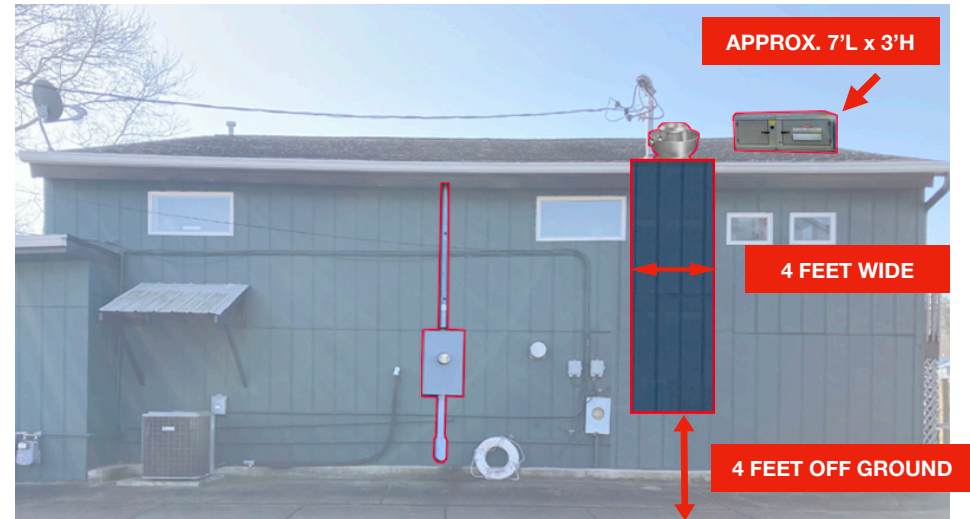


650 Water Street

## CURRENT PHOTO



## PROPOSED HOOD 'CHIMNEY'



**PAYLEITNER RESTAURANT**  
**650 WATER STREET**  
**SAUGATUCK, MICHIGAN**

Parcel Number: 03-57-300-029-00  
Site Area: 1.0 Acres more or less  
Zoned: Water Street North, C-1

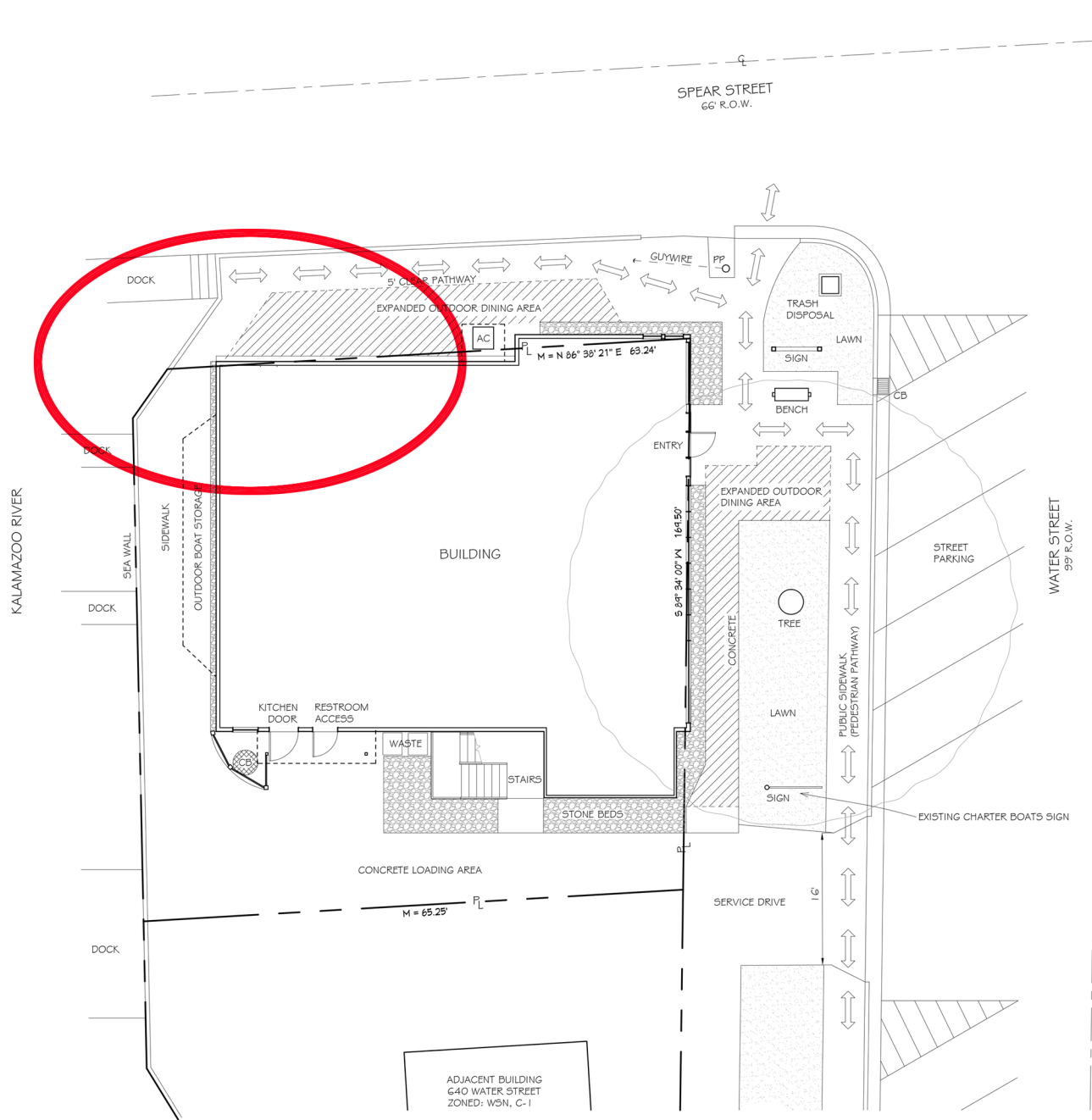
Legal Description  
Land in the City of Saugatuck, Allegan County, MI,  
described as follows: LOT 29 of KALLAMAZOO PLAT,  
according to the plat thereof recorded IN Liber 1111  
of Plats, Page 551 of Allegan County Records.

Information taken from public records and survey by:  
Exel Engineering  
5252 Clyde Park, S.W.  
Grand Rapids, MI  
Dated - 09/28/2021

THE PURPOSE OF THIS DRAWING IS ONLY  
TO DEPICT GRAPHICALLY THE GENERAL  
NATURE OF THE WORK.

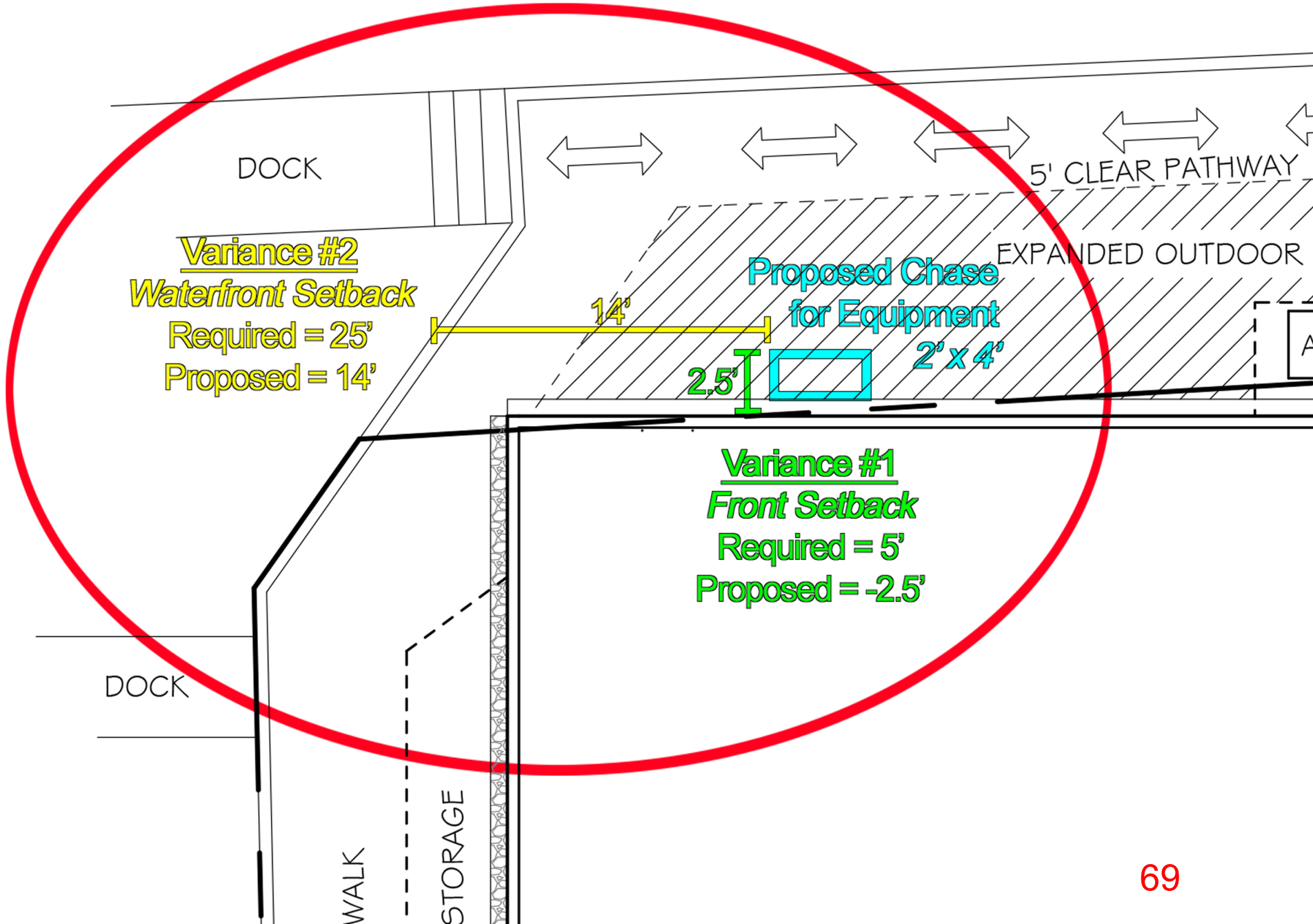
MARK	DATE	DESCRIPTION

DRAWN: BFS
CHECKED: BFS
DATE: 12/13/2023
PROJECT #23022
COPY RIGHT 2023 NOT PUBLISHED ALL RIGHTS RESERVED



**SITE PLAN**  
SCALE: 1" = 10'







## MEMORANDUM

**TO:** Historic District Commission  
City of Saugatuck

**FROM:** David M. Jirousek, AICP  
Consulting Planner

**DATE:** April 1, 2024

**RE:** Historic District Permit Application, Michael Waechter: 120 Mary Street

**REQUEST:** The applicant proposes a comprehensive project at 120 Mary Street, including the renovation of the principal dwelling, conversion of an accessory building, and installation of a pool and hot tub.

**BACKGROUND:** The property is located in the City Center Transitional Residential District R-4 zoning district. The building is a contributing structure known as the Pierce Abby House, built in 1864.

The overall plan is for the dwelling and accessory building at 120 Mary to be incorporated into the Wickwood Inn facility. While zoning issues remain outstanding, they do not preclude consideration and review of improvement projects on the subject property.

The principal dwelling is proposed to be improved with new siding, windows, shutters, and a fireplace on the east side. The front door will be removed, and the primary entry will be relocated to the east side. A rear entry and stairs are proposed for the north side. The accessory building is proposed to have new windows and entry doors.

At the time of the report, no details have been provided concerning the color, siding type, shutter specifications, windows, and doors.

**APPLICABILITY:** A permit shall be obtained before any work affecting the exterior appearance of a resource is performed within the Historic District (§ 152.03).

**§ 152.07 D. GUIDELINES:**

1. *In reviewing applications and plans submitted under this chapter, the Commission shall follow U.S. Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Structures as set forth in 36 C.F.R. part 67, as amended. Additional guidelines may be developed and followed if they are equivalent in guidance to the Secretary's standards and guidelines and are approved by the Center. Any additional guidelines must be adopted by the Commission and approved by the City Council. In reviewing applications and plans, the Commission shall also give consideration to:*
  - a. *The historical or architectural significance of the resource and its relationship to the historic value of the surrounding area.*
  - b. *The compatibility of the exterior of the structure and the space around it with the visual or historical context of the surrounding area.*
  - c. *The impact of the exterior of the structure and the space around it on the village/rural character and contextual aesthetic of the city.*
  - d. *Other factors which the Commission considers to be pertinent.*
2. *In exercising its authority to approve or deny an application under this chapter, the Commission shall exercise its educated judgment on a case-by-case basis in interpreting these guidelines and the following the applicable standards.*

**COMPLETENESS REVIEW:** All applications to construct, alter, repair, move, or demolish any structure or install or alter any signage or fence structure in a historic district shall include the supporting plans and documents as specified by § 152.07 B. The applicant has provided proposed building elevations and interior floor plans. However, details on windows, doors, shutters, colors, siding, and other materials have not been provided.

**II. PRIMARY STRUCTURES:**

The HDC may consider the following guidelines in its decision-making process:

*A. Materials, Maintenance, and Substitutes*

1. *Original Materials- On contributing resources, original materials shall be used for repairs and additions wherever feasible. (Note: Existing substitute siding or trim may be repaired with the same substitute materials without review, if less than 25% of the material needs to be replaced.)*
2. *Maintenance*

- a. *Exterior materials should be maintained, cleaned and repaired using methods and products which will not endanger the integrity of the materials.*
  - b. *Clean wood using gentle methods such as low-pressure washing with detergents and natural bristle brushes. Blasting with particulates, power washing at high pressures, and propane or butane torches are not appropriate.*
  - c. *Only types of paint which “breathe” (allow moisture to pass through the surface) should be used on wood surfaces.*
  - d. *The cleaning of exterior masonry for the rehabilitation or restoration of a historic structure may be appropriate, provided that the cleaning technique used will not cause damage or permanent alteration to the historic structure. The natural weathering and discoloration or patina of masonry materials is to be respected as the appearance achieved as a result of the original design's selection of exterior materials. The use of any cleaning technique that would totally remove this natural patina from original building materials should be avoided*
  - e. *Cleaning guidelines for metal are available from the National Park Service.*
3. *Retaining Wood Features- Wooden features that contribute to the overall historic character of a building and a site should be retained and preserved. These features include, but are not limited to, such functional and decorative elements as siding, shingles, shakes, cornices, architraves, brackets, pediments, columns, balustrades, other architectural trim, porch ceilings, floors and facia.*
  4. *Replacing Wood Features*
    - a. *If replacement of an entire wooden feature is necessary, it should be replaced in kind, matching the original design, dimension, detail, material and texture. Compatible substitute materials should be considered only if using the original material is not technically feasible.*
    - b. *If replacement of a deteriorated detail or element is necessary, replace only the deteriorated detail in kind rather than an entire feature.*
    - c. *If a wooden feature is completely missing, replace it with a new feature based on accurate documentation of the original feature or a new design compatible in profile, scale, size, material and texture with the historic building and district.*
  5. *Substitute Materials*



- a. *The use of substitute siding or trim in any form on an existing building is not recommended. Substitute siding or trim rarely replicates the dimensions or appearance of original materials*
  - b. *Cast, molded, composite or synthetic architectural details and exterior materials may be used on existing structures if the original product is no longer available and if such application would not eliminate any architectural details. Such materials shall be permitted in new construction.*
  - c. *In order to qualify for the exceptional approval of substitute materials on an existing building, the application must meet the following tests:*
    - 1. *the substitute material will replace other substitute material on the structure; and*
    - 2. *the cost of restoring the original material is unreasonable, judged in relation to*
    - 3. *the finished value of the property; and/ or*
    - 4. *the original materials (or other suitable alternatives), or the skills necessary to apply those materials are unavailable; or*
    - 5. *there is an emergency (probably temporary) need to provide the material in a time period which does not allow use of the original material (or other suitable alternative).*
  - d. *Where substitute material replaces other substitute material, the siding installation should not eliminate any architectural details.*
  - e. *On existing structures, the first-time application of vinyl or aluminum siding is not permitted. The use of vinyl or aluminum siding is also not permitted on new structures.*
6. *Missing Details- When a feature is missing it must be replaced with a new feature based on accurate documentation of the original design or a new design compatible in scale, size, material, and color with the historic building and district. If a detail of a painted metal feature such as a decorative cornice is missing or deteriorated, replacement in kind may not be feasible, and the replication of the detail in fiberglass, wood or aluminum may be appropriate.*
7. *Masonry Repairs- Masonry repairs must retain the original or existing appearance of the masonry. If masonry is to be replaced, the new material must match the original or existing material in color, texture and hardness. Mortar must replicate original or existing mortar in color, consistency, design and hardness. For example, older brick walls were often laid with a higher lime*

*content than is now common, and sometimes with dark gray or black mortar and finished with recessed joints.*

- 8. Sealing Masonry- Sealants should not be applied to masonry unless it is necessary to prevent further deterioration. Use of sealants is subject to review by the Commission.*
- 9. Maintaining Metal- Regular maintenance of metal is critical in the prevention of corrosion, oxidation (rust) and water damage which are chemical reactions to air exposure and moisture. A sound coat of appropriate paint can be the key to preserving historic metal (except in the instance of copper and bronze which should retain their natural patina). If corrosion begins it will be necessary to remove all of the rust immediately followed by priming the areas with a zincbased primer or other rust-inhibiting primer. Again this does not apply to copper and bronze. Corrosion can also result from a chemical reaction caused by contact between two dissimilar metals. Patching or replacing deteriorated metal in kind is always preferable to using substitute material. The reactions between dissimilar metals limit the options of patching one metal with another.*
- 10. Painting Metal and Concrete- Unpainted metal and unpainted exposed concrete (except in a foundation wall) is prohibited unless it is deemed an essential element to the total design and is compatible with the existing character of the overall Historic District.*
- 11. False History- It is not appropriate to introduce wood or architectural metal features or details to a historic building in an attempt to create a false historical appearance.*

#### *E. Coatings and Colors*

- 1. Colors- Colors that are historically associated with the period of the resources shall not be considered for existing structures; however, the commission may recommend a broad palette of colors as being compatible with the overall character of the district.*
- 2. Unpainted Masonry- Previously unpainted masonry shall not be painted. Masonry which was previously painted may be re-painted. Unless old paint or other coatings can be removed without damage to the masonry, a painted surface should be re-painted rather than stripped of old paint. In preparing to repaint previously painted masonry, stripping should only occur where the paint can be easily removed without damaging the underlying masonry. Blasting with sand or other highly abrasive materials is not permitted. Where paint stripping cannot be performed without damaging the masonry, repainting over the existing paint is the only appropriate solution.*

3. *Repair Before Painting- Necessary masonry repairs (i.e. tuckpointing, stucco patching, crack repairs, etc.) should be satisfactorily completed prior to cleaning the masonry surface. This will help guard against possible damage that could be caused by cleaning tools or materials penetrating into cracks and holes. A masonry surface must be in a state of good repair before cleaning is attempted.*

#### F. *Roofs, Parapets, and Gutters*

1. *Roof Forms- Roofs and roof forms should be maintained and preserved when they contribute to the historic character of the building, including but not limited to materials, cresting, dormers, chimneys, cupolas and cornices. Repairs may include the limited replacement in kind of those extensively deteriorated or missing parts of a feature when there are surviving prototypes such as cupola louvers, dentils, dormer roofing or slates, tiles or wood shingles on a main roof.*
2. *Roofing Materials- When roofing material is clearly distinctive to a buildings style, retaining or replacing it in kind is important and all efforts should be exhausted before replacement with a substitute material is considered. It is not appropriate to remove a roof that is repairable, and then reconstruct it with new material in order to create a uniform or improved appearance.*
3. *Substitute Roofing- If using the same kind of material is not technically or economically feasible, then a compatible substitute material may be considered.*
4. *Roof Accessories- Changing the configuration of a roof by adding new features such as dormer windows, vents, or skylights is generally not appropriate. Exceptions may arise when the addition of such a feature will solve a design problem raised by an adaptive re-use of the resource (such as adding a dormer to light a previously unused space).*
5. *Gutters- Both "K Style" and "Half Round" gutters have a historical presence on homes in our historic districts depending on the architectural design of the roof and eaves of the house. The appropriate application of either gutter system is related to the overall roof design for the practical long term success and economy of the roof drainage system.*

*—Appropriate "K Style" Gutter installations rely on a vertical fascia board on the eave to support the flat back side of the gutter in a vertical position. The fascia board must be large enough to both support the base of the gutter and allow the gutter to be pitched along its length for drainage.*

*—Half Round Gutters are designed to suspend below the eave and catch the run-off. Because half-round gutters are self-supporting, not reinforced by a fascia board, they are typically manufactured from heavier gauge*

*materials. They are typical and appropriate to houses with tapered eaves and open rafter tails.*

*—Built-in gutters that are integral to a historic property are an important characteristic of the property and should be preserved.*

#### **G. Doors and Windows**

- 1. Retaining Windows and Doors- Windows and doors that contribute to the overall historic character of a building should be retained and repaired as needed, including their functional and decorative features, such as frames, sash, muntins, sills, heads, moldings, surrounds, hardware, shutters, glazing, panels, sidelights, fanlights, and thresholds.*
- 2. Replacing Windows and Doors*
  - a. replacement of a deteriorated window or door feature or detail is necessary replace only the deteriorated feature in kind rather than the entire unit. Match the original in material, design, dimension, proportion, reflective qualities, profile, sash rails, stiles, muntins, panels, and operation. If replacement of an entire unit is necessary, replace the unit in kind, matching the design, dimension, panels, pane configuration, architectural trim, detail, muntins and materials. It is not appropriate to use snap-in muntins to create a false divided-light appearance.*
  - b. Replacement windows and doors should maintain and fit existing openings and be consistent in glass size and with existing trim and other features of the structure.*
  - c. Changing the number, location, and size or glazing pattern of windows and doors through cutting new openings, blocking-in, and installing replacement sash which does not fit the historic opening are not recommended.*
- 3. Doors- Original doors should not be substituted with stock doors that do not fit the opening properly or do not fit with the style of the house. Transom windows and sidelights should be preserved.*
- 4. Windows- If a replacement window has an insulating glass pane which is not actually divided by muntins, the appropriate muntin pattern should be permanently applied with muntins no wider than 7/8 inch, as well as with spacer bars internal to the insulated glass. There should be no flat muntin grids, nor removable muntin grids, applied to the inside or outside panes.*
- 5. Glass Block- The use of glass block to fill in openings is generally not appropriate, unless it was part of the style and period of the structure. Instead, existing features should be repaired.*

6. *Storm Windows- Installation of metal storm windows and doors which have a painted or baked enamel finish may be approved when they do not alter or destroy the original structure and trim of the opening. Replacement, repair, or installation of wood storm or screen doors and which are stained or painted to match the house or trim may also be approved.*

#### *H. Porches, Steps and Entries*

1. *Porch Details- If replacement of a deteriorated detail or element is necessary, replace only the deteriorated detail or element in kind rather than the entire feature. Match the original in design, dimension, and material. If the original is not known, use a design commonly used at the time the original building was constructed.*
2. *Complete Replacement- Replacing in-kind an entire porch that is too deteriorated to repair using physical evidence to guide the new work. Design a new entrance or porch if the historic entrance or porch is completely missing using historic evidence.*
3. *Rails and Skirting- The style of porch railings and skirting should match the original or be consistent with those commonly used at the time the original building was constructed.*
4. *Porch Flooring- Tongue and groove 3" wide cedar or pine extended 1" past fascia/ trim is the preferred porch flooring. The boards should be laid in the traditional manner, directly on the joists (to allow drying from the underside) and with a slight slope away from the building (to allow drainage—at least 1 ½ inches in 8 feet). Decking is not an appropriate flooring material (but see also IV.C regarding decks).*
5. *Pressure Treated Wood is not recommended other than where the structural wood will be in contact with the ground and hidden from view by finish material.*
6. *Risers- All steps should have enclosed/solid risers.*
7. *Porch Foundations- Repair of masonry porch foundations should match existing or original materials. When replacing missing masonry foundations they should match the foundation of the main building. If such a match is technically or economically unfeasible an unobtrusive material may be used.*
8. *Painting- All exposed wood elements should be finished or painted. Only types of paint which "breathe" (allow moisture to pass through the surface) should be used on wood surfaces.*

**Comments:** As stated earlier, more details should have been provided on windows, doors, siding, colors, shutters, etc. The number and extent of window replacements and the present state of windows are unknown.

### III. SECONDARY STRUCTURES

*1. Compatible Out-Buildings Buildings and their features as well as features of the site that are important in defining its overall historic character should be retained and preserved. Existing out buildings should follow the guidelines set forth for main structures in their repair and maintenance.*

*2. Materials Exterior wall materials should be consistent with historic materials appropriate to the main structure and neighborhood, such as, wood, stucco and masonry. A cement board clapboard siding product known as Hardi-Plank may also be considered in new construction.*

*3. Roofs Roof design should usually be the same type as the roof of the primary structure. If a gable, it should be the same pitch as that of the primary structure. Roofing material may range from asphalt shingles to a more natural product such as slate, tile and wood shingles.*

*4. Doors and Windows All windows and doors should be made of wood. The style and design will be reviewed on a case by case basis.*

*5. Retaining Garage Doors Where possible, repairing and re-hanging original garage doors is preferred. Some garage door designs can lend themselves to conversion of operation. When replacing a historic door the new door should be of the same material. Products such as steel, vinyl and fiberglass seldom match the appearance of wood nor do they lend themselves to the application of added detailing. If a historic door is beyond repair the replacement door should match the historic door in design, dimensions, operation and material. If matching the historic door is not feasible technically or economically, the proposed replacement door should contain some of the elements of the historic door or of a door design appropriate for the period and design of the structure and main structure.*

*6. Replacing Garage Doors When replacing non-historic or missing garage doors new doors should be compatible with the historic character of the building. It should be compatible in quantity of doors, height, width, proportion, trim, corner details, and pattern of panels, glass and operation.*

*7. Garage Door Windows To be compatible with a historic door the new door should have glass panels constituting between one quarter and one-third of the surface of the door.*

*8. Size of Garage Doors In new construction, if the garage door opening is larger than a standard two-stall, the garage wall should be divided and separate doors hung. Standard door height in a residential garage should be seven (7) feet.*

9. *New Garages* The construction of new carriage houses and garages shall follow the New Construction Guidelines, section V.

10. *Sheds* The term shed refers to an out building with enclosed walls and roof with an area no greater than 100 square feet and a wall height no greater than 8 feet. When the guidelines pertaining to outbuildings are met they may be staff approved. A shed should be located in the rear yard towards the back property line. Corner lots will require additional scrutiny to determine the least obtrusive location.

**Comments:** The pool house appears to be of similar character and design to the principal structure. However, additional details are needed.

#### IV. THE LAND AND SITE IMPROVEMENTS

##### *D. Patios, Decks, Garden Structures*

1. *Rear Yard Patios and Decks* Elevated platforms and flush patios may be allowed in rear yards only, unless special circumstances exist. Similar structures in front or side yards should follow guidelines for porches (see II.E). Most decks should be free-standing (not attached to the house). If it is necessary to attach a deck to the house, it should be done in such a way as not to damage any significant architectural details and it should be easily removed.

**Comments:** The proposed pool and spa area are at grade in the rear yard.

**RECOMMENDATION:** It is recommended that the applicant provide additional details as noted in this report.

If the HDC determines that the applicable standards of the Historic Preservation Review Guidelines are met, the following motion may be used.

*I move to approve the improvements and renovations at 120 Mary Street in accordance with the plans and details submitted within the application materials. Approval shall be subject to the following conditions (if applicable):*

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_
4. \_\_\_\_\_

5. \_\_\_\_\_

6. \_\_\_\_\_





## Historic District Permit Application

<b>LOCATION INFORMATION</b>	<b>APPLICATION NUMBER</b> _____ - _____
-----------------------------	---

Address 120 Mary Street

Parcel Number 03-57-300-053-50

<b>APPLICANTS INFORMATION</b>
-------------------------------

Name Michael Waechter Address / PO Box 4534 N Ravenswood Ave, 1R

City Chicago State IL Zip 60640 Phone 312-213-5706

Interest In Project Architect E-Mail mwaechter@souciehorner.com

Signature *Michael Waechter* Date 03/19/2024

<b>OWNERS INFORMATION (IF DIFFERENT FROM APPLICANTS)</b>
--

Name 120 Mary St LLC Address / PO Box 208 W Kinzie Ave, 4th Floor

City Chicago State IL Zip 60654 Phone 312-755-0202

E-Mail mhorner@souciehorner.com

I hereby authorize that the applicant as listed above is authorized to make this application for proposed work as my agent and we agree to conform to all applicable laws and regulations of the City of Saugatuck. I additionally grant City of Saugatuck staff or authorized representatives thereof access to the property to inspect conditions, before, during, and after the proposed work is completed.

Signature *[Signature]* Date 3/24/24

<b>CONTRACTORS/ DEVELOPERS INFORMATION (UNLESS PROPOSED WORK IS TO BE DONE BY THE PROPERTY OWNER)</b>
---

Name Bickerstaff Builders Contact Name Tim Pattison

Address / PO Box 1137 N. Lincoln Ave City Park Ridge

State IL Zip 60068 Phone 312-882-0606 Fax n/a

E-Mail tim@bickerstaffbuilders.com

License Number n/a Expiration Date \_\_\_\_\_

<b>PROPERTY INFORMATION</b>
-----------------------------

Depth 132' Width 57' Size 7,283sft +/- Zoning District R-4 Current Use R-1

Check all that apply: Waterfront \_\_\_\_\_ Dunes \_\_\_\_\_ Vacant \_\_\_\_\_

<b>PROJECT DESCRIPTION (ATTACH MORE SHEETS IF NECESSARY)</b>
--

Renovate an existing single family home to include three bedroom suite, upgraded kitchen, and a new fireplace. Modifications to the rear yard to include the addition of an in-ground swimming pool and hot tub, and modifications to the existing accessory structure to be used as a pool House. Additional work includes new landscaping and a relocation of the entry door of the main structure.

The exterior of the home will be modified to match the existing architecture of the Wickwood Inn immediately next door. This will include the installation of new siding and window shutters to match. The owner intends to maintain the existing overall shape of the building, with the only addition being the fireplace.



**HISTORIC DISTRICT REQUIREMENTS (SECTION 152.07)**

Pursuant to Section 152.07, please attach the following supporting documents when applying for historic district approval if applicable:

Y    N    NA

- Photographs of the structure and its relationship to adjacent structures.
- A plot plan with the placement of the proposed addition, or location of fencing to be constructed.
- Elevation drawings of the exterior of the structure or improvements.
- Samples of all proposed exterior finishes and materials.
- Photographs showing, in detail, the problem areas to be addressed during the proposed repair or alteration.
- A scale drawing of all proposed signage, including design, lettering style, type of illumination (if any), placement or location on the lot or building, and the type of support(s) for the sign(s).
- If an application for signage is made by tenants of a building located within a historic district, the tenants must obtain written permission from the building owner to install or alter the proposed sign(s).
- Plot plan showing the following:
  - Current location, shape, area and dimension of the lot.
  - Current site improvements (including structures, sidewalks, decks, streets, fences, etc).
  - Proposed improvements and distances from other improvements or property lines.
  - Proposed and/or current yard, open space and parking space dimensions and calculations.
  - Location of any flood plains, watersheds, wetlands, easements, critical dunes, or other applicable features.
- Description of proposed use and of the building (dwelling, structure, barn, garage and the like) or improvements.
- Detailed written description of the activities related to the proposed use and/or improvements.

**OFFICE USE ONLY:**  
 Application Complete \_\_\_\_\_ Fee Paid \_\_\_\_\_ Date Paid \_\_\_\_\_  
 Notes: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

# the Wickwood Inn

## Cottage Renovation/Expansion

### 120 Mary St

### Saugatuck, Michigan 49453

Submission for Review  
**March 22, 2024**

### PROJECT TEAM

**ARCHITECT OF RECORD:** Waechter Architects, PC  
 4534 N Ravenswood Ave.  
 Chicago, IL 60640  
 (312) 213-5706

**INTERIOR DESIGNER:** Soucie Horner, Ltd.  
 208 W Kinzie  
 Chicago, IL 60654  
 (773) 744-0202

**R-4 CITY CENTER TRANSITIONAL RESIDENTIAL DISTRICT (CER).**  
 Dimension and area regulations.  
 Front setback 20 feet  
 Side setback 7 feet  
 Rear setback 10 feet  
 Minimum lot area 8,712 square feet  
 Minimum lot width 66 feet  
 Maximum lot coverage 25%\*

### DRAWING INDEX

Architectural	
G1.0	COVER SHEET/ PROJECT DATA
G1.1	SITE PLAN
D1.0	COTTAGE AND ACCESSORY BUILDING DEMOLITION PLANS
D2.0	COTTAGE BUILDING DEMOLITION ELEVATIONS
D2.1	ACCESSORY BUILDING DEMOLITION ELEVATIONS
A0.1	COTTAGE FIRST AND SECOND FLOOR PLANS AND ACCESSORY BUILDING PLAN
A2.0	COTTAGE AND ACCESSORY EXTERIOR ELEVATIONS
A3.0	CONTEXT PHOTOS AND IMAGERY

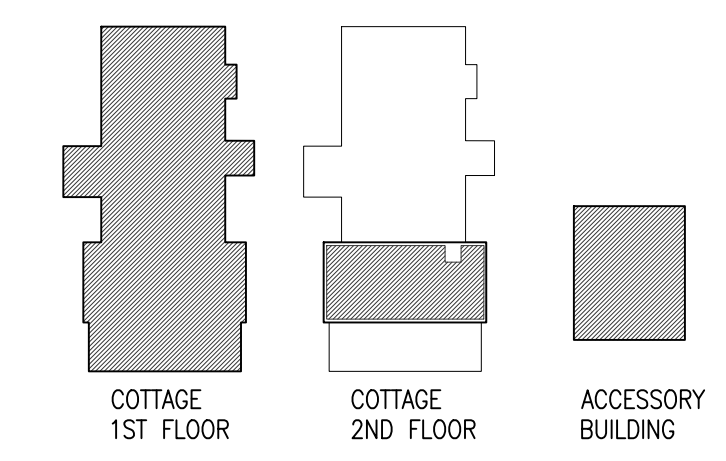
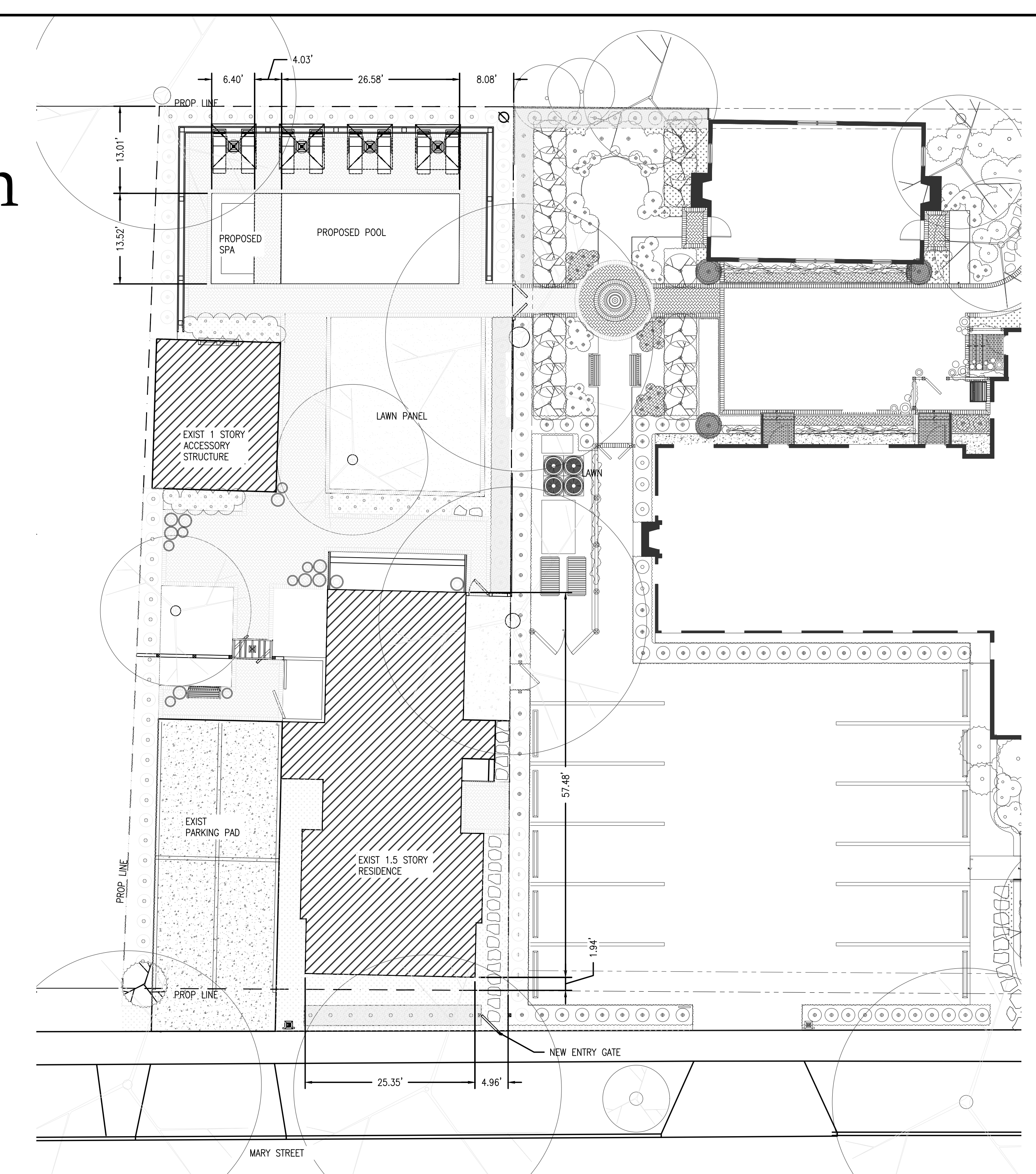
### APPLICABLE CODES

**EXISTING BUILDING DATA:**  
 Governing Codes:  
 • Michigan Residential Code 2015; Incorporating the 2015 International Residential Code  
 • Michigan Plumbing Code 2015  
 • Michigan Mechanical Code 2015  
 • Michigan Electrical Code 2017  
 • ICC/ANSI A117.1-2013  
 Code of Ordinances: City of Saugatuck, MI  
 Enforcing Agency: City of Saugatuck, MI  
 Zoning: R-4 CITY CENTER TRANSITIONAL RESIDENTIAL DISTRICT (CER)  
 Building Construction Type: VB  
 Use Group: Residential (R-1)

**DESCRIPTION OF WORK:**  
 MICHIGAN REHABILITATION CODE 2015, LEVEL  
 2 ALTERATION RENOVATION OF EXISTING RESIDENCE

**COMPLIANCE STATEMENT**  
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED BY ME AND/OR UNDER MY DIRECT SUPERVISION AND THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF THEY COMPLY WITH THE ORDINANCES AND BUILDING CODES OF SAUGATUCK, MICHIGAN.

SIGNED \_\_\_\_\_ ARCH - MI REG# 1301071816



EXISTING ZONING DATA:		PROPOSED ZONING DATA:	
LOT AREA:	7,285 sft	LOT AREA:	7,285 sft
LOT COVERAGE:	BUILDING - 1,403.5 sft ACCESSORY BLDG. - 413 sft TOTAL - 1,816.5 sft	LOT COVERAGE:	BUILDING - 1,403.5 sft ACCESSORY BLDG. - 413 sft TOTAL - 1,816.5 sft
	7,285sft/1,816.5 sft = <b>24.9% COVERAGE</b>		1,816.5 sft/7,285 sft = <b>24.9% COVERAGE</b>
F.A.R. -	1st FLOOR - 1,403.5 sft 2nd FLOOR - 313.7 sft TOTAL - 1,717.2 SFT / 7,285 = <b>23.5% FAR</b>	F.A.R. -	1st FLOOR - 1,403.5 sft 2nd FLOOR - 313.7 sft ACCESSORY BLDG. - 413 sft TOTAL - 2,130.2 SFT / 7,285 = <b>29% FAR</b>

FIRST FLOOR AREA: 1,403.5 SF  
 AFFECTED AREA: 1,403.5 SF  
 AREA PERCENTAGE: 100% AFFECTED  
 SECOND FLOOR AREA: 313.7 SF  
 AFFECTED AREA: 313.7 SF  
 AREA PERCENTAGE: 100% AFFECTED  
 ACCESSORY BLDG: 413 SF  
 AFFECTED AREA: 413 SF  
 AREA PERCENTAGE: 100% AFFECTED

**WAECHTER ARCHITECTS**  
 4534 North Ravenswood Avenue  
 Chicago, Illinois 60640  
 p: 773 728 3920  
 www.w-a-e-c-h.com  
 Illinois Professional Design Firm #184-005495

**SOUCIE HORNER INTERIORS**  
 ARCHITECTURAL INTERIORS  
 SOUCIE HORNER, LTD.  
 208 West Kinzie Street, 4th Floor  
 Chicago, Illinois 60654  
 telephone: (312) 755-0202  
 facsimile: (312) 755-0404

Permit Application # \_\_\_\_\_

PROJECT NAME:  
**the Wickwood Inn - Cottage**  
 120 Mary Street  
 Saugatuck, MI 49453  
 NOTE: CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.  
 DRAWING REPRESENTS DESIGN INTENT ONLY.

ISSUES AND REVISIONS:		
No.	DATE:	DESCRIPTION:
1	03/22/2024	SUBMISSION FOR REVIEW

DATE: 3/21/24  
 SHEET NUMBER:  
**G1.0**

COVER SHEET

h:\clients\wickwood\_inn\0-120\_mary\_street\drawings\cottage\_permit\_drawings\wv\_sheets.dwg ©2024 WAECHTER ARCHITECTS, PC / SOUCIE HORNER, LTD.

# DESCRIPTION

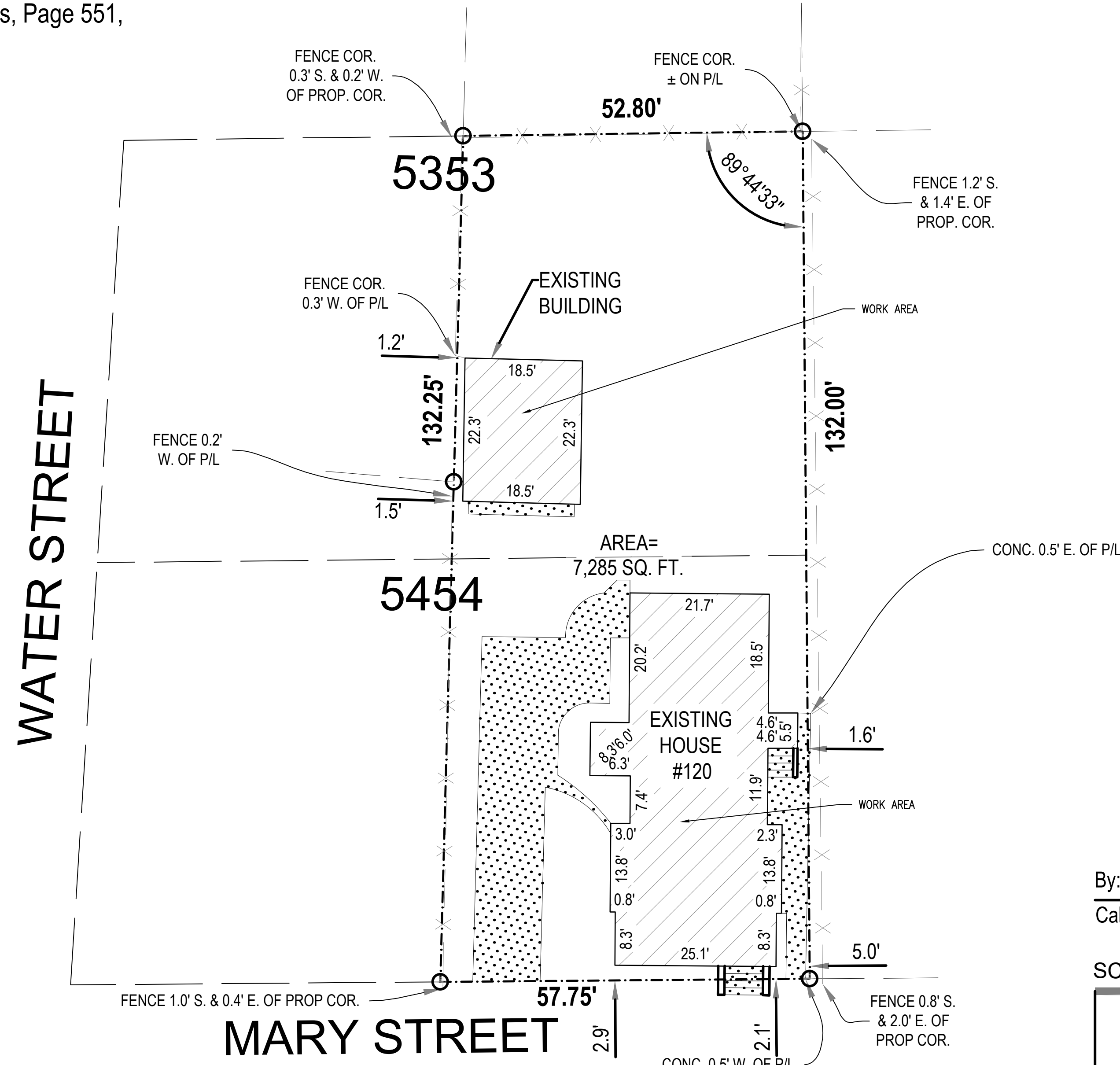
The land referred to in this commitment is described as follows:  
City of Saugatuck, County of Allegan, State of Michigan

The East 1/2 of Lots 53 and 54, KALAMAZOO PLAT, according to the recorded plat thereof, as recorded in Liber 111 of Plats, Page 551, Allegan County Records.

(ATA National Title Commitment No. 03-23865281-HOL, dated February 24, 2023)

# LEGEND

- Iron - Found
- Fence
- Concrete
- Existing Building



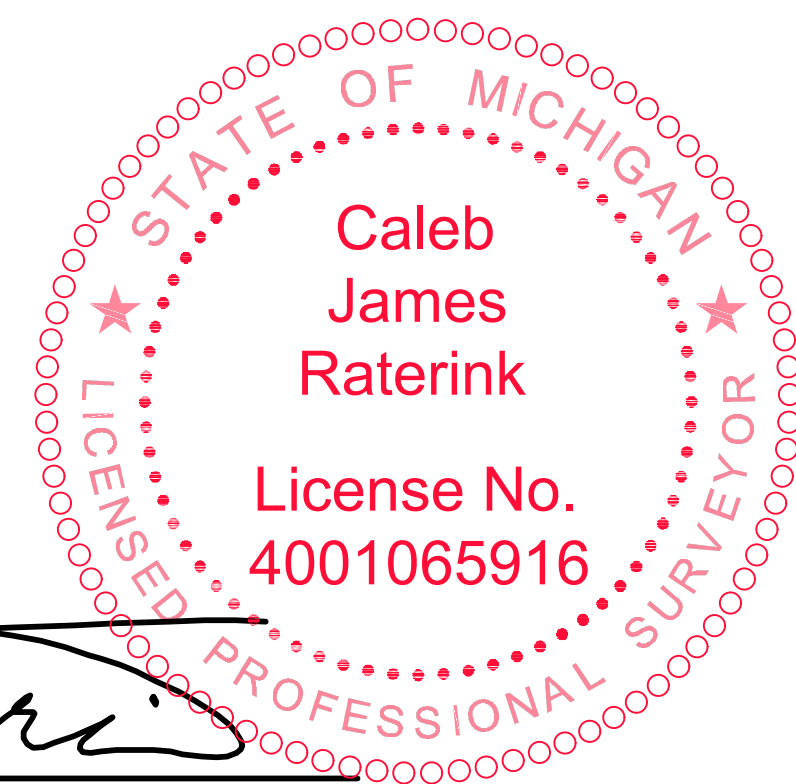
We hereby certify that we have examined the premises herein described, that the improvements are located entirely thereon as shown and that they do not encroach except as shown hereon.  
This survey was made from the legal description shown above. The description should be compared with the Abstract of Title or Title Policy for accuracy, easements and exceptions.

1 SITE SURVEY NOT TO SCALE

# SCHEDULE B - SECTION II NOTES

- 9 Terms, conditions and provisions which are recited in Clarification of Easement recorded in Liber 1934, Page 120, and re-recorded in Liber 2035, Page 455:  
**Supporting documents not provided at time of survey.**
- 10 Terms, conditions and provisions which are recited in Declaration of Ingress and Egress, Parking and Walkway Easement recorded in Liber 1928, Page 858:  
**Supporting documents not provided at time of survey.**
- 11 Right of Way vested in Consumers Power Company recorded in L. 340, P. 567:  
**Supporting documents not provided at time of survey.**
- 12 Right of Way vested in Consumers Power Company recorded in L. 337, P. 430:  
**Supporting documents not provided at time of survey.**

By: *Caleb J. Raterink*  
Caleb J. Raterink Licensed Professional Surveyor No. 4001065916



SCALE: 1" = 30' 0' 15' 30' NORTH

Century 21 Affiliated  
Pati Bekken  
62 Center St - PO Box 1044  
Douglas, MI 49406

120 Mary Street

www.nederveld.com • 800.222.1868

Holland  
347 Hoover Blvd.  
Holland, MI 49423  
Ann Arbor, Chicago, Columbus,  
Grand Rapids, Indianapolis

DRAWN BY: TF DATE: 3.7.2023 PRJ #: 23200257  
REV. BY: REV. DATE: 1 OF 1

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www.w - a - r - c - h . c o m  
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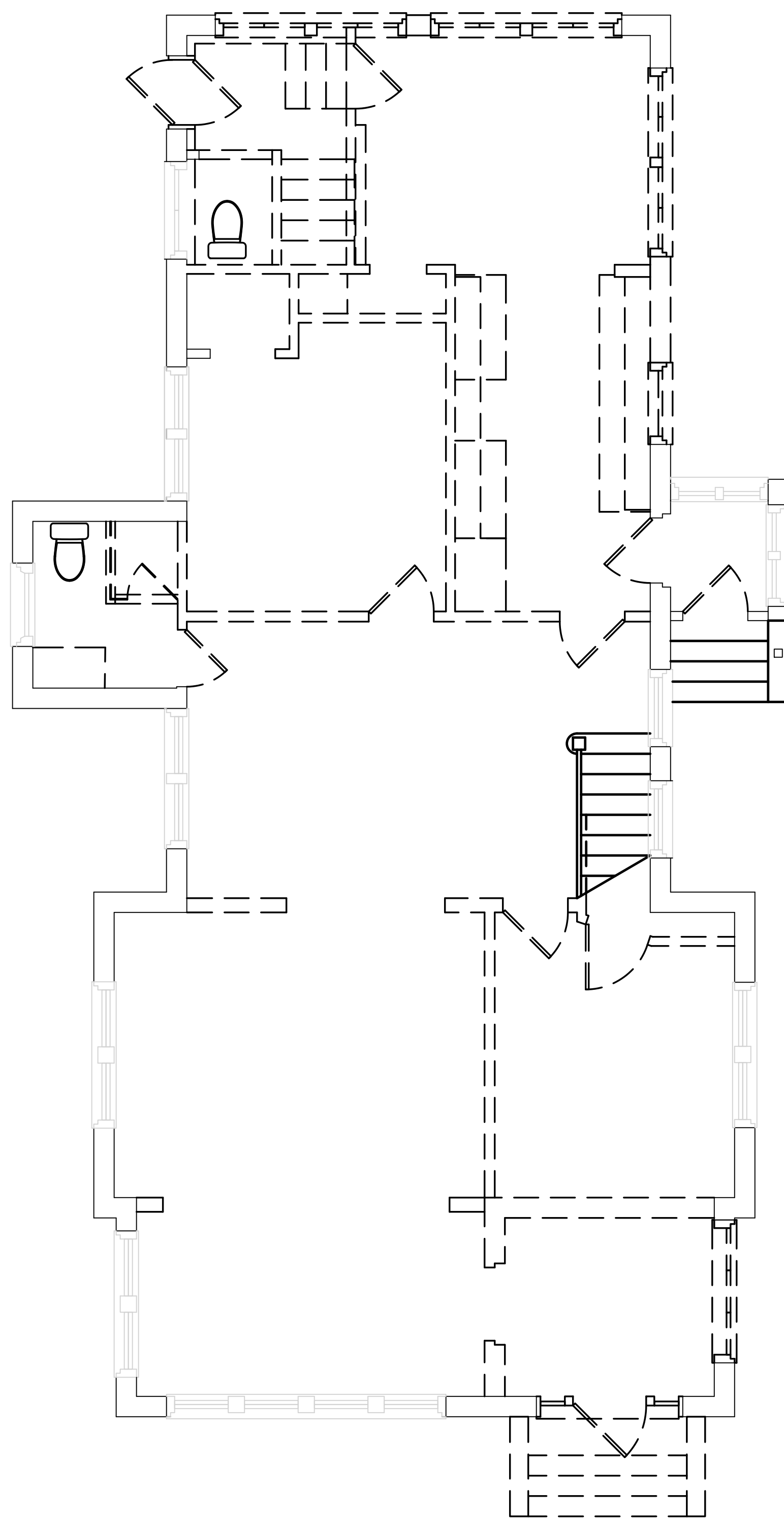
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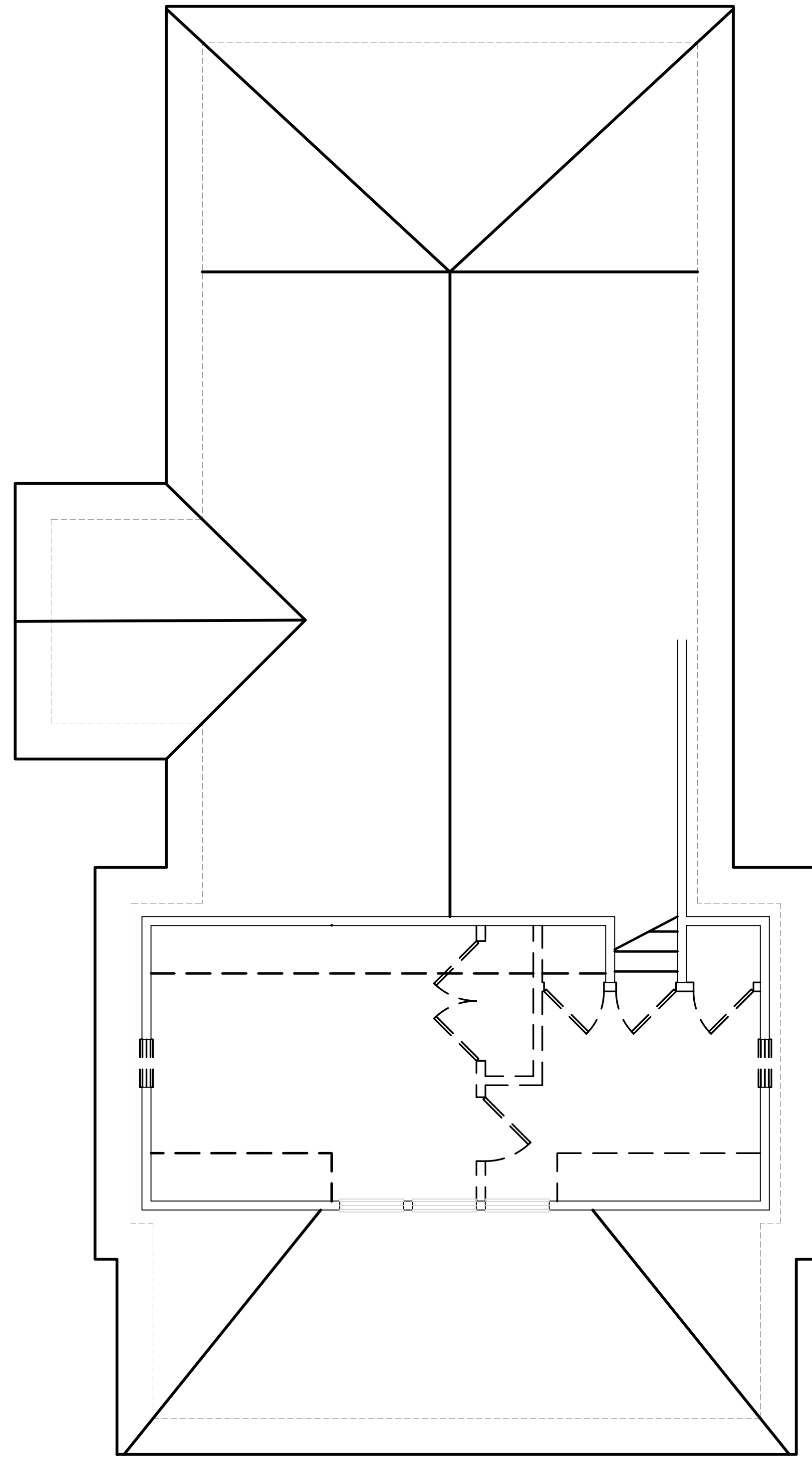
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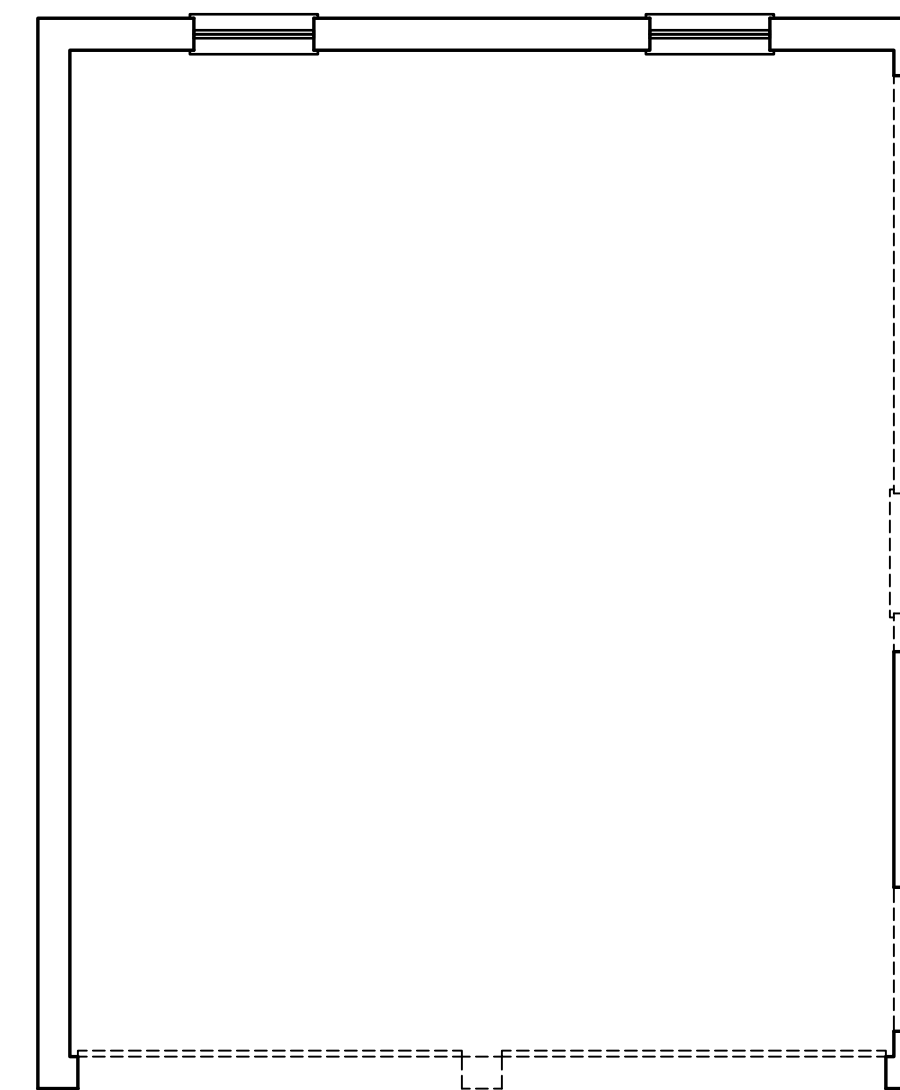




**1** FIRST FLOOR DEMO PLAN  
1/4"=1'-0"



**2** SECOND FLOOR DEMO PLAN  
1/4"=1'-0"



**3** ACCESSORY BUILDING DEMO PLAN  
1/4"=1'-0"

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**DEMOLITION LEGEND**

- ITEMS FOR DEMOLITION
- EXIST'G STRUCTURES TO REMAIN
- INDICATES AREA OF PROPOSED WORK

**DEMOLITION KEY NOTES**

- 1 REMOVE WALL FINISHES TO EXPOSE FRAMING
- 2 REMOVE EXISTING PARTITIONS
- 3 REMOVE MILLWORK AND APPLIANCES; SALVAGE TO OWNER
- 4 REMOVE EXISTING DOOR / WINDOW AND FRAME
- 5 EXISTING ROOF TO REMAIN
- 6 REMOVE EXISTING FLOOR FINISHES
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- 8 REMOVE STAIR
- 9 PROTECT GUTTERS & DOWNSPOUTS
- 10 REMOVE SIDING AND SHEATHING

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1 EXISTING / DEMO  
NORTH ELEVATION  
1/4"=1'-0"



2 EXISTING / DEMO  
EAST ELEVATION  
1/4"=1'-0"



3 EXISTING / DEMO  
NORTH ELEVATION  
1/4"=1'-0"



4 EXISTING / DEMO  
NORTH ELEVATION  
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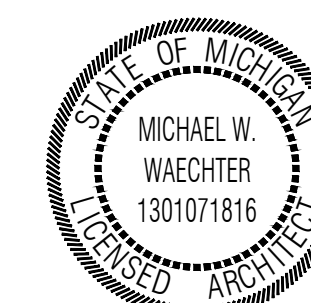
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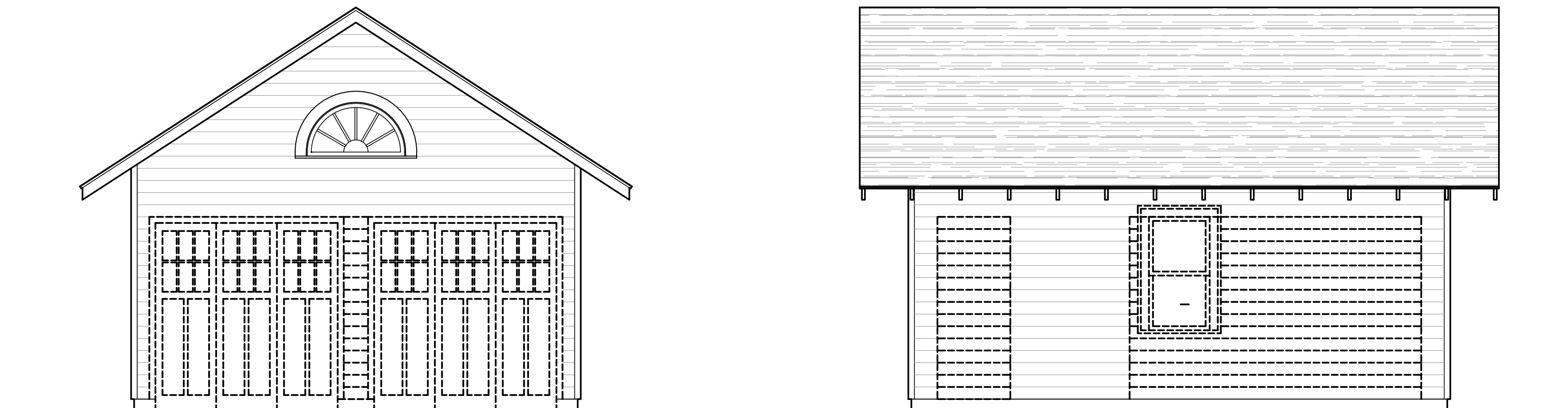
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**D2.0**

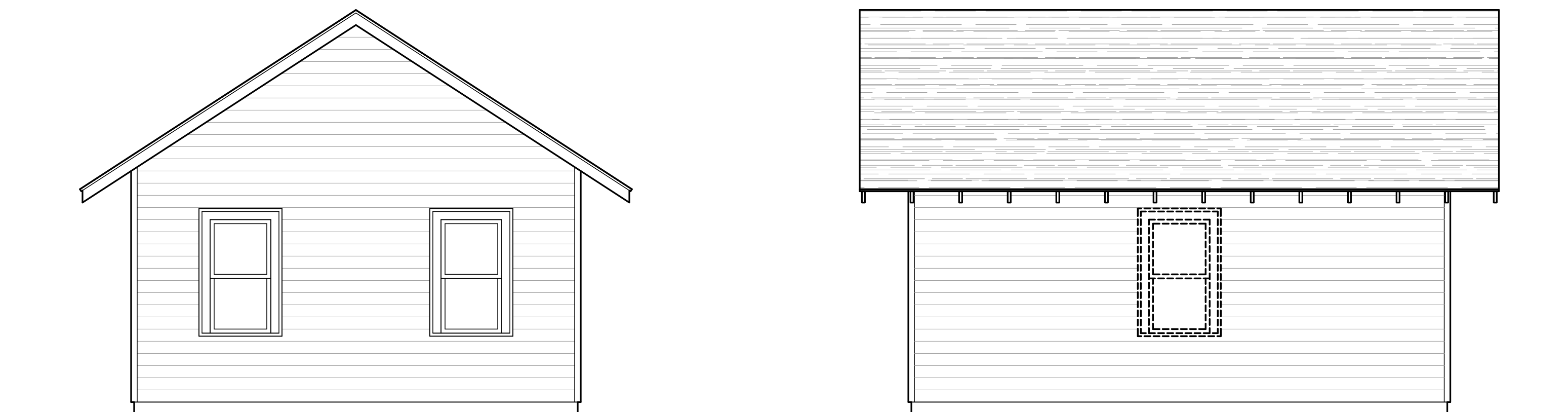


DEMOLITION ELEVATIONS



1 EXISTING / DEMO NORTH ELEVATION  
1/4"=1'-0"

2 EXISTING / DEMO EAST ELEVATION  
1/4"=1'-0"



3 EXISTING / DEMO NORTH ELEVATION  
1/4"=1'-0"

4 EXISTING / DEMO NORTH ELEVATION  
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5 PHOTOS OF EXISTING ACCESSORY BUILDING

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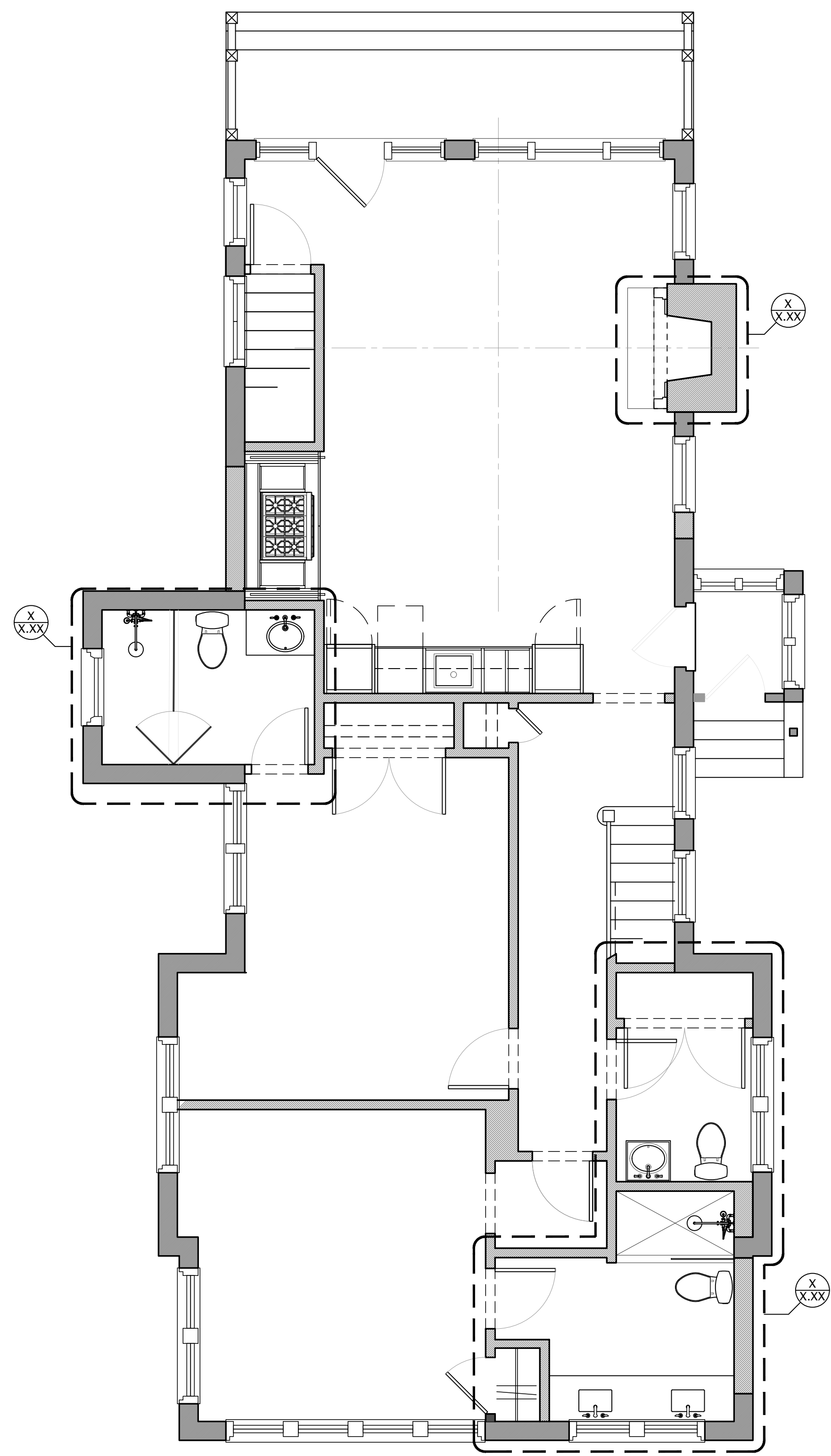
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  2. REMOVE AND SALVAGE: REMOVE, CLEAN AND DELIVER FOR OWNER'S USE IN DESIGNATED AREA.
  3. REMOVE AND REINSTALL: REMOVE, CLEAN, REPAIR, AND REINSTALL ITEM.
  4. EXISTING TO REMAIN: PROTECT ITEM AGAINST DAMAGE DURING DEMOLITION AND CONSTRUCTION.

DEMOLITION LEGEND

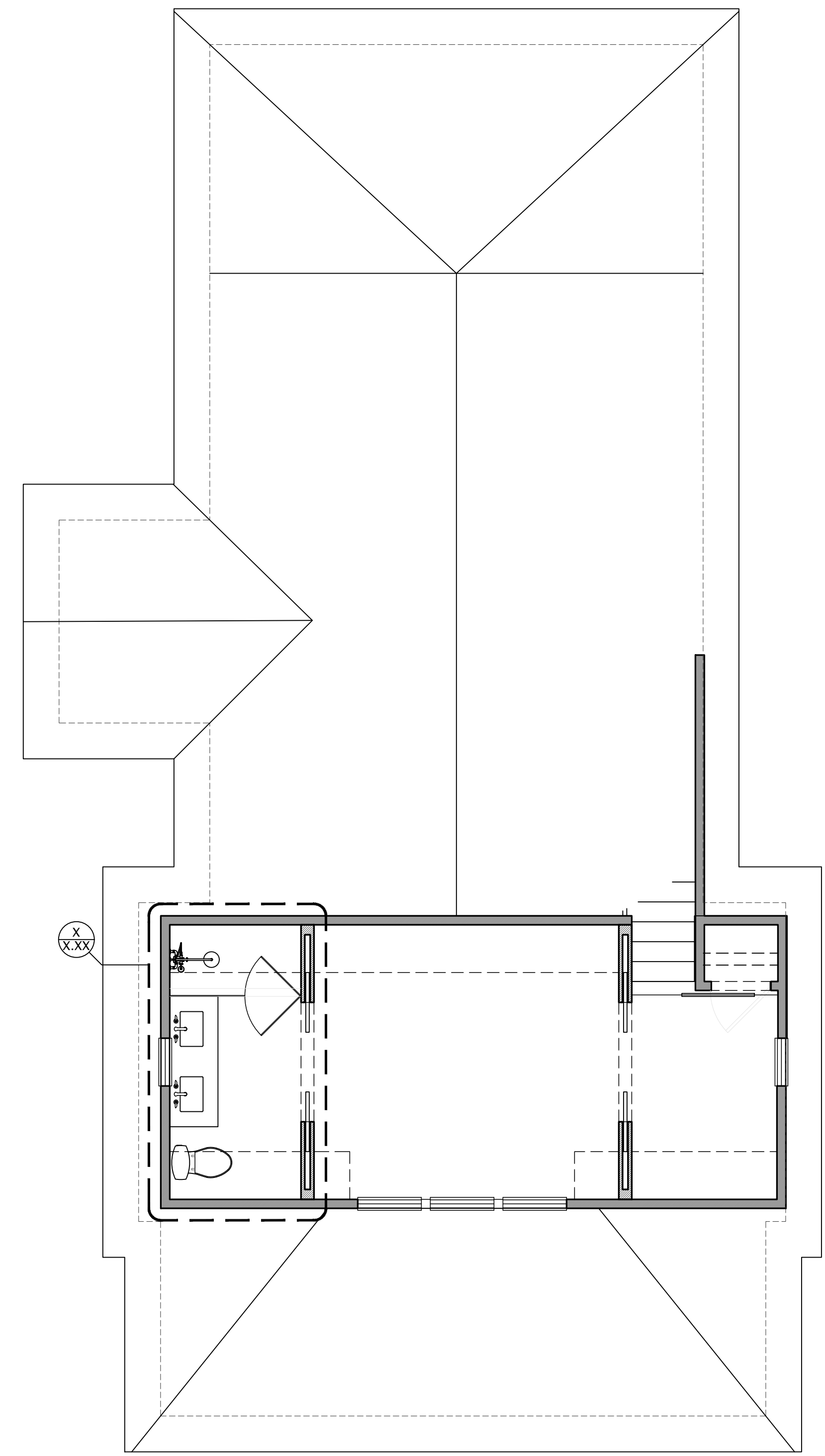
- ITEMS FOR DEMOLITION
- EXIST'G STRUCTURES TO REMAIN
- INDICATES AREA OF PROPOSED WORK

DEMOLITION KEY NOTES

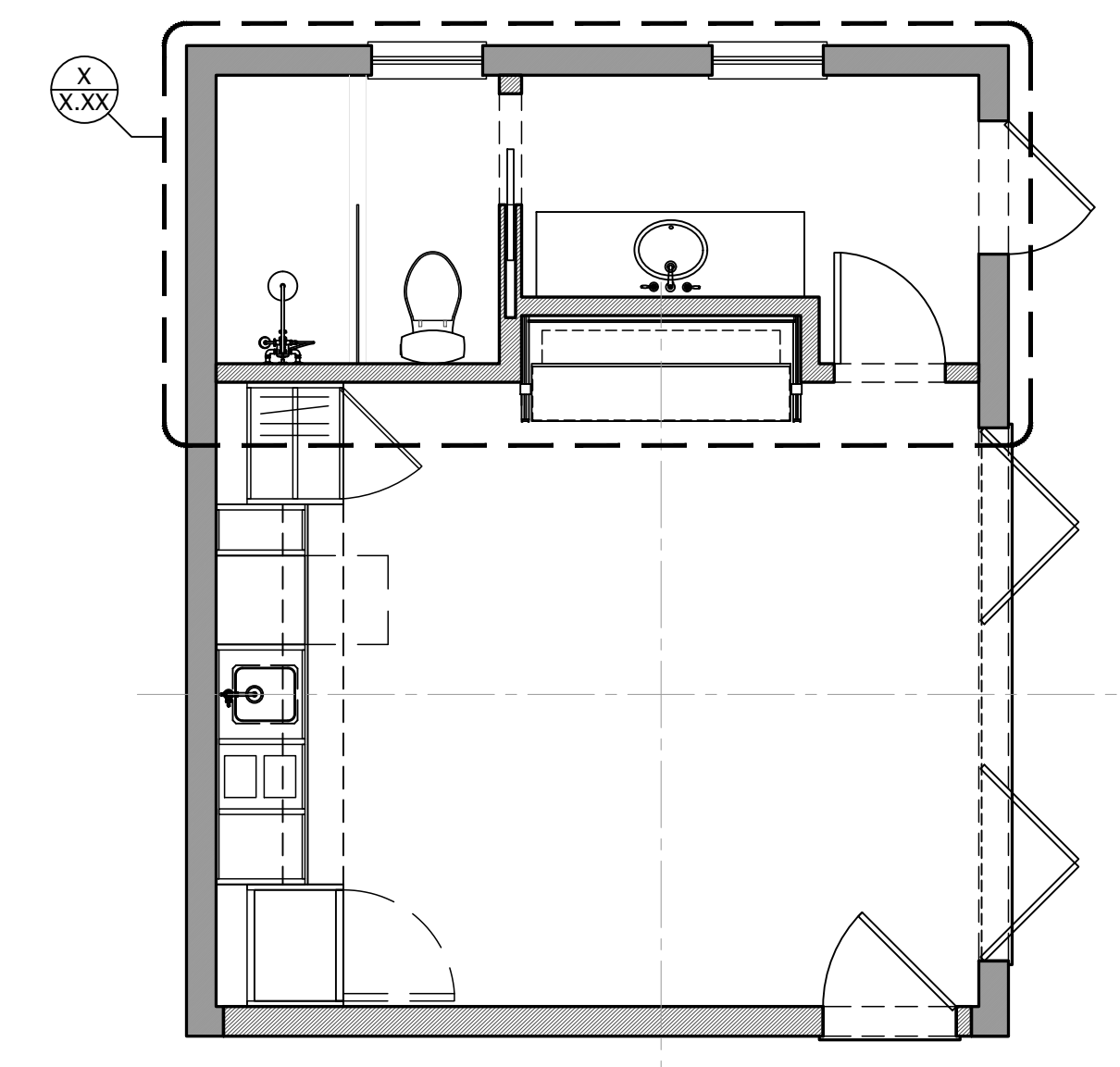
- 1 REMOVE WALL FINISHES TO EXPOSE FRAMING
- 2 REMOVE EXISTING PARTITIONS
- 3 REMOVE MILLWORK AND APPLIANCES; SALVAGE TO OWNER
- 4 REMOVE EXISTING DOOR / WINDOW AND FRAME
- 5 EXISTING ROOF TO REMAIN
- 6 REMOVE EXISTING FLOOR FINISHES
- 7 REMOVE EXISTING PLUMBING FIXTURES AND APPLIANCES
- 8 REMOVE STAIR
- 9 PROTECT GUTTERS & DOWNSPOUTS
- 10 REMOVE SIDING AND SHEATHING



1 FIRST FLOOR PLAN  
 1/4"=1'-0"



2 SECOND FLOOR PLAN  
 1/4"=1'-0"



3 ACCESSORY BUILDING PLAN  
 1/4"=1'-0"

**WAECHTER ARCHITECTS**  
 4534 North Ravenswood Avenue  
 Chicago, Illinois 60640  
 p: 773 728 3920  
 www.w-a-r-c-h.com  
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**SOUCIE HORNER INTERIORS**  
 ARCHITECTURAL INTERIORS  
 SOUCIE HORNER, LTD.  
 208 West Kinzie Street, 4th Floor  
 Chicago, Illinois 60654  
 telephone: (312) 755-0202  
 facsimile: (312) 755-0404

Permit Application # \_\_\_\_\_

PROJECT NAME:  
**the Wickwood Inn - Cottage**  
 120 Mary Street  
 Saugatuck, MI 49453  
 NOTE: CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.  
 DRAWING REPRESENTS DESIGN INTENT ONLY.

ISSUES AND REVISIONS:		
No.	DATE:	DESCRIPTION:
1	03/22/2024	SUBMISSION FOR REVIEW

DATE: 3/21/24

SHEET NUMBER:

**A0.1**





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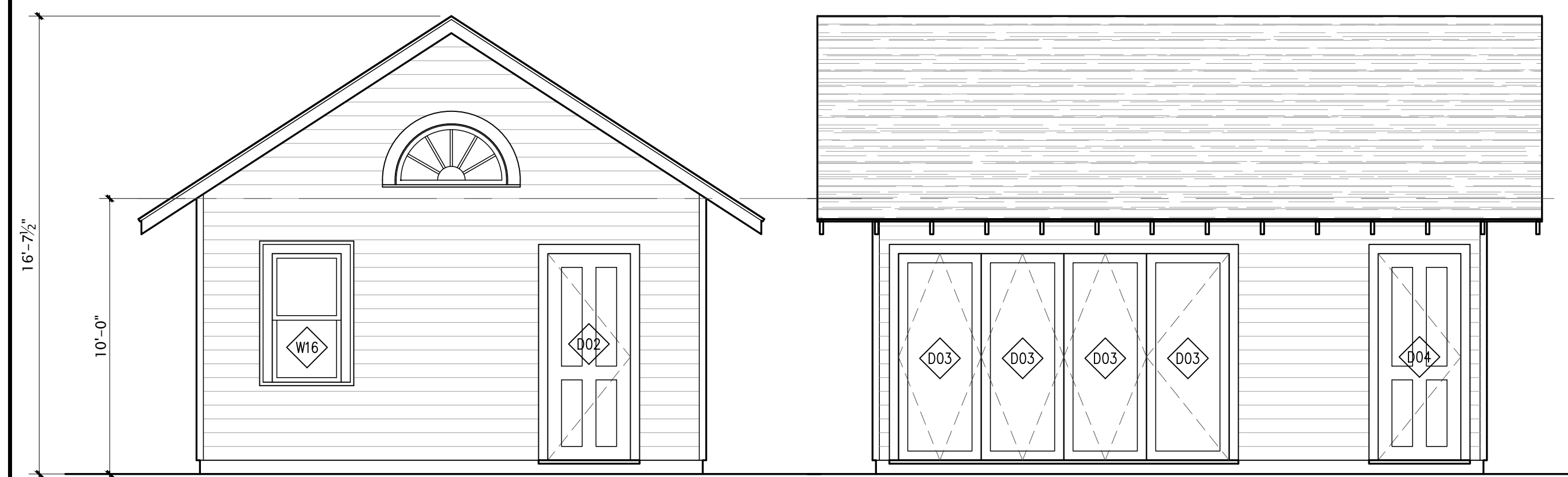
1 PROPOSED NORTH ELEVATION  
1/4"=1'-0"

2 PROPOSED EAST ELEVATION  
1/4"=1'-0"



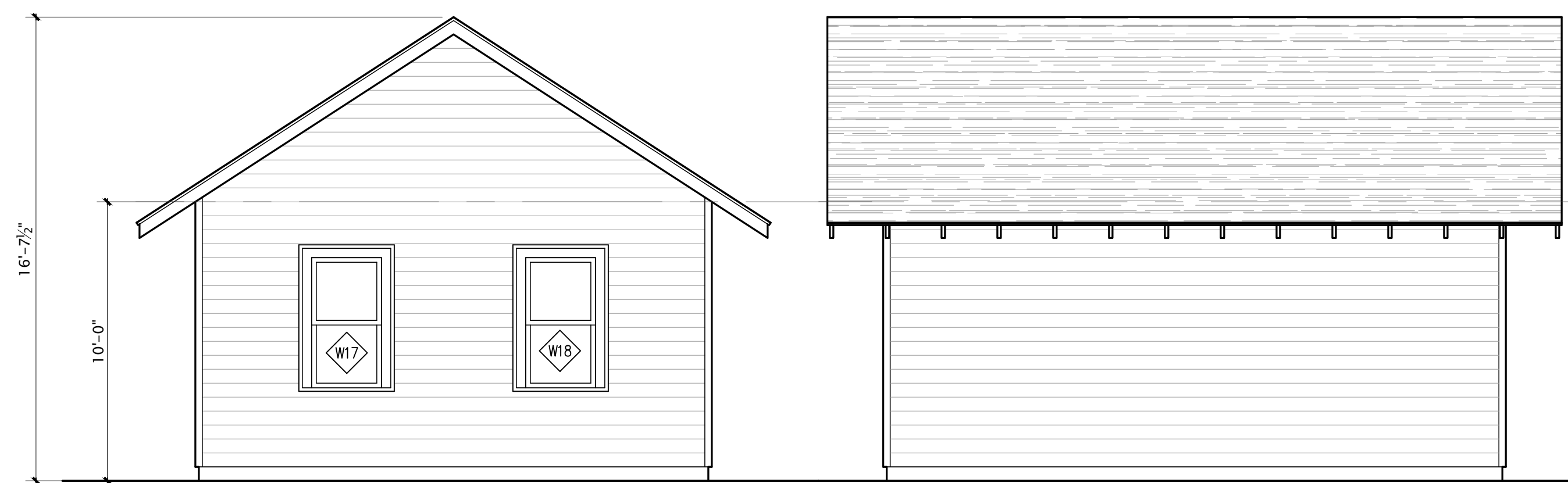
3 PROPOSED SOUTH ELEVATION  
1/4"=1'-0"

4 PROPOSED WEST ELEVATION  
1/4"=1'-0"



5 PROPOSED POOL HOUSE NORTH ELEVATION  
1/4"=1'-0"

6 PROPOSED POOL HOUSE EAST ELEVATION  
1/4"=1'-0"



7 PROPOSED POOL HOUSE SOUTH ELEVATION  
1/4"=1'-0"

8 PROPOSED POOL HOUSE WEST ELEVATION  
1/4"=1'-0"

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Permit Application # \_\_\_\_\_

PROJECT NAME:  
**the Wickwood Inn - Cottage**  
120 Mary Street  
Saugatuck, MI 49453  
NOTE: CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.  
DRAWING REPRESENTS DESIGN INTENT ONLY.

ISSUES AND REVISIONS:		
No.	DATE:	DESCRIPTION:
1	03/22/2024	SUBMISSION FOR REVIEW

DATE: 3/21/24

SHEET NUMBER:

**A2.0**





1 CONTEXT PHOTO - EXISTING EAST ELEV



2 CONCEPT RENDERING



3 CONCEPT RENDERING



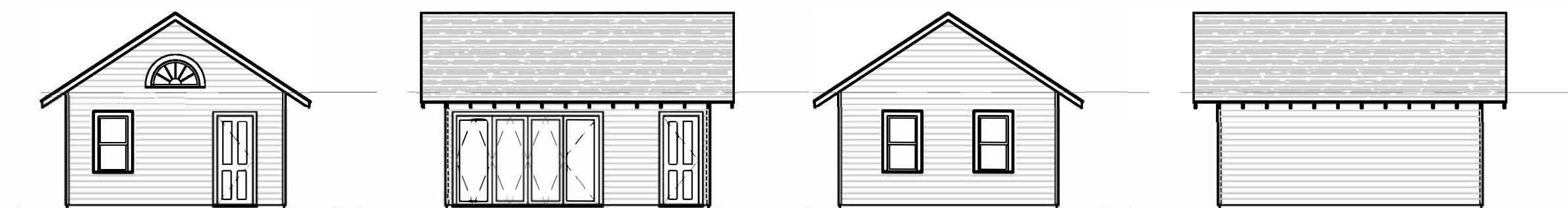
4 CONCEPT RENDERING



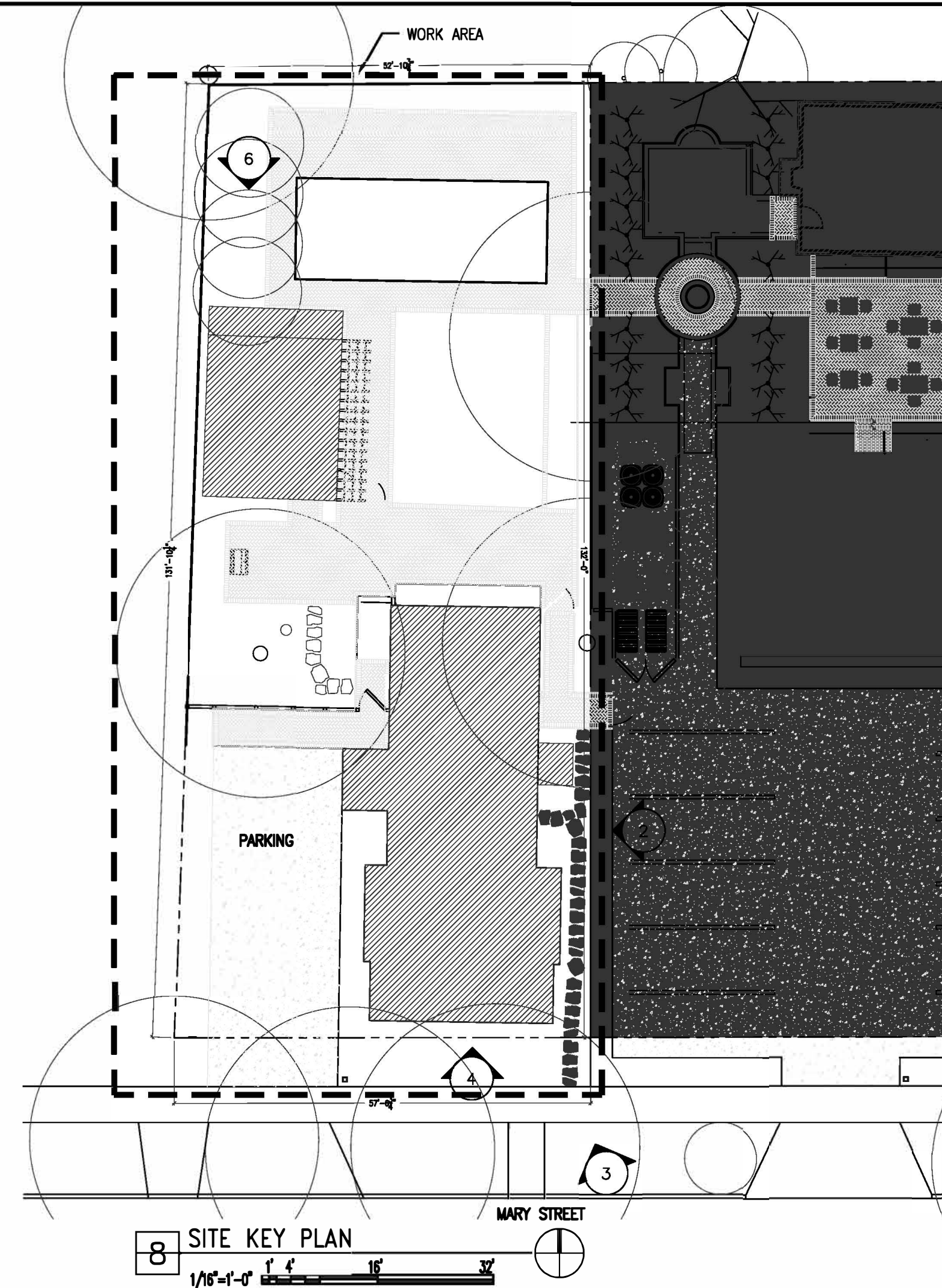
5 CONTEXT PLAN



6 PROPOSED ELEVATIONS COTTAGE BUILDING



7 PROPOSED ELEVATIONS ACCESSORY BUILDING



8 SITE KEY PLAN



9 CONTEXT PHOTO - SOUTH ELEV

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NOTE: CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.  
DRAWING REPRESENTS DESIGN INTENT ONLY.

ISSUES AND REVISIONS:		
No.	DATE	DESCRIPTION
1	03/22/2024	SUBMISSION FOR REVIEW

DATE: 3/22/24

SHEET NUMBER:

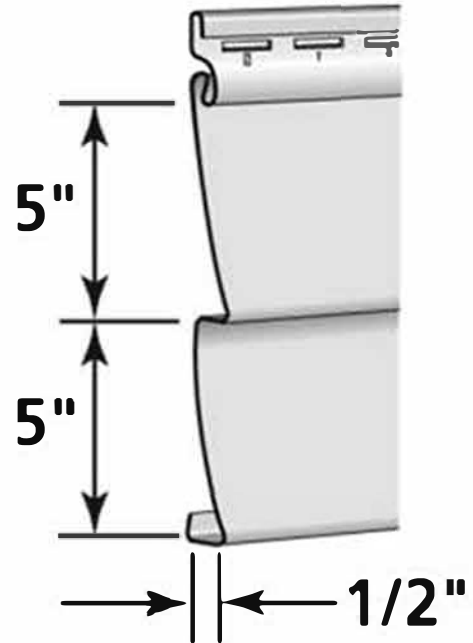
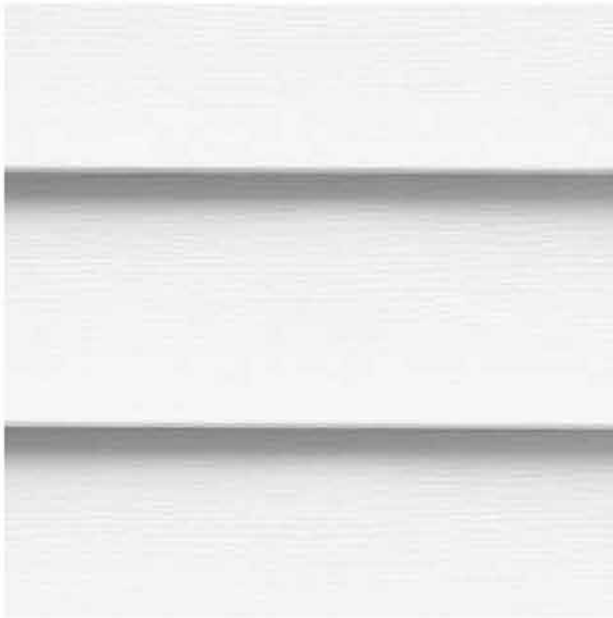
A3.0



CONTEXT PHOTOS

# MainStreet™ Double 5" x 12' Colonial White Vinyl Siding

Model Number: 3912201



## Description & Documents

MainStreet™ siding offers value with the benefits of a premium panel. It provides a reinforced rolled-over nail hem, DuraLock™ and the STUDfinder™ installation system. It also features a RigidForm™ 160 technology that has been tested to withstand wind load pressures up to 160 miles per hour.



Brand Name: Mainstreet

### Features

- Patented STUDfinder™ is designed for accurate and secure installation
- DuraLock® post-formed lock design
- .042" thickness
- 10 pieces cover 100 sq ft
- Limited lifetime warranty
- Woodgrain finish
- 9/16" panel projection
- Class 1(A) fire rating
- We make every effort to show accurate colors on our website. Due to variations in computer monitors, they won't always accurately represent the product color. Color chip samples are available at the store to ensure color accuracy

## Specifications

Siding Profile	Double 5"	Color	Colonial White
Thickness	0.042 inch	Material	Vinyl
Siding Surface Design	Woodgrain	Overall Width	10 inch
Overall Length	144 inch	Exposure	10 inch
Coverage Per Piece	10 square foot	Manufacturer Warranty	Limited Lifetime
Maximum Wind Resistance	170 miles per hour	Listing Agency Standards	Class 1(A) Fire Rating
Shipping Dimensions	144.00 H x 10.00 W x 0.56 D	Shipping Weight	4.4375 lbs
Return Policy	Special Order Merchandise ( <a href="#">View Return Policy</a> )		

## MainStreet™

### Vinyl Siding

**General Description:** MainStreet™ siding is appropriate for use in new construction for single family homes, multi-housing projects and light commercial developments. MainStreet is also an ideal product for remodeling.

**Styles:**

Profile	Finish	Panel Projection	Wall Thickness (Nominal)	Lock Design	Colors	Accessory Pocket
Double 4" Clapboard	Woodgrain	9/16"	.042"	Post-formed	25	5/8" or 3/4"
Double 4" Dutchlap	Woodgrain	9/16"	.042"	Post-formed	25	1/2", 5/8" or 3/4"
Double 5" Clapboard	Woodgrain	9/16"	.042"	Post-formed	25	5/8" or 3/4"
Double 5" Dutchlap	Woodgrain	9/16"	.042"	Post-formed	25	5/8" or 3/4"
Triple 3" Clapboard	Smooth Brushed	9/16"	.042"	Post-formed	9	5/8" or 3/4"
Single 6-1/2" Beaded	Smooth Brushed	9/16"	.042"	Post-formed	8	5/8" or 3/4"
Single 8" Clapboard	Woodgrain	5/8"	.042"	Post-formed	1	3/4"

**Colors:** MainStreet siding profiles are available in a wide selection of colors. All colors are Spectrophotometer controlled and utilize exclusive Permacolor™ color science.

Colonial White (01)	Wedgewood Blue (89)*	Sterling Gray (33)	Natural Clay (60)	Forest (47)*
Autumn Yellow (10)*	Sandstone Beige (15)	Weathered Wood (90)*	Oxford Blue (32)	Hearthstone (19)*
Desert Tan (07)	Savannah Wicker (59)	Castle Stone (37)*	Autumn Red (23)*	Pacific Blue (27)*
Heritage Cream (11)	Seagrass (30)*	Cypress (42)*	Charcoal Gray (46)*	Sable Brown (29)*
Herringbone (04)*	Snow (31)	Granite Gray (34)*	Flagstone (97)*	Spruce (16)*

*\*Not available in T3" profile*

**STUDfinder™:** The patented STUDfinder Installation System combines precisely engineered nail slot locations with graphics. Nail slots are positioned 16" on center to allow for alignment with studs. STUDfinder graphics centered at each slot provide a quick and easy guide to help locate studs.

**RigidForm™:** MainStreet RigidForm 170 double nail hem technology stiffens siding for a straighter-on-the-wall appearance and provides wind load performance.

**Lock:** MainStreet's exclusive DuraLock™ is a substantially larger lock than is found on competing products, with a rigid teardrop shape and engineered angular locking leg for a positive, snap fit application and exceptional wind resistance.

**Accessories:** CertainTeed manufactures a wide range of siding accessories which are compatible with MainStreet siding styles and colors. Accessory products include installation components, soffit, window and door trim, corner lineals, corner systems and decorative moldings.

**Composition:** MainStreet siding products are produced using PVC resin.

**Technical Data:** MainStreet siding is in compliance with ASTM specification for Rigid Polyvinyl Chloride (PVC) Siding D3679, and the requirements of the 2015, 2018 and 2021 International Residential Code and International Building Code, the 2020 Florida Residential Code and Florida Building Code, and the 2019 California Residential Code and California Building Code. MainStreet siding meets or exceeds the properties noted in Table 1.

CertainTeed LLC  
 20 Moores Road  
 Malvern, PA 19355  
 certainteed.com  
 © 01/23

Table 1

ASTM E 84	Meets Class A flame spread requirements as tested according to ASTM E84.
ASTM D 635	Material is self-extinguishing with no measurable extent of burn when tested in accordance with this specification.
NFPA 268	Radiant Heat Test - Ignition Resistance of Exterior Walls - Conclusion that CertainTeed met the conditions for allowable use as specified in section 1406 of the International Building Code.

**Important Fire Safety Information:** When rigid vinyl siding is exposed to significant heat or flame, the vinyl will soften, sag, melt or burn, and may thereby expose material underneath. Care must be exercised when selecting underlayment materials because many underlayment materials are made from organic materials that are combustible. You should ascertain the fire properties of underlayment materials prior to installation. All materials should be installed in accordance with local, state and federal Building Code and fire regulations.

**Wind Load Testing:** CertainTeed MainStreet siding has been tested per ASTM D 5206 standard test method for wind load resistance to withstand negative wind load pressures and their mph equivalents as shown in the chart below. All products exceed industry standards for wind load performance. Check with your local building inspector for wind load requirements in your area for the type of structure you are building.

Table 2

Product	Fastener Spacing	2015/2018 IBC/IRC			2021 IBC/IRC		
		Standard Design Pressure Rating	Maximum Windspeed (mph)		Standard Design Pressure Rating	Maximum Windspeed (mph)	
			ASD	ULT		ASD	ULT
Double 4" Clapboard	Nails 16" o.c.	105.0	209	270	76.0	177	229
Double 5" Clapboard	Nails 16" o.c.	89.4	193	249	64.0	164	211
Double 4" Dutchlap	Nails 16" o.c.	89.4	193	249	64.0	164	211
Double 5" Dutchlap	Nails 16" o.c.	83.8	186	240	60.0	158	204
Triple 3" Clapboard	Nails 16" o.c.	89.4	193	249	64.0	164	211
Single 6-1/2" Beaded	Nails 16" o.c.	89.4	193	249	64.0	164	211
Single 8" Clapboard	Nails 16" o.c.	89.4	193	249	64.0	164	211

\* Windload calculations based on ASTM D3679, ASCE 7-10, 30ft High, Exposure B

**Documents:** CertainTeed Vinyl Siding meets the requirements of one or more of the following specifications.

VSI/Intertek PCL-0504

Texas Department of Insurance Product Evaluation EC-11

Conforms to ASTM Specification D3679

ICC-ES Evaluation Report ESR-1066

ICC-ES Evaluation Listing ESL-1462 (Canada)

Florida BCIS Approval FL1573 & FL12483

For specific product evaluation/approval information, call 800-233-8990.

**Installation:** Prior to commencing work, verify governing dimensions of building, examine, clean and repair, if necessary, any adjoining work on which the siding is in any way dependent for its proper installation. Sheathing materials must have an acceptable working surface. Siding, soffit and accessories shall be installed in accordance with the latest editions of CertainTeed installation manuals on siding and soffit. Installation manuals are available from CertainTeed and its distributors.

**Warranty:** CertainTeed supports MainStreet siding products with a Lifetime Limited Warranty including PermaColor Lifetime Fade Protection to the original homeowner. The warranty is transferable if the home is sold.

**Technical Services:** CertainTeed maintains an Architectural Services staff to assist building professionals with questions regarding CertainTeed siding products. Call 800-233-8990 for samples and answers to technical or installation questions.

**Sample Short Form Specification:** Siding as shown on drawings or specified herein shall be MainStreet™ Vinyl Siding as manufactured by CertainTeed LLC, Malvern, PA. The siding shall have a .042" nominal thickness. Installation shall be in accordance with manufacturer's instructions.

**Three-part Format Specifications:** Long form specifications in three-part format are available from CertainTeed by calling our Architectural Services Staff at 800-233-8990. These specifications are also available on our website at [certainteed.com](http://certainteed.com).



CertainTeed LLC  
20 Moores Road  
Malvern, PA 19355  
certainteed.com  
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## 400 SERIES



\*2020 Andersen brand survey of U.S. contractors.



## TILT-WASH DOUBLE-HUNG FULL-FRAME WINDOWS

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- Window Details ..... 85-86
- Joining Details ..... 86
- Narrowline® Conversion Kit ..... 87
- Combination Designs ..... 181
- Product Performance ..... 197

**CUSTOM SIZING**  
in 1/8" (3) increments 

Dimensions in parentheses are in millimeters.



# TILT-WASH DOUBLE-HUNG FULL-FRAME WINDOWS

## FEATURES

### FRAME

**A** Exterior outer frame members are covered with a Perma-Shield® rigid vinyl cladding, minimizing maintenance and providing an attractive appearance.

**B** For exceptional long-lasting performance, sill members are constructed with a wood core and a Fibrex® material exterior. Sill ends are protected and sealed with weather-resistant covers.

**C** Natural wood stops are available in pine, and prefinished white, dark bronze and black.\*\*

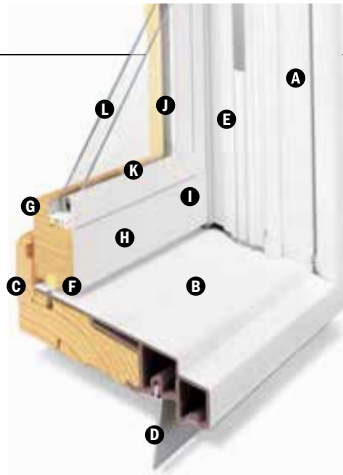
**D** A factory-applied rigid vinyl anchoring flange on the head, sill and sides of the outer frame helps secure the unit to the structure.

**E** An extruded rigid vinyl jamb liner and fin provide a protective seal against the outer frame members. Exclusive slide wash assists make it easy to tilt the sash into wash mode position.



Unique block-and-tackle balancers feature sized-to-the-unit, rust-resistant springs that require no adjustment. Glass-reinforced nylon balancer shoes provide smooth, reliable sash operation. Sash can be removed, without tools, for drywall pass-through. Jamb liners are available in white or gray, and must be specified when ordering. Contact your Andersen supplier for details.

**F** Weatherstrip throughout the unit provides a long-lasting, energy-efficient, weather-resistant seal. For the top and bottom rails, an encased foam material is used. The head jamb liner and sill have a rigid vinyl rib that the weatherstrip material compresses against. At the meeting rail, compressible vinyl bulb material is used. Side jamb liners use leaf-type weatherstrip with foam inserts.



### SASH

Wash assists make it easy to tilt the sash into wash mode.

**G** Wood sash members are treated with a water-repellent preservative for long-lasting protection and performance. Interior surfaces are unfinished pine. Low-maintenance prefinished white interiors are also available.

**H** A polyester-stabilized coat with a Flexacron® finish is electrostatically applied to penetrate all exterior surfaces for maximum protection and a lustrous finish.

**I** Sash joints simulate the look of traditional mortise-and-tenon construction inside and out.

### GLASS

**J** In addition to stainless steel glass spacers, black or white glass spacers are now available to allow the spacer to blend in with the unit color.

**K** Silicone bed glazing provides superior weathertightness and durability.

**L** High-Performance options include:

- Low-E4® glass
- Low-E4 HeatLock® glass
- Low-E4 SmartSun™ glass
- Low-E4 SmartSun HeatLock glass
- Low-E4 Sun glass

Tempered and other glass options are available. Contact your Andersen supplier.

A removable translucent film helps shield the glass from damage during delivery and construction, and simplifies finishing at the job site.

### Patterned Glass

Patterned glass options are available. See page 12 for more details.

\*Visit [andersenwindows.com/warranty](http://andersenwindows.com/warranty) for details.

\*\*Products with dark bronze and black interiors have matching exteriors.

“Flexacron” is a registered trademark of PPG Industries, Inc.

Dimensions in parentheses are in millimeters.

Printing limitations prevent exact replication of colors and finishes. See your Andersen supplier for actual color and finish samples.

Naturally occurring variations in grain, color and texture of wood make each window one of a kind. All wood interiors are unfinished unless a finish is specified.

Distressed bronze and oil rubbed bronze are “living” finishes that will change with time and use.

## EXTERIOR & INTERIOR OPTIONS

### EXTERIOR COLORS



### INTERIOR OPTIONS



## HARDWARE



Standard Lock & Keeper

Black | Gold Dust | **Stone** | White

Stone is standard with natural interior units. White comes with prefinished white interiors. Other finishes optional.

## OPTIONAL HARDWARE Sold Separately



Lock & Keeper

### ESTATE™

Antique Brass | Bright Brass  
Brushed Chrome | Distressed Bronze  
Distressed Nickel | Oil Rubbed Bronze  
Polished Chrome | **Satin Nickel**

Optional Estate lock and keeper reduces the clear opening height by 1/16" (14). Check with local building code officials to determine compliance with egress requirements.

### CONTEMPORARY



Bar Lift

Antique Brass | Black | Bright Brass  
Brushed Chrome | Distressed Bronze  
**Distressed Nickel** | Gold Dust  
Oil Rubbed Bronze | Polished Chrome  
Satin Nickel | Stone | White

### TRADITIONAL



Bar Lift



Hand Lift

Finger Lifts

Antique Brass | Black | Bright Brass | Brushed Chrome  
Distressed Bronze | Distressed Nickel | Gold Dust | **Oil Rubbed Bronze**  
Polished Chrome | Satin Nickel | Stone | White

Bold name denotes finish shown.

## HARDWARE FINISHES



**StormWATCH**  
PROTECTION

400 Series tilt-wash double-hung full-frame windows are available with Stormwatch® Protection. Visit [andersenwindows.com/coastal](http://andersenwindows.com/coastal) for more details.

**Performance Grade (PG) Upgrades**

A high inside sill stop\* with exterior sill brackets and hidden interior brackets is available to provide additional structural support for tilt-wash windows, allowing standard, non-impact glass units to achieve higher performance grade ratings. Performance Grade (PG) ratings are more comprehensive than Design Pressure (DP) ratings for measuring product performance. For up-to-date performance information of individual products, please visit [andersenwindows.com](http://andersenwindows.com). Use of this option will subtract 5/8" (15) from the clear opening height. PG Upgrade not available for 72" (1829) and 76" (1930) heights. Contact your Andersen supplier for availability.

**SASH OPTIONS**



Cottage

Reverse Cottage

**ACCESSORIES** Sold Separately

**FRAME**

**Extension Jamb**



Standard jamb depth is 4 1/2" (114). Extension jambs are available in unfinished pine or prefinished white. Some sizes may be veneered.

Factory-applied and non-applied interior extension jambs are available in 1/16" (1.5) increments between 5 1/4" (133) and 7 1/8" (181). Extension jambs can be factory applied to either three sides (stool and apron application) or four sides (picture frame casing).

**Pine Stool**



A clear pine stool is available and ready for finishing. The tilt-wash stool is available in 4 9/16" (116) for use in wall depths up to 5 1/4" (133), and 6 9/16" (167) for use in wall depths up to 7 1/8" (181). Works with 2 1/4" (57) and 2 1/2" (64) casing widths.

**HARDWARE**

**Window Opening Control Device**



A recessed window opening control device is available factory applied. It limits the sash travel to less than 4" (102) when the window is first opened. Available in white, stone and black. A field-applied window opening control device kit is also available.

**STORM/INSECT SCREEN COMBINATION UNIT\*\***



A self-storing storm window combined with an insect screen provides greater energy efficiency, while allowing ventilation when needed.

Constructed with an aluminum frame, single-pane upper and lower glass panels, and charcoal powder-coated aluminum screen mesh. Available in white, Sandtone and Terratone to match product exteriors. Canvas, dark bronze, forest green and black are available by special order.

Combination units can improve Sound Transmission Class (STC) and Outdoor Indoor Transmission Class (OITC) ratings. Ideal for projects near airports, busy roadways or other noisy environments. For example, adding a combination unit to a 400 Series tilt-wash double-hung (3862) unit with Low-E4® glass will improve its STC rating from 26 to 32. Contact your Andersen supplier for additional STC and OITC rating information.

**GLASS**

**Andersen® Art Glass**

Available for 400 Series tilt-wash transom and picture units. Andersen art glass panels come in a variety of original patterns. See art glass section starting on page 173 for more information or visit [andersenwindows.com/artglass](http://andersenwindows.com/artglass).

**INSECT SCREENS**

**Insect Screen Frames**



Full and half insect screens are available for most unit sizes. Frame colors match product exteriors. Half insect screen (shown above) allows ventilation without affecting the view through the upper sash. Not available on windows with Stormwatch Protection.

**TruScene® Insect Screens**

Andersen TruScene insect screens let in over 25% more fresh air† and provide 50% greater clarity than conventional Andersen insect screens, all while keeping out unwanted small insects.

**Conventional Insect Screens**

Conventional insect screens have charcoal powder-coated aluminum screen mesh.

**GRILLES**

Grilles are available in a variety of configurations and widths. For double-hung grille patterns, see page 85.

**EXTERIOR TRIM**

Available with Andersen exterior trim. See exterior trim section starting on page 175.

**CAUTION:**

- Painting and staining may cause damage to rigid vinyl.
- 400 Series windows in Terratone color may be painted any color lighter than Terratone color using quality oil-based or latex paint.
- Do not paint 400 Series windows in white, canvas, Sandtone, dark bronze, forest green or black exterior colors.
- Andersen does not warrant the adhesion or performance of homeowner-applied paint over vinyl or other factory-coated surfaces.
- For vinyl painting instructions and preparation, contact your Andersen supplier.
- Do not paint weatherstrip.
- Creosote-based stains should not come in contact with Andersen products.
- Abrasive cleaners or solutions containing corrosive solvents should not be used on Andersen products.

\*Infringes on the overall net clear opening. Unit clear operable area may not meet egress requirements. See your local building code official for more information.

\*\*Do not add combination units to windows with Low-E4 Sun glass unless window glass is tempered. Combination units may also reduce the overall clear operable area of the window. See your local code official for egress requirements in your area.

†TruScene insect screens let in over 25% more fresh air than standard Andersen fiberglass insect screens.

Dimensions in parentheses are in millimeters.

# TILT-WASH DOUBLE-HUNG FULL-FRAME WINDOWS

**Table of Tilt-Wash Double-Hung Window Sizes**

Scale 1/8" (3) = 1'-0" (305) – 1:96

Window Dimension	1'-9 5/8"	2'-1 5/8"	2'-5 5/8"	2'-7 5/8"	2'-9 5/8"	2'-11 5/8"	3'-1 5/8"	3'-5 5/8"	3'-9 5/8"
	(549)	(651)	(752)	(803)	(854)	(905)	(956)	(1057)	(1159)
<b>Minimum Rough Opening</b>	1'-10 1/8"	2'-2 1/8"	2'-6 1/8"	2'-8 1/8"	2'-10 1/8"	3'-0 1/8"	3'-2 1/8"	3'-6 1/8"	3'-10 1/8"
	(562)	(664)	(765)	(816)	(867)	(917)	(968)	(1070)	(1172)
Unobstructed Glass (lower sash only)	15"	19"	23"	25"	27"	29"	31"	35"	39"
	(381)	(483)	(584)	(635)	(686)	(737)	(787)	(889)	(991)



Custom-size windows are available in 1/8" (3) increments. See page 84 for custom sizing.

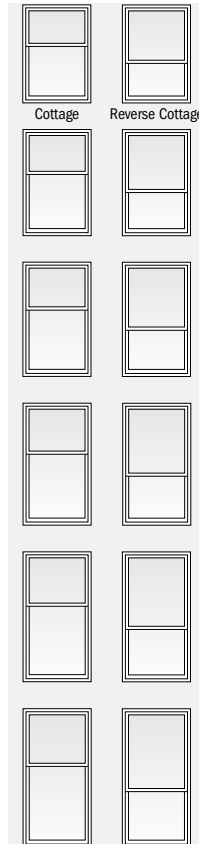
Grille patterns shown on page 85.

Cottage or reverse cottage sash ratio available for heights shown below in all widths.

**CUSTOM WIDTHS – 21 5/8" to 45 5/8"**

**CUSTOM HEIGHTS – 48 1/8" to 76 1/8"**

Window Dimension	CUSTOM WIDTHS – 21 5/8" to 45 5/8"									
	21 5/8"	24 1/8"	26 5/8"	29 1/8"	31 5/8"	34 1/8"	36 5/8"	39 1/8"	41 5/8"	45 5/8"
3'-0 7/8"	TW18210	TW20210	TW24210	TW26210	TW28210	TW210210	TW30210	TW34210	TW38210	
3'-4 7/8"	TW18212	TW20212	TW24212	TW26212	TW28212	TW210212	TW30212	TW34212	TW38212	
3'-8 7/8"	TW1836	TW2036	TW2436	TW2636	TW2836	TW21036	TW3036	TW3436	TW3836	
4'-0 7/8"	TW18310	TW20310	TW24310	TW26310	TW28310	TW210310	TW30310	TW34310	TW38310	
4'-4 7/8"	TW1842	TW2042	TW2442	TW2642	TW2842	TW21042	TW3042	TW3442	TW3842	
4'-8 7/8"	TW1846	TW2046	TW2446	TW2646	TW2846	TW21046	TW3046 <sup>o</sup>	TW3446 <sup>o</sup>	TW3846 <sup>o</sup>	
5'-0 7/8"	TW18410	TW20410	TW24410	TW26410	TW28410	TW210410 <sup>o</sup>	TW30410 <sup>o</sup>	TW34410 <sup>o</sup>	TW38410 <sup>o</sup>	
5'-4 7/8"	TW1852	TW2052	TW2452	TW2652	TW2852 <sup>o</sup>	TW21052 <sup>o</sup>	TW3052 <sup>o</sup>	TW3452 <sup>o</sup>	TW3852 <sup>o</sup>	
5'-8 7/8"	TW1856	TW2056	TW2456	TW2656 <sup>o</sup>	TW2856 <sup>o</sup>	TW21056 <sup>o</sup>	TW3056 <sup>o</sup>	TW3456 <sup>o</sup>	TW3856 <sup>o</sup>	
6'-0 7/8"	TW18510	TW20510	TW24510 <sup>o</sup>	TW26510 <sup>o</sup>	TW28510 <sup>o</sup>	TW210510 <sup>o</sup>	TW30510 <sup>o</sup>	TW34510 <sup>o</sup>	TW38510 <sup>o</sup>	
6'-4 7/8"	TW1862	TW2062	TW2462 <sup>o</sup>	TW2662 <sup>o</sup>	TW2862 <sup>o</sup>	TW21062 <sup>o</sup>	TW3062 <sup>o</sup>	TW3462 <sup>o</sup>	TW3862 <sup>o</sup>	



Size tables for windows with cottage or reverse cottage sash are available at [andersenwindows.com/sizing](http://andersenwindows.com/sizing).

- \* "Window Dimension" always refers to outside frame-to-frame dimension.
- \* "Minimum Rough Opening" dimensions may need to be increased to allow for use of building wraps, flashing, sill panning, brackets, fasteners or other items. See pages 210-211 for more details.
- \* Dimensions in parentheses are in millimeters.
- <sup>o</sup> Meet or exceed clear opening area of 5.7 sq. ft. or 0.53 m<sup>2</sup>, clear opening width of 20" (508) and clear opening height of 24" (610). See tables on pages 82-83.


continued on next page


# Full Lites

Traditions Steel

## Privacy & Textured Glass with Divided Lites





**TS128**   
 2'8" x 6'8"  
 2'10" x 6'8" ▲  
 3'0" x 6'8"

**TS108**   
 2'8" x 6'8"  
 2'10" x 6'8" ▲  
 3'0" x 6'8"

## Privacy & Textured Glass





**TS118**   
 2'8" x 6'8"  
 2'10" x 6'8" ▲  
 3'0" x 6'8"

**818**   
 2'6" x 8'0"  
 2'10" x 8'0"  
 3'0" x 8'0"

## Internal Blinds



**TS130**   
 2'4" x 6'8" ▲  
 2'6" x 6'8"  
 2'8" x 6'8"  
 2'10" x 6'8" ▲  
 3'0" x 6'8"

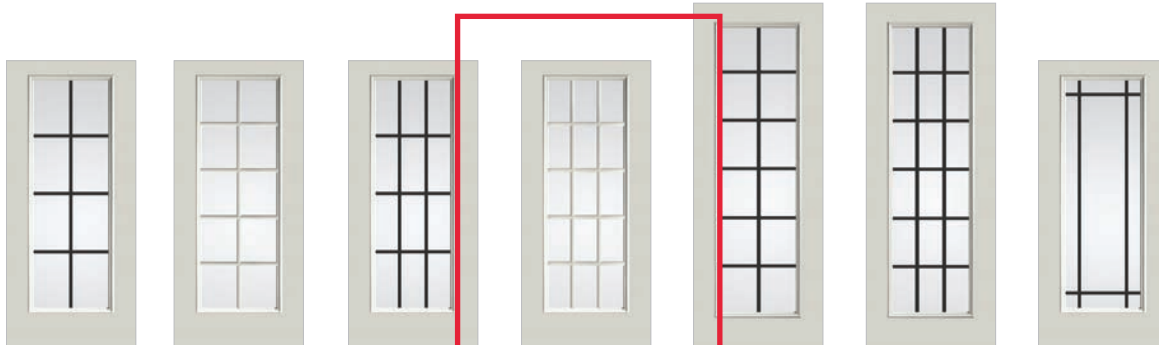
**829**   
 2'6" x 8'0"  
 2'8" x 8'0"  
 2'10" x 8'0"  
 3'0" x 8'0"

## Clear Glass with Divided Lites



**TS1201**   
 2'6" x 6'8"  
 2'8" x 6'8"  
 2'10" x 6'8" ▲  
 3'0" x 6'8"

**TS1202**   
 2'6" x 6'8"  
 2'8" x 6'8"  
 2'10" x 6'8" ▲  
 3'0" x 6'8"



**TS1203**   
 2'6" x 6'8"  
 2'8" x 6'8"  
 2'10" x 6'8" ▲  
 3'0" x 6'8"

**TS128**   
 2'6" x 6'8"  
 2'8" x 6'8"  
 2'10" x 6'8" ▲  
 3'0" x 6'8"

**TS1200**   
 2'6" x 6'8"  
 2'8" x 6'8"  
 2'10" x 6'8" ▲  
 3'0" x 6'8"

**TS108**   
 2'6" x 6'8"  
 2'8" x 6'8"  
 2'10" x 6'8" ▲  
 3'0" x 6'8"


**828**   
 2'6" x 8'0"  
 2'8" x 8'0"  
 2'10" x 8'0"  
 3'0" x 8'0"


**808**   
 2'6" x 8'0"  
 2'8" x 8'0"  
 2'10" x 8'0"  
 3'0" x 8'0"

**TS198**   
 2'6" x 6'8"  
 2'8" x 6'8"  
 2'10" x 6'8" ▲  
 3'0" x 6'8"

## Clear Glass



**TS118**   
 2'0" x 6'8" ▼  
 2'4" x 6'8" ▲  
 2'6" x 6'8"  
 2'8" x 6'8"  
 2'10" x 6'8" ▲  
 3'0" x 6'8"

**818**   
 2'0" x 8'0" ▼  
 2'6" x 8'0"  
 2'8" x 8'0"  
 2'10" x 8'0"  
 3'0" x 8'0"



## Privacy & Textured Glass Options

Add the code to the blank in the style number for the desired door and glass combination. For details on glass options, see page 216.

**XK = NEW Reeded**    **XE = Satin Etch**    **XJ = Chinchilla**    **XN = Granite**  
**XG = Geometric**    **XC = Chord**    **XR = Rainglass**

\*Features a gliding operation and sash locking system.  
 \*\*Not recommended for use behind storm doors or to be painted dark colors, if exposed to direct sunlight.  
 Note: See page 293 for important product details that may help with your purchase decision.  
 Bottom: Traditions, Clear Glass, Door – TS118, Sidelites – 100SL

# 1/2 Lites

## Privacy & Textured Glass with Divided Lites



- |  |   |
|--|---|
| <b>TS262_</b><br>* 6<br>2'8" x 6'8"<br>2'10" x 6'8"<br>3'0" x 6'8" | <b>8321_</b><br>* 6<br>2'8" x 8'0"<br>2'10" x 8'0"<br>3'0" x 8'0" |
|--|---|

## Privacy & Textured Glass



- |  |   |  |
|--|---|--|
| <b>TS206_</b><br>* 6<br>2'8" x 6'8"<br>2'10" x 6'8"<br>3'0" x 6'8" | <b>8206_</b><br>* 6<br>2'8" x 8'0"<br>2'10" x 8'0"<br>3'0" x 8'0" | <b>TS104_</b><br>* 6 E<br>2'8" x 6'8"<br>2'10" x 6'8" Δ<br>3'0" x 6'8" |
|--|---|--|

## Internal Blinds



- |  |  |  |
|--|--|--|
| <b>TS132</b><br>* 6<br>2'6" x 6'8"<br>2'8" x 6'8"<br>2'10" x 6'8"<br>3'0" x 6'8" | <b>8132</b><br>* 6<br>2'8" x 8'0"<br>2'10" x 8'0"<br>3'0" x 8'0" | <b>TS131</b><br>* 6 E<br>2'6" x 6'8"<br>2'8" x 6'8"<br>2'10" x 6'8" Δ<br>3'0" x 6'8" |
|--|--|--|

## Screen Vented Lites\*



- |  |   |
|--|---|
| <b>TS243</b><br>2'8" x 6'8"<br>2'10" x 6'8"<br>3'0" x 6'8" | <b>TS137</b><br>E<br>2'8" x 6'8"<br>2'10" x 6'8" Δ<br>3'0" x 6'8" |
|--|---|

## Clear Glass with Divided Lites



- |  |  |  |  |  |
|--|--|--|--|--|
| <b>8322</b><br>* 6<br>2'8" x 8'0"<br>2'10" x 8'0"<br>3'0" x 8'0" | <b>8323</b><br>* 6<br>2'8" x 8'0"<br>2'10" x 8'0"<br>3'0" x 8'0" | <b>8324</b><br>* 6<br>2'8" x 8'0"<br>2'10" x 8'0"<br>3'0" x 8'0" | <b>TS262</b><br>* 6<br>2'6" x 6'8"<br>2'8" x 6'8"<br>2'10" x 6'8"<br>3'0" x 6'8" | <b>8321</b><br>* 6<br>2'8" x 8'0"<br>2'10" x 8'0"<br>3'0" x 8'0" |
|--|--|--|--|--|

## Clear Glass



- |   |  |  |
|---|--|--|
| <b>TS1408</b><br>* 6<br>2'6" x 6'8"<br>2'8" x 6'8"<br>2'10" x 6'8"<br>3'0" x 6'8" | <b>8145</b><br>* 6<br>2'8" x 8'0"<br>2'10" x 8'0"<br>3'0" x 8'0" | <b>TS115</b><br>* 6 E<br>2'6" x 6'8"<br>2'8" x 6'8"<br>2'10" x 6'8" Δ<br>3'0" x 6'8" |
|---|--|--|



- |  |  |  |  |
|--|--|--|--|
| <b>TS206</b><br>* 6<br>2'6" x 6'8"<br>2'8" x 6'8"<br>2'10" x 6'8"<br>3'0" x 6'8" | <b>8206</b><br>* 6<br>2'8" x 8'0"<br>2'10" x 8'0"<br>3'0" x 8'0" | <b>TS104</b><br>* 6 E<br>2'6" x 6'8"<br>2'8" x 6'8"<br>2'10" x 6'8" Δ<br>3'0" x 6'8" | <b>TS105</b><br>* 6 E<br>2'6" x 6'8"<br>2'8" x 6'8"<br>2'10" x 6'8" Δ<br>3'0" x 6'8" |
|--|--|--|--|

### Key

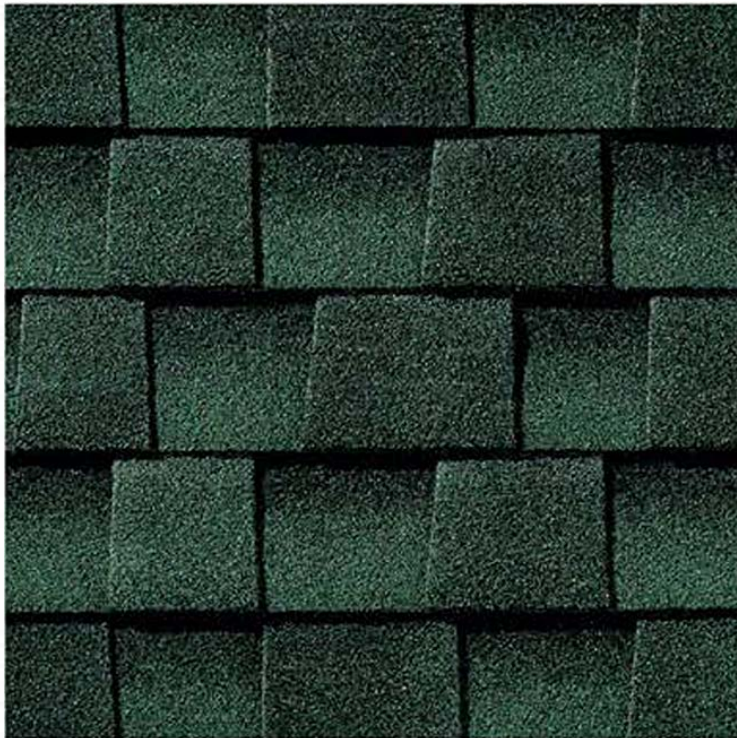
- |                  |              |                               |  |   |   |  |                             |                     |                     |                                  |                       |                    |
|------------------|--------------|-------------------------------|--|---|---|--|-----------------------------|---------------------|---------------------|----------------------------------|-----------------------|--------------------|
| Low-E Glass (LE) | Turtle Glass | Simulated Divided Lites (SDL) | Flat or Contour, White Grilles Between Glass (GBGF / GBGC) | Flat or Contour, Bronze Grilles Between Glass (GBGF / GBGC) | Flat or Contour, Almond Grilles Between Glass (GBGF / GBGC) | NEW Flat or Contour, Black Grilles Between Glass (GBGF / GBGC) | Removable Wood Grilles (RG) | Fixed Grilles (FXG) | WBDR / HVHZ Options | Elevated 10" Bottom Rail Options | 6'6" Height Available | PC Doorite Frame** |
|------------------|--------------|-------------------------------|--|---|---|--|-----------------------------|---------------------|---------------------|----------------------------------|-----------------------|--------------------|



We protect what matters most™

## Timberline HDZ® Shingles

The look people love, now with LayerLock® Technology and the StainGuard Plus™ Algae Protection Limited Warranty<sup>1</sup>



Color/Finish: Hunter Green

