



HISTORIC DISTRICT COMMISSION

February 2, 2023 - 6:00PM
Saugatuck City Hall
102 Butler St. Saugatuck, MI 49453

1. **Call to Order**
2. **Roll Call**
3. **Agenda Changes/Additions/Deletions**
4. **Approval of Minutes:**
 - A. Minutes of Regular Meeting held on January 5, 2023
5. **Public Comments on Agenda Items** (*Limit 3 Minutes*)
6. **Unfinished Business:** None
7. **New Business:**
 - A. 647 Butler St
 - B. 510 Butler St
8. **Administrative Approvals & Updates:**
 - A. 132-140 Butler St – Roof and Skylights
9. **Communication:** None
10. **Public Comments** (*Limit 3 Minutes*)
11. **Commission Comments**
12. **Adjourn** (*Voice Vote*)

NOTICE:

This public meeting will be held in-person. The public can join via Zoom video/audio conference technology.

Join online by visiting:
<https://us02web.zoom.us/j/2698572603>

Join by phone by dialing:
(312) 626-6799

-or-

(646) 518-9805

Then enter "Meeting ID":
269 857 2603

Please send questions or comments regarding meeting agenda items prior to meeting to:
rcummins@saugatuckcity.com

The Saugatuck Historic District Commission has the responsibility to regulate the construction, demolition, and improvements to the exterior of structures in the historic district. The intent is to safeguard the heritage of the City of Saugatuck, to protect the architecture and local village character of the City, to foster civic beauty, and to promote the use of historic districts for the education, pleasure, and welfare of the residents, visitors, and general public.



**City of Saugatuck
Historic District Commission**

Meeting Minutes January 5th, 2023, 6:00 PM

PROPOSED

Saugatuck City Hall
102 Butler Street

Call to Order/Roll Call: Chair Straker called the meeting to order at 6:02 p.m.

Present: Chairman Straker, Commission members: Cannarsa, Lewis, Panozzo & Paterson.

Absent: Vice-Chairman Leo & Commission member Lewis.

Others Present: Director of Planning, Zoning and Project Management Cummins & Deputy Clerk/DPW Administrative Assistant Williams.

Agenda Changes/Additions/Deletions: None.

Approval of Minutes:

Motion by Cannarsa, second by Paterson, to approve the December 1, 2022, meeting minutes. Upon voice vote, the motion carried 4-0.

Public Comments:

A. Logan White (resident) - opposed construction of fence at 525 Butler St.

B. Russ Gardner (resident) - opposed construction of fence and tree removal at 525 Butler St.

Unfinished Business: None.

New Business:

A. 647 Butler St (Voice Vote)

The applicant proposes a comprehensive exterior renovation to the existing dwelling at 647 Butler Street, including the replacement of windows and doors, painting shutters, adding exterior lighting, replacing gutters, installing, and replacing fencing, and adding a deck and covered screened porch. While not in the narrative, it appears that the home will be re-roofed with black shingles, although the roofing project may only apply to the new porch addition.

A motion was made by Straker, second by Panozzo, to approve the application only in part including the exterior lights and roof as submitted in the application. All other parts of the application are denied. Applicant will return with a revised application based on feedback from this meetings application. Applicant shall resubmit with actual drawings with dimensions and specifications that show exterior changes with photo documentation and what type of fence and materials that will be used. Upon voice vote, motion carried 4-0.

Administrative Approvals & Updates:

Director of Planning, Zoning and Project Management Cummins gave an update regarding approval of three-foot fence at 560 Mill St.

Communication:

A. Email from Bill Hill & Susie Newbie (residents) - opposing six-foot fence at 647 Butler St.

Public Comment:

A. Russ Gardner (resident) – Commended HDC for process and their work on the application.

B. Eric Birkholz (resident) – Welcomes the applicant to the neighborhood. He appreciates the application working with the Commission to get this exterior of this project rolling.

C. Jennifer Reese (resident) – She looks forward to meeting the neighbors. She is pleased that the HDC recognized the jewel that the home is. She has concerns regarding the fence.

Commission Comment: None.

Adjourn: Motion by Panozzo, second by Cannarsa to adjourn. Chair Straker adjourned the meeting adjourned at 7:05 p.m.

Respectfully Submitted by
Sara Williams,

Deputy Clerk



MEMORANDUM

TO: Historic District Commission
City of Saugatuck

FROM: David M. Jirousek, AICP
Consulting Planner

DATE: January 27, 2023

RE: Historic District Permit Application: 647 Butler Street

REQUEST: The applicant proposes a comprehensive window renovation project for the house at 647 Butler Street, including the repair, rebuilding, and replacement of existing windows. The project also includes repairing existing fences, installing new fencing, replacing one door, and restoring the front door.

BACKGROUND: The property is located in the R-4 City Center Transitional Residential District (CER) zoning district. The lot is approximately 66 feet wide and 145 feet deep (8,712 square feet), and a single-family detached home exists on the site. The HDC previously approved lighting and roofing proposals for the home.

APPLICABILITY: A permit shall be obtained before any work affecting the exterior appearance of a resource is performed within the Historic District (§ 152.03).

COMPLETENESS REVIEW: All applications to construct, alter, repair, move, or demolish any structure or install or alter any signage or fence structure in a historic district shall include the supporting plans and documents as specified by § 152.07 B. The applicant submitted a comprehensive proposal including pictures and notations and a window assessment and restoration plan prepared by *The Window Underground* company. For replacement windows, specification sheets were provided. Further, a revised fence site plan was provided, and a new style of front yard and secondary front fence was proposed and shown.

I. KEY ELEMENTS: The subject building is a contributing structure.

II. PRIMARY STRUCTURES:

The HDC may consider the following guidelines in its decision-making process:

D. Doors and Windows

1. *Retaining Windows and Doors- Windows and doors that contribute to the overall historic character of a building should be retained and repaired as needed, including their functional and decorative features, such as frames, sash, muntins, sills, heads, moldings, surrounds, hardware, shutters, glazing, panels, sidelights, fanlights, and thresholds.*
2. *Replacing Windows and Doors*
 - a. *replacement of a deteriorated window or door feature or detail is necessary replace only the deteriorated feature in kind rather than the entire unit. Match the original in material, design, dimension, proportion, reflective qualities, profile, sash rails, stiles, muntins, panels, and operation. If replacement of an entire unit is necessary, replace the unit in kind, matching the design, dimension, panels, pane configuration, architectural trim, detail, muntins and materials. It is not appropriate to use snap-in muntins to create a false divided-light appearance.*
 - b. *Replacement windows and doors should maintain and fit existing openings and be consistent in glass size and with existing trim and other features of the structure.*
 - c. *Changing the number, location, and size or glazing pattern of windows and doors through cutting new openings, blocking-in, and installing replacement sash which does not fit the historic opening are not recommended.*
3. *Doors- Original doors should not be substituted with stock doors that do not fit the opening properly or do not fit with the style of the house. Transom windows and sidelights should be preserved.*
4. *Windows- If a replacement window has an insulating glass pane which is not actually divided by muntins, the appropriate muntin pattern should be permanently applied with muntins no wider than 7/8 inch, as well as with spacer bars internal to the insulated glass. There should be no flat muntin grids, nor removable muntin grids, applied to the inside or outside panes.*
5. *Glass Block- The use of glass block to fill in openings is generally not appropriate, unless it was part of the style and period of the structure. Instead, existing features should be repaired.*

6. *Storm Windows- Installation of metal storm windows and doors which have a painted or baked enamel finish may be approved when they do not alter or destroy the original structure and trim of the opening. Replacement, repair, or installation of wood storm or screen doors and which are stained or painted to match the house or trim may also be approved.*

Comments: The applicant intends to repair and restore the majority of the existing windows rather than replace all of them, as previously proposed. A comprehensive assessment was provided, including a detailed justification for the limited cases where replacement is proposed. It should be noted that all three leaded glass sashes are proposed to be preserved.

Existing storm windows will be retained on the west front elevation, north street side elevation, east rear elevation (aside from the porch), and south side elevation. Where windows cannot be repaired or restored, vinyl double-hung windows are proposed to be installed without storm windows.

Nearly all of the existing windows do not include muntins. Replacement windows are not proposed to incorporate muntins, and restored or repaired windows currently without muntins are not proposed to incorporate new muntins.

The front storm door is planned to be removed, and the existing front door will be retained and restored. The rear door on the porch, which was a later addition, is planned to be replaced with a steel door (more than 50% glass) with a storm door. This area of the home is less visible from the public right-of-way.

IV. THE LAND AND SITE IMPROVEMENTS

C. Fences

1. *Rear Yard Fences Erection of fences on the rear, side (except on corner lots), or interior location of the lot, at or behind the building line may receive administrative approval, when height and materials are similar to those regularly approved by the Commission.*
2. *Front and Side Front and side yard fences should not impede clear vision at intersections or driveways, as they could sacrifice safety as well as historical appropriateness. Front yard fencing should not infringe upon or obstruct historic setbacks, vistas, streetscapes or neighborhood continuity.*
3. *Compatible Fences Fencing shall be permitted contingent upon the appearance and appropriateness in relation to the building and Historic District. (Applicants should note that all fencing within the Historic District is also subject to the City Zoning Codes, Chapter 155.143.)*

4. *Height of Fences Height should be between two (2) and six (6) feet, with a maximum height of three (3) feet for front yard fences. Materials should be wood, wrought iron, or other historic materials (some aluminum faux wrought iron products are allowed). Styles may include picket and wood privacy fences, with tops trimmed with horizontal boards or simple dog-ear detail. Other styles not listed will be reviewed on a case by case basis.*

Comments: The fence proposal was significantly scaled back since the last meeting. The existing fence along the rear lot line and interior side lot line will not be replaced but restored and repaired. New 3.5' fencing is proposed that complies with zoning requirements for height, style, and location. However, the HDC must review the fence against Historic District guidelines.

From the southwest front corner of the house, a 3.5' fence will tie into the existing interior side lot line fence. The fence will be flush with the front elevation until reaching the lot line. From there, it will be installed along the lot line until reaching the existing fence. From the northeast corner of the house, the 3.5' fence will run north to the street right-of-way, travel east to the driveway area, and then south, where it will tie into the northwest corner of the garage.

The proposed fence will not impact corner sight lines, and visibility is maintained much more significantly than in the previous proposal. The fence is within the general parameters for height, but it is six inches higher than recommended within the secondary front yard for the corner lot.

The fence material is proposed to be wood with narrow pickets. The spacing between pickets is approximately the same width as the pickets. Post tops are decoratively carved, and pickets are a simple dog-ear style. It is unclear whether the fence will be stained or painted. For reference, a front yard fence across Spear is somewhat similar and painted white, and the front yard fence at the corner of Francis and Butler is also white.

RECOMMENDATION: The applicant has addressed many of the issues identified during the previous HDC meeting. A comprehensive window and door improvement plan and a scaled-back fence proposal were also provided. The proposal better aligns with Historic District guidelines than the previous proposal.

If the HDC determines that the applicable standards of the Historic Preservation Review Guidelines are met, the following motion may be used.

I move to approve the window and door renovation project and the fence repair and installation work at 647 Butler Street in accordance with the plans and details submitted within the application materials. Approval shall be subject to the following conditions (if applicable):

1. _____

2. _____

3. _____

4. _____

5. _____

6. _____



Historic District Permit Application

LOCATION INFORMATION **APPLICATION NUMBER** _____ - _____

Address _____ Parcel Number _____

APPLICANTS INFORMATION

Name _____ Address / PO Box _____
City _____ State _____ Zip _____ Phone _____
Interest In Project _____ E-Mail _____
Signature _____ Date _____

OWNERS INFORMATION (IF DIFFERENT FROM APPLICANTS)

Name _____ Address / PO Box _____
City _____ State _____ Zip _____ Phone _____
E-Mail _____

I hereby authorize that the applicant as listed above is authorized to make this application for proposed work as my agent and we agree to conform to all applicable laws and regulations of the City of Saugatuck. I additionally grant City of Saugatuck staff or authorized representatives thereof access to the property to inspect conditions, before, during, and after the proposed work is completed.

Signature _____ Date _____

CONTRACTORS/ DEVELOPERS INFORMATION (UNLESS PROPOSED WORK IS TO BE DONE BY THE PROPERTY OWNER)

Name _____ Contact Name _____
Address / PO Box _____ City _____
State _____ Zip _____ Phone _____ Fax _____
E-Mail _____
License Number _____ Expiration Date _____

PROPERTY INFORMATION

Depth _____ Width _____ Size _____ Zoning District _____ Current Use _____
Check all that apply: Waterfront _____ Dunes _____ Vacant _____

PROJECT DESCRIPTION (ATTACH MORE SHEETS IF NECESSARY)



HISTORIC DISTRICT REQUIREMENTS (SECTION 152.07)

Pursuant to Section 152.07, please attach the following supporting documents when applying for historic district approval if applicable:

Y N NA

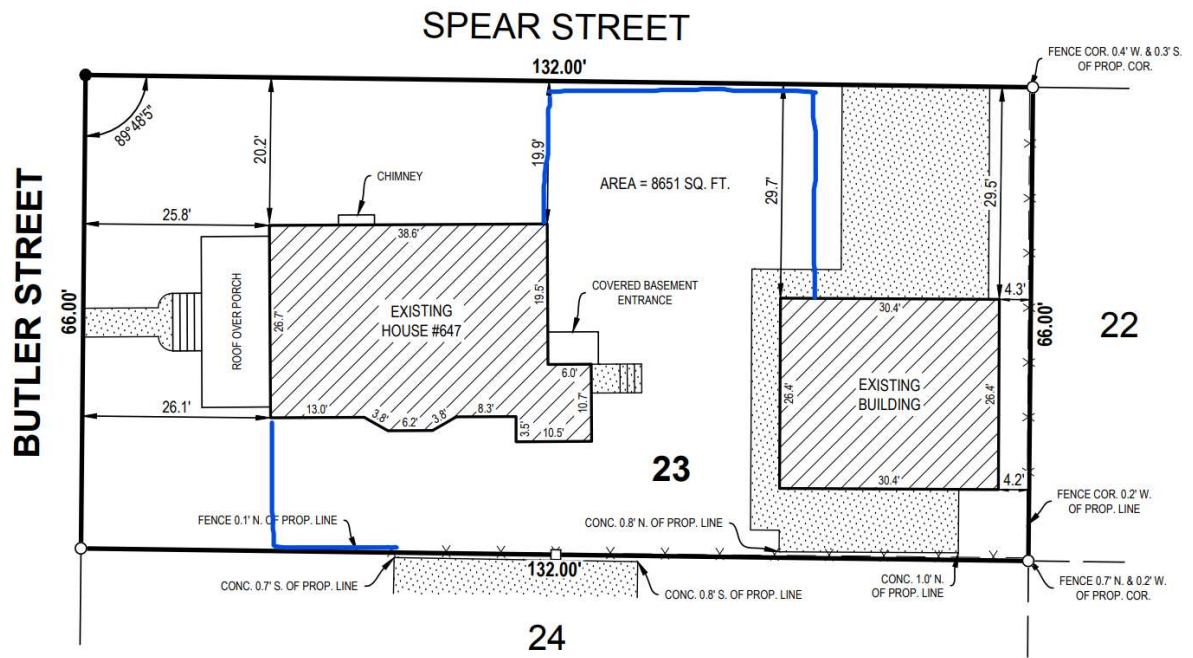
- Photographs of the structure and its relationship to adjacent structures.
- A plot plan with the placement of the proposed addition, or location of fencing to be constructed.
- Elevation drawings of the exterior of the structure or improvements.
- Samples of all proposed exterior finishes and materials.
- Photographs showing, in detail, the problem areas to be addressed during the proposed repair or alteration.
- A scale drawing of all proposed signage, including design, lettering style, type of illumination (if any), placement or location on the lot or building, and the type of support(s) for the sign(s).
- If an application for signage is made by tenants of a building located within a historic district, the tenants must obtain written permission from the building owner to install or alter the proposed sign(s).
- Plot plan showing the following:
 - Current location, shape, area and dimension of the lot.
 - Current site improvements (including structures, sidewalks, decks, streets, fences, etc).
 - Proposed improvements and distances from other improvements or property lines.
 - Proposed and/or current yard, open space and parking space dimensions and calculations.
 - Location of any flood plains, watersheds, wetlands, easements, critical dunes, or other applicable features.
- Description of proposed use and of the building (dwelling, structure, barn, garage and the like) or improvements.
- Detailed written description of the activities related to the proposed use and/or improvements.

OFFICE USE ONLY:
 Application Complete _____ Fee Paid _____ Date Paid _____
 Notes: _____

ADDITION OF 3.5' WOOD PICKET FENCE

1. We have significantly scaled back from the originally proposed 6' fence, and addressed the material choices to align with the city guidelines.
2. We will repair the existing chain link fence between 647 Butler St. and 237 Spear St.
3. We will leave the existing wood fence between 647 Butler St. and 633 Butler St. We will work with the owner of 633 Butler St. to coordinate any necessary repairs as there are broken panels.
4. We are seeking approval for a 3.5' wood picket fence per the outline on the survey provided below.
 - a. The historical society guidelines fence height should be between two (2) and six (6) feet, with a maximum height of three (3) feet for front yard fences. Because we have two street facing elevations, we are requesting a .5' exception and have eliminated any request for a fence at the front of our property, and only included one in our backyard.
 - b. This would maintain the open site lines from the street to allow for continuity of the streetscape, while still allowing our dog to have a fenced-in yard and enough yard space to play.
5. Outline of the fence addition provided on the survey – picture below, but we have also provided a larger scale version for your perusal.





REPAIR / REBUILD / REPLACEMENT OF WINDOWS

1. We have scaled back on our initial proposal to replace the windows in their entirety and taken into consideration the requirements/comments from the Historical society.
2. We have partnered with a window restorer – The Window Underground – to partner with us on this project. This company has restored many historic homes in MI. We had this company provide a detailed report on each of the 28 windows in the home. Report is attached for your perusal. Link to their Facebook page - <https://www.facebook.com/thewindowunderground/>
3. Of the 28 windows on the property, 15 windows, including all of the two street-side elevations (save for the small, second-floor laundry room casement window) and including all 3 leaded glass sash, are all excellent candidates for restoration, and if necessary, historic replication. Any replication will include not only the exact dimensions and proportions of the current sash, but also the same profile (early 1900's style ogee), new parting stops, and new replica interior stops. Any and all replication work or replacement sash pieces needed in restoration will be made using either Accoya™ or sapele wood, both renowned for excellent rot resistance and durability, in order to ensure a long-lasting restoration effort in excess of 40 years. Any leaded glass matrix repairs will be done to maintain the existing pattern and matrix with the utmost care. Sash restored will be stripped of paint, epoxy-repaired using abatron system epoxy, primed with Benjamin Moore Long-Oil primer and painted using Benjamin Moore Aura or equivalent paint. All sash ropes replaced using Samson Spot Cord, no. 7. Existing hardware to be reused (locks, lifts, etc).
4. We have opted not to request any structural changes to the windows or exterior elevations.
5. We have provided detail by elevation for the Historical societies review.

FRONT EAST-FACING ELEVATION (STREET FACING)

- We are going to restore or rebuild all of the existing windows on the front street-facing elevation, including the large picture window with the lead lighting detail on the front porch.
- We are going to restore the front door.
- We will retain the existing storm windows.



SIDE NORTH-FACING ELEVATION (STREET FACING)

- We are going to restore or rebuild all of the existing windows on the north street facing elevation, with the exception of one small window on the upper floor that is detailed in our write up.
- We will retain the existing storms windows.
- We are proposing that we replace this small window with a vinyl white double hung window to match the aesthetic of the rest of the home.



**REPLACE THIS WINDOW
WITH VINYL DOUBLE HUNG
WINDOW WITH EXACTLY THE
SAME AESTHETIC.**

**RESTORE/REBUILD THESE
WINDOWS WITH EXISTING
LEADLIGHT DETAIL
MAINTAINED.**



REAR WEST-FACING ELEVATION (NOT STREET FACING)

- We are going to restore or rebuild all of the existing windows on the west facing elevation on the main structure of the house.
- We will retain the existing storm windows.
- The porch structure on the southwest corner of the house currently only has storm windows and a storm door which poses a security risk. We are requesting approval to add vinyl double hung windows and a steel exterior door to the porch structure. This structure has limited visibility from the street view, therefore this should have limited impact to the aesthetic of the home. We will use white double hung windows to match the aesthetic of the rest of the house. These windows will match the existing design of the windows on the house and match the design and pane configuration of the other windows on the house.

Back Porch Double Hung Window Design



Due to variances in color and manufacturing process, image shown may vary from final product. Refer to color samples when making color selection.

9	<p>VINYL PRIME WINDOW</p> <ul style="list-style-type: none"> - 501 - Double Hung Base Price - Bottom Sash - Tempered Glass - BetterVue Mesh - Full Screen - Extruded Screen Frame - Sill Extender (4 Sides) (Unattached) - Sub-Total Qty 1 - - <p>- Product Options -</p> <ul style="list-style-type: none"> - Aspect Window - AP500 Series - 501 - Double Hung - White - Exact Size: 24 1/4" x 61 1/2" - Constant Force Roller Tilt Balance System - Double Sweep Locks - White Hardware - INNERGY Thermal Sash Reinforcement - Extruded Full Screen (White) with BetterVue Screen Mesh - No Screen Mullion - Top Glass: - ComforTech DLA - Single Strength Glass - Bottom Glass: - ComforTech DLA - Double Strength Glass (Tempered) - Sill Extender (4 Sides) <p>- Configuration Warnings -</p> <p>Tempered glass requires additional lead time.</p>	7	<p>5,355.00</p> <p>490.00</p> <p>140.00</p> <p>50.00</p> <p>50.00</p> <p>35.00</p> <p>765.00</p>
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Back Door Design



Outside Looking In
 Due to variances in color and manufacturing process, image shown may vary from final product. Refer to color samples when making color selection.

30	<p>ENTRY DOOR</p> <ul style="list-style-type: none"> - Standard Package - Exterior Frame Paint - No Brickmold - Left Hand Outswing <p>- Product Options -</p> <ul style="list-style-type: none"> - Heritage Single Entry Door in FrameSaver Frame - 32" x 80" Nominal Size - Unit Size: 33 9/16" x 80 7/8" - Frame Depth: 4 9/16" - No Brickmold - Left Hand Outswing - Outside Looking In - 2 Panel 430 Style Heritage Smooth Fiberglass Door - ComforTech DC - Snow Mist White Inside and Outside <p>- Hardware</p> <ul style="list-style-type: none"> - All Hardware in Lifetime Bright Brass Finish - Georgian Lockset (2 3/8" Backset) - Thumbturn Deadbolt (2 3/8" Backset) <p>- Frame</p> <ul style="list-style-type: none"> - Snow Mist White Inside Frame - Snow Mist White Outside Frame - Mill Finish ZOB Outswing Bumper Threshold (5 5/8" Depth) - Stainless Steel Ball Bearing Hinges - Security Plate <p>- Configuration Warnings -</p> <p>Outswing doors include stainless steel hinges.</p> <p>Outswing doors with a FrameSaver Frame only have a 2 year frame warranty. ProVia recommends that you upgrade to a PermaTech Composite Frame which offers a lifetime frame warranty for both inswing and outswing applications. See warranty for limitations and exclusions.</p>	1	<p>1,995.00</p> <p>1,855.00</p> <p>120.00</p> <p>-55.00</p> <p>75.00</p>
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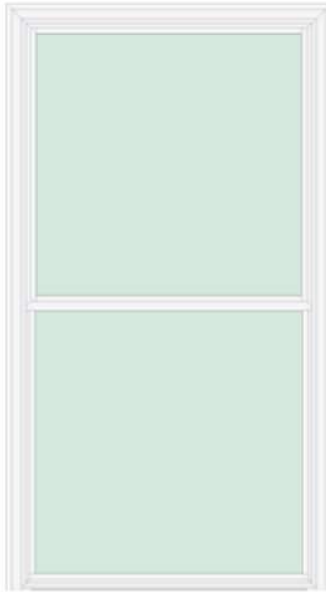
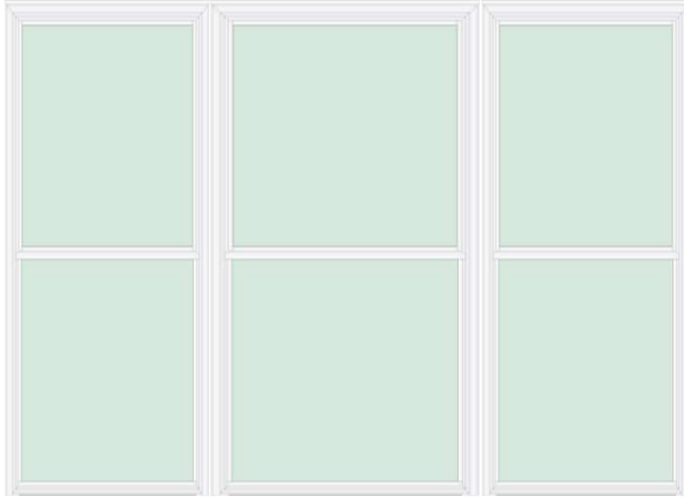






SIDE SOUTH-FACING ELEVATION (NOT STREET FACING)

- We are going to restore or rebuild the small windows with the lead lighting detail.
- We are going to restore the windows on the bay window.
- We will retain the existing storms windows.
- Due to severe degradation of the windows upstairs above the bay window, we are requesting to replace the triple gang window with white vinyl double hung windows to match the exact current configuration to tie in with the rest of the house. These windows will match the existing design of the windows on the house and match the design and pane configuration.



Due to variances in color and manufacturing process, image shown may vary from final product. Refer to color samples when making color selection.

18	<p>VINYL PRIME WINDOW</p> <ul style="list-style-type: none"> - 501 - Double Hung Base Price - Bottom Sash - Tempered Glass - BetterVue Mesh - Full Screen - Extruded Screen Frame - Sill Extender (4 Sides) (Unattached) - Product Options - - Aspect Window - AP500 Series - 501 - Double Hung - White - Exact Size: 36 1/4" x 66" - Constant Force Roller Tilt Balance System - Double Sweep Locks - White Hardware - INNERGY Thermal Sash Reinforcement - Extruded Full Screen (White) with BetterVue Screen Mesh - With Screen Mullion - Top Glass: - ComforTech DLA - Single Strength Glass - Bottom Glass: - ComforTech DLA - Double Strength Glass (Tempered) - Sill Extender (4 Sides) - Configuration Warnings - Tempered glass requires additional lead time. 	1	<p>865.00</p> <p>585.00</p> <p>140.00</p> <p>50.00</p> <p>50.00</p> <p>40.00</p>
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The Window Underground

Site Report and Proposed Scope of Work

Prepared For: Suresh Rajapakse
647 Butler St
Saugatuk, MI 49453

Submitted By: Gregory Worosz
3005 Belle Chase Blvd
Kalamazoo, MI 49009
269-998-1907

Date: 15 January 2023

Proposal Number: 230115

In accordance with your request, I am pleased to provide you with this proposal.

Scope of Proposal:

As per your request, The Window Underground is prepared to do the following:

I. Window Analysis

- What we saw: On January 10th, 2023, we looked at all twenty-eight windows in the home, and found them in a variety of different conditions. The walls, having been opened to the studs on the interior, also showed us some detail of what was going on, where there were issues, and what alterations had been made over the years. Based on our observations, and what we can offer in services in the allotted time frame, this proposed course of action will be broken down as our best recommendations to mindfully preserve historical integrity of the home in the most reasonable way possible.
- Very significant rot on the bottom rails, particularly near the joinery. Significant meeting-rail sagging and or separation at joinery observed on almost all sash. Sash are wide for their era, at 36" in width or greater, leading to tremendous stress on meeting rails. Putty is fairly intact, with evidence of previous re-touching, but likely needs full "chip & reglaze". Removal of previous paint on sash is key for a clean operation, as well as paint removal on parting stops and interior stops.
- Several areas of concern due to previous alterations, framing issues, and conditions of existing sash (or lack thereof) exist and require attention.
- Sills and jambs are generally in good condition, include pulley hardware, save for the 2nd floor south triple-gang window.

II. Candidates for Replacement Windows

- What we saw: We do not often make this recommendation, but based on several factors, the following windows would be candidates for window replacement due to improper framing, missing components, and clear and obvious previous alteration.
- Beginning on the first floor, east side, we would recommend the kitchen window be replaced, so that it may be appropriately framed. It currently sits in a location that the window unit was moved to in the past, likely from a space to the south on the same wall, judging by original framing, where it was a double ganged window. It was then moved north along that east wall, while the other window was replaced with a much smaller replacement unit, prior to current ownership. The current location is missing counterbalance components (window weights) and has no header, and no way to properly header the opening while allowing room for the counter-balance weight system to function. It also is not a street-facing window. These factors lead me to believe it is an appropriate candidate for replacement.



- The second candidates for replacement would be all seven windows on the back porch. We feel this way for several reasons, first and foremost all sash are missing, and have been for quite some time, judging on the layers of paint on the hinges. These windows were all casement windows, and currently have double hung storm windows in place. To construct and retrofit replica casements would be excessive in cost and render the exterior mounted storms superfluous, also creating the inability for these windows to open without hitting the storms. In addition, this porch was very clearly added on at a later time than the original build date, hinted at by the presence of exterior casing on the door jamb leading into the home on the south side interior. Hinges of an era consistent with the build date of the home are also still present here, and the basement doorway shows signs of later alteration to raise its height when the porch was later added. Furthermore, the porch was likely open-air until a much later date, as indicated by interior trim work that seems to retrofit into an earlier style. On top of these factors is that this is the least visible portion of the home from the street, and when taken into account with the numerous revisions over the years, it seems a very illogical place to invest energy into something that will never be “historically appropriate” to the original structure.





- The third candidates for the use of replacement windows would be on the second floor, south side bedroom, featuring a triple-ganged window. Careful examination of this opening shows many similar issues as the previous two recommendations: improper framing/lack of header, and the inability to resolve this issue without impeding weigh pocket space and counterbalance function. In addition to this, there is significant evidence to suggest major alterations to the original window. I believe it to be a single window originally, which is currently 36" wide, the size of the majority of the original windows in the house, while the two windows that flank it are only 26" wide. These adjacent windows modified the jamb to be too narrow for the original weight pockets of the center window, leaving the original window inoperable, as well as removing the properly supported header. In addition to this major framing issue, below these openings by approximately 6" is the bump out bay-roof. The first issue with this is cause by the inability to distribute the weight appropriately down onto the bump-out below, where the structure will be under intense pressure and likely has or will sag and drop. Another issue with this is where snow has accumulated over the years on this roof, against the sills and sash, and has done extensive damage to the sill, which likely needs whole-sale replacement, as well as the sash themselves, particularly the bottom sash of the only original window. The decay can be seen in the way the paint is flaking off along with laminations of the actual wood grain itself, indicative of deep and longstanding wet rot. This is not uncommon to find in situations over a roof line like this. It also is located on the south side, not one of the two street-side elevations of the home. In order to resolve these conflicts, it would be nearly impossible without reframing and using replacement windows to maintain the look consistent with the currently configured exterior and proportions.





- The fourth candidate for a replacement window is the window in the first-floor bath on the south side. It is a hopper-style window lacking any hardware, rendering it fixed. Its condition is also quite poor, as is the entirety of the woodwork around it, given its location over the toilet. Being located on the south (non-street) side of the home, the use of a replacement window here is recommended in order to have something operable without using a storm to maintain energy efficiency in a space such as a bathroom.
- The fifth and final recommendation of replacement windows is on the second floor, north side. It also happens to be the smallest of all the windows of the home at 18" x 30". It currently is configured as a casement window, with one light, that swings in, and has a double-hung aluminum storm window installed on the exterior. This small window would swing into the laundry room, and likely be impeded by cabinetry or washer/driers, and make opening it for ventilation in this humid space impossible. Since the appearance from the exterior currently appears as a double hung because of the existing storm window, I would propose the best way to remedy this would be a small double-hung replacement window that would allow functionality and maintenance of the window as well as ventilation to preserve the interior space.





III. Window Candidates for Restoration and/or Historic Replication

- The remaining 15 windows not mentioned, including all of the two street-side elevations (save for the small, second-floor laundry room casement window) and including all 3 leaded glass sash, are all excellent candidates for restoration, and if necessary, historic replication. Any replication will include not only the exact dimensions and proportions of the current sash, but also the same profile (early 1900's style ogee), new parting stops, and new replica interior stops. Any and all replication work or replacement sash pieces needed in restoration will be made using either Accoya™ or sapele wood, both renowned for excellent rot resistance and durability, in order to ensure a long-lasting restoration effort in excess of 40 years. Any leaded glass matrix repairs will be done to maintain the existing pattern and matrix with the utmost care. Sash restored will be stripped of paint, epoxy-repaired using abatron system epoxy, primed with Benjamin Moore Long-Oil primer and painted using Benjamin Moore Aura or

equivalent paint. All sash ropes replaced using Samson Spot Cord, no. 7. Existing hardware to be reused (locks, lifts, etc).



Historic District Permit Application

LOCATION INFORMATION APPLICATION NUMBER _____ - _____

Address 510 Butler Street

Parcel Number 03-57-300-055-00

APPLICANTS INFORMATION

Name Michael Waechter Address / PO Box 4534 N Ravenswood Ave, 1R

City Chicago State IL Zip 60640 Phone 312-213-5706

Interest In Project Architect E-Mail mwaechter@souciehorner.com

Signature *Michael Waechter* Date 01/24/2023

OWNERS INFORMATION (IF DIFFERENT FROM APPLICANTS)

Name 510 Butler Street LLC Address / PO Box 208 W Kinzie Ave, 4th Floor

City Chicago State IL Zip 60654 Phone 312-755-0202

E-Mail mhorner@souciehorner.com

I hereby authorize that the applicant as listed above is authorized to make this application for proposed work as my agent and we agree to conform to all applicable laws and regulations of the City of Saugatuck. I additionally grant City of Saugatuck staff or authorized representatives thereof access to the property to inspect conditions, before, during, and after the proposed work is completed.

Signature *[Signature]* Date 1/24/2023

CONTRACTORS/ DEVELOPERS INFORMATION (UNLESS PROPOSED WORK IS TO BE DONE BY THE PROPERTY OWNER)

Name Bickerstaff Builders Contact Name Tim Pattison

Address / PO Box 1137 N. Lincoln Ave City Park Ridge

State IL Zip 60068 Phone 312-882-0606 Fax n/a

E-Mail tim@bickerstaffbuilders.com

License Number n/a Expiration Date _____

PROPERTY INFORMATION

Depth 132' Width 131' Size 17,444 +/- Zoning District R-4 Current Use R-1

Check all that apply: Waterfront Dunes Vacant

PROJECT DESCRIPTION (ATTACH MORE SHEETS IF NECESSARY)



HISTORIC DISTRICT REQUIREMENTS (SECTION 152.07)

Pursuant to Section 152.07, please attach the following supporting documents when applying for historic district approval if applicable:

Y N NA

- Photographs of the structure and its relationship to adjacent structures.
- A plot plan with the placement of the proposed addition, or location of fencing to be constructed.
- Elevation drawings of the exterior of the structure or improvements.
- Samples of all proposed exterior finishes and materials.
- Photographs showing, in detail, the problem areas to be addressed during the proposed repair or alteration.
- A scale drawing of all proposed signage, including design, lettering style, type of illumination (if any), placement or location on the lot or building, and the type of support(s) for the sign(s).
- If an application for signage is made by tenants of a building located within a historic district, the tenants must obtain written permission from the building owner to install or alter the proposed sign(s).
- Plot plan showing the following:
 - Current location, shape, area and dimension of the lot.
 - Current site improvements (including structures, sidewalks, decks, streets, fences, etc).
 - Proposed improvements and distances from other improvements or property lines.
 - Proposed and/or current yard, open space and parking space dimensions and calculations.
 - Location of any flood plains, watersheds, wetlands, easements, critical dunes, or other applicable features.
- Description of proposed use and of the building (dwelling, structure, barn, garage and the like) or improvements.
- Detailed written description of the activities related to the proposed use and/or improvements.

OFFICE USE ONLY:
 Application Complete _____ Fee Paid _____ Date Paid _____
 Notes: _____



2 CONTEXT PHOTO - EAST ELEV



3 CONTEXT PHOTO - SOUTH EAST ELEV



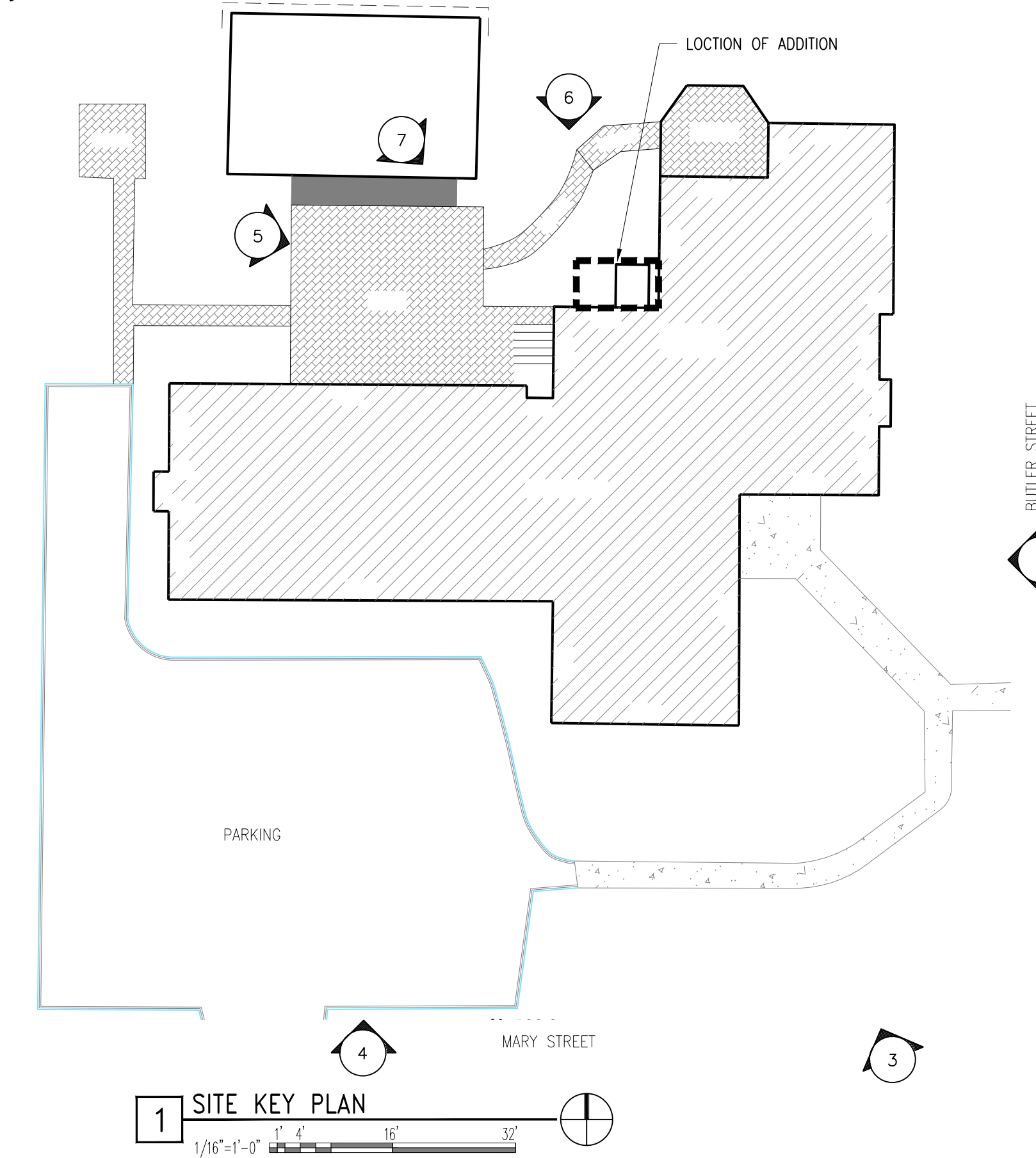
4 CONTEXT PHOTO - SOUTH ELEV



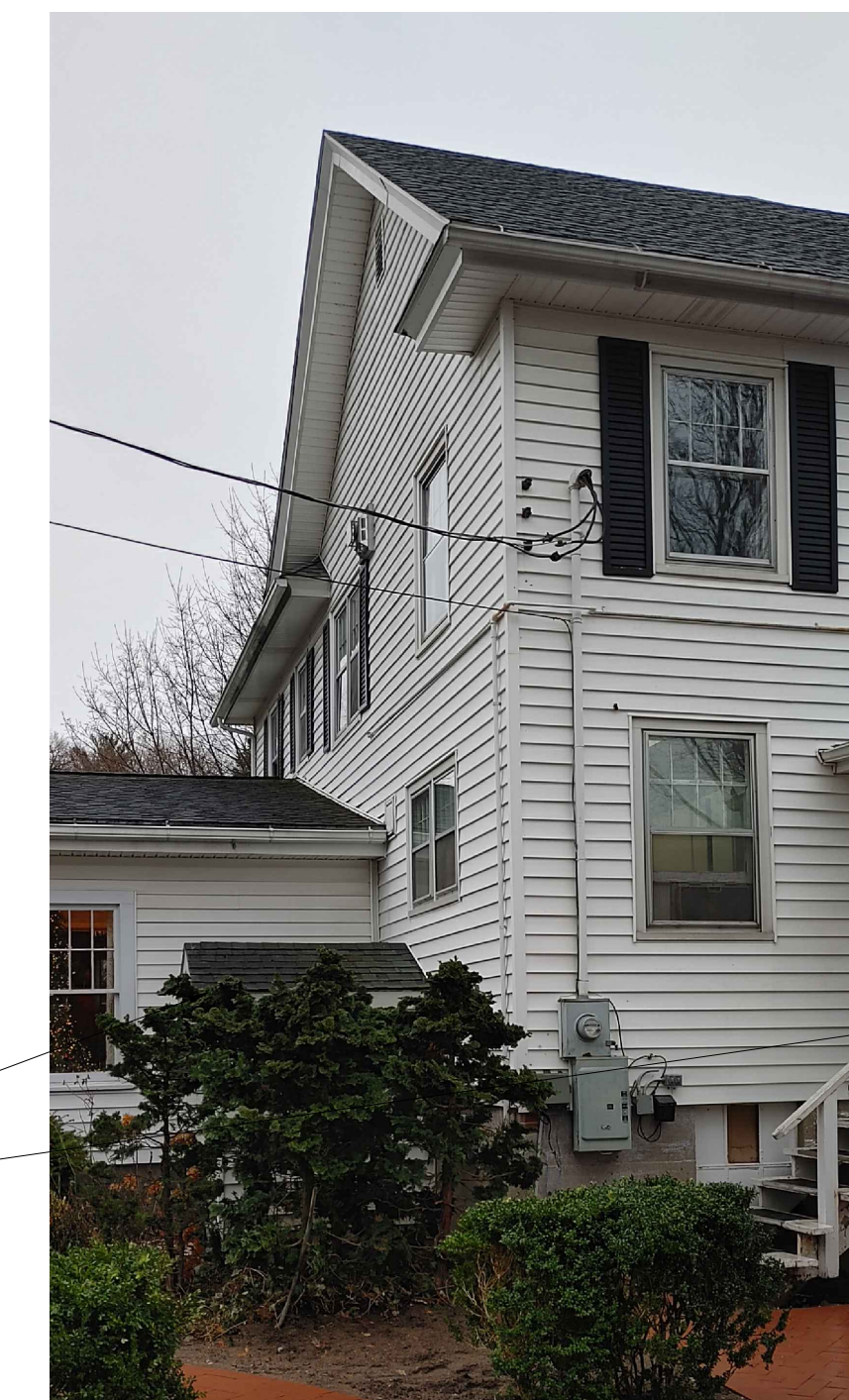
9 CONTEXT PLAN



8 PROPOSED ELEVATIONS



1 SITE KEY PLAN



5 CONTEXT PHOTO - NORTHWEST



6 CONTEXT PHOTO - NORTH ELEV



7 CONTEXT PHOTO - NORTHEAST

EXISTING SHED AT BASEMENT DOOR

REMOVE AD HOC PORCH AND ROOF

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ARCHITECTURAL INTERIORS

SOUICIE HORNER, LTD.
 208 West Kinzie Street, 4th Floor
 Chicago, Illinois 60654
 telephone: (312) 755-0202
 facsimile: (312) 755-0404

Permit Application # _____

DRAWING TITLE:
 PROJECT NAME:

the Wickwood Inn
 510 Butler St
 Saugatuck, MI 49453

NOTE: CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.
 DRAWING REPRESENTS DESIGN INTENT ONLY.

ISSUES AND REVISIONS:

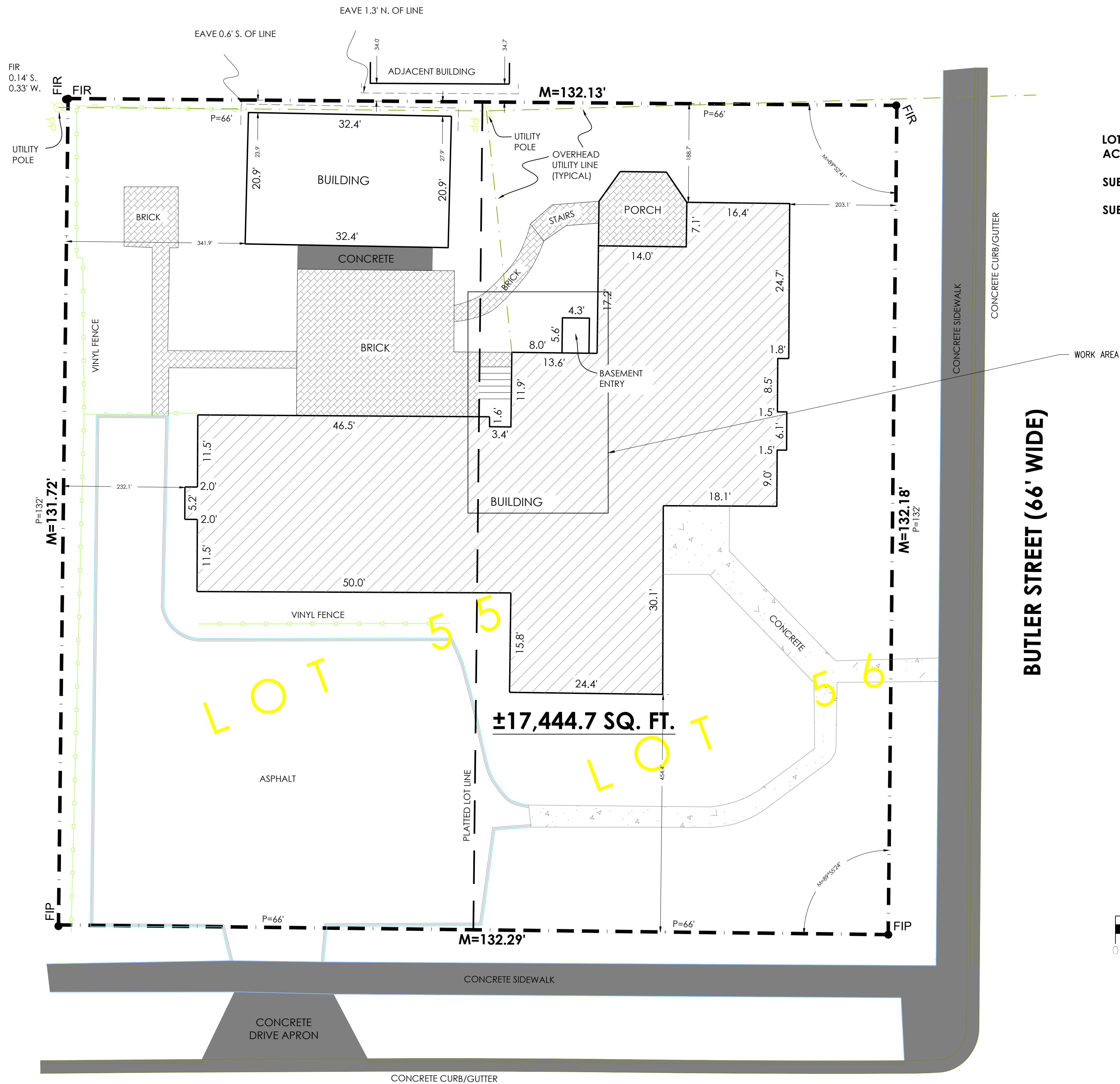
No.	DATE:	DESCRIPTION:
1	01/18/2023	PERMIT REVIEW

DATE: 1/24/23

SHEET NUMBER:

A3.0

CONTEXT PHOTOS



LOTS 55 AND 56, KALAMAZOO PLAT, VILLAGE (NOW CITY) OF SAUGATUCK, ALLEGAN COUNTY, MICHIGAN, ACCORDING TO THE RECORDED PLAT THEREOF.

SUBJECT TO ALL EASEMENTS AND RESTRICTIONS OF RECORD OR OTHERWISE.

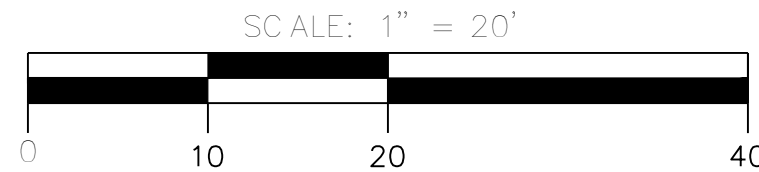
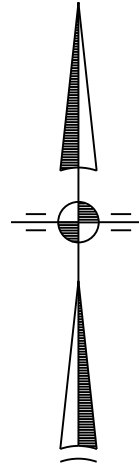
SUBJECT TO FACTS THAT MAY BE DISCLOSED IN A FULL AND ACCURATE TITLE SEARCH.

BUTLER STREET (66' WIDE)

MARY STREET (66' WIDE)

LEGEND

- P = PLATTED
- M = MEASURED
- FIR = FND. IRON ROD
- FIP = FND. IRON PIPE



THIS SURVEY WAS BASED ON THE INCLUDED LEGAL DESCRIPTION AS IT APPEARS ON A DEED OR TITLE INSURANCE POLICY, AND SHOULD BE COMPARED WITH THE ABSTRACT OF TITLE OR TITLE INSURANCE POLICY FOR ACCURACY, EASEMENTS OR EXCEPTIONS. ANY WRITTEN OR UNWRITTEN RIGHTS OF ADJOINERS ARE UNKNOWN UNLESS SPECIFICALLY NOTED.

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G1.1



SYMBOLS LEGEND

Table with columns for ITEM, SYMBOL, DWG TITLE, and various drawing types like PARTIAL BUILDING SECTION, FULL BUILDING SECTION, EXTERIOR ELEVATION, INTERIOR ELEVATION, DETAIL, etc.

MATERIALS LEGEND

Table with columns for ITEM, DESIGNATION, and various materials like EARTH CRUSHED ROCK GRAVEL, EARTH UNDISTURBED, SAND, BRICK, CMU, CONCRETE, GRANITE STONE, GROUT, LIMESTONE, MARBLE STONE, CAST STONE, etc.

General Notes

A. CODES, STANDARDS, AND PROCEDURES

- 1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF SAULGATUCK, MI BUILDING CODE AND AMENDMENTS, AND ALL OTHER APPLICABLE FEDERAL, STATE, AND LOCAL LAWS AND ORDINANCES, ACCESSIBILITY CODES, STANDARDS, AND REGULATORY AGENCIES.

DIMENSIONS, DETAILS AND/OR DESIGN INTENT CANNOT BE DETERMINED, NOTIFY THE ARCHITECT IN WRITING BEFORE PROCEEDING WITH ANY WORK IN QUESTION.

- 4. DOOR OPENINGS THAT ARE NOT DIMENSIONALLY LOCATED ARE TO BE CENTERED BETWEEN WALLS OR POSITIONED WITH ONE JAMB CASING TRIM AGAINST AN ADJACENT WALL OR COLUMN AS SHOWN ON THE PLANS AND/OR DETAILS.

C. COORDINATION

- 1. REFER TO THE SPECIFICATIONS AND ARCHITECTURAL, STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND ADDITIONAL CONSULTANT'S DRAWINGS FOR FULL COORDINATION OF WORK.

RESPONSIBILITIES OF THE CONTRACTOR WITH REGARD TO EXISTING CONDITIONS

A. GENERAL

- 1. INFORMATION CONTAINED ON THESE DRAWINGS WITH REGARD TO EXISTING CONDITIONS OF CONSTRUCTION IS PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR IN EXECUTING THE WORK. THE EXISTING CONDITIONS REPRESENTED IN THE DRAWINGS ARE INTERPRETATION TAKEN FROM RECORD SETS OF "AS-BUILT" DRAWINGS ON FILE. THE ARCHITECT CANNOT AND DOES NOT GUARANTEE THE ACCURACY OF ANY SUCH INFORMATION AND ASSUMES NO LIABILITY THEREFORE.

BE DISCOVERED. TIMELY IDENTIFICATIONS OF SUCH CONDITIONS SHALL PROVIDE FOR A MINIMUM PERIOD OF TEN (10) WORKING DAYS DURING WHICH TIME THE ARCHITECT OR THE OWNER'S REP WILL EVALUATE THE CONDITIONS AND MAKE RECOMMENDATIONS FOR ACCOMMODATING NEW WORK.

- 5. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ASSIST THE ARCHITECT OR THE OWNER'S REP IN MAKING THEIR EVALUATIONS AND RECOMMENDATIONS BY PROVIDING IN A TIMELY MANNER, AT NO ADDITIONAL COST TO THE OWNER, ACCURATE AND COMPLETE DRAWINGS, SKETCHES, AND PHOTOGRAPHS SUFFICIENT TO CLEARLY DESCRIBE DISCREPANCIES, CONFLICTS, AND CONCEALED OR OTHERWISE UNANTICIPATED EXISTING CONDITIONS AFFECTING NEW CONSTRUCTION.

- 6. THE CONTRACTOR SHALL FURTHER ASSIST THE ARCHITECT OR THE OWNER'S REP BY PROVIDING IN A TIMELY MANNER PREPARED SOLUTIONS TO UNANTICIPATED EXISTING CONDITIONS.

- 7. THE ARCHITECT HAS ENDEAVORED TO IDENTIFY AS COMPLETELY AS POSSIBLE IN THE DRAWINGS AND SPECIFICATIONS EXISTING ITEMS OF EQUIPMENT AND CONSTRUCTION THAT ARE REQUIRED TO BE REMOVED OR OTHERWISE DEMOLISHED SO AS TO ALLOW THE EXECUTION OF NEW WORK. THIS INFORMATION IS PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR, AND IS IN NO WAY INTENDED TO MEAN THAT DEMOLITION IS LIMITED ONLY TO THOSE ITEMS SPECIFICALLY IDENTIFIED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO EXECUTE DEMOLITION WORK AS REQUIRED TO ALLOW THE EXECUTION OF NEW WORK.

- 8. ALL AREAS ABOVE OR ON THE EXISTING CEILING THAT ARE AFFECTED BY INSTALLATION OF NEW WORK SHALL BE REPAIRED COMPLETELY WITH MATERIALS AND PRODUCTS TO MATCH EXISTING INSTALLATION AND FIRE-RATED ASSEMBLIES.

- 9. ALL ITEMS INDICATING CONTRACT LIMITS AND LINES OF DEMARCATION ARE SHOWN OF THE CONVENIENCE OF THE CONTRACTOR, AND ARE NOT TO BE TAKEN LITERALLY.

- 10. THE CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING ANY UNFINISHED WALL AREAS THAT MAY BE EXPOSED AS A RESULT OF ADJUSTING FINISHED CEILING HEIGHTS. THE CONTRACTOR IS RESPONSIBLE FOR FINISHING THESE AREAS TO MATCH EXISTING ADJACENT FINISHED AREAS AND FIRE-RATED ASSEMBLIES.

B. BUILDING ACCESS AND CAPACITY OF EXISTING BUILDING STRUCTURE

- 1. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO IDENTIFY POINTS OF ACCESS TO THE BUILDING AND TO VERIFY MINIMUM CLEARANCES AVAILABLE FOR USE IN TRANSPORTING NECESSARY CONSTRUCTION MACHINERY, EQUIPMENT, MATERIALS, AND COMPONENTS INTO THE BUILDING. USE OF SUCH POINTS OF ACCESS SHALL BE APPROVED BY THE OWNER.

C. EXISTING LIFE SAFETY AND EMERGENCY SYSTEMS

- 1. EXISTING LIFE SAFETY AND EMERGENCY SYSTEMS MAY NOT BE SHOWN ON THE DRAWINGS IN THEIR ENTIRETY.

WORK SO THAT ALL APPLICABLE CODE REQUIREMENTS ARE SATISFIED.

D. CONTRACTOR'S PROJECT RECORD DOCUMENT

- 1. MAINTAIN AT THE JOB SITE ONE COPY OF ALL DRAWINGS, SPECIFICATIONS, APPROVED SHOP DRAWINGS, FIELD ORDERS, AND OTHER CONTRACT MODIFICATIONS, AND OTHER APPROVED DOCUMENTS SUBMITTED BY THE CONTRACTOR IN COMPLIANCE WITH VARIOUS SECTIONS OF THE SPECIFICATIONS.

D. INSTALLATION - GENERAL

- 1. PROVIDE EXPANSION AND/OR CONTROL JOINTS IN ACCORDANCE WITH SPECIFIED OR DRAWN REQUIREMENTS. IN THE ABSENCE OF SPECIFIED OR DRAWN REQUIREMENTS, PROVIDE JOINTS IN ACCORDANCE WITH ACCEPTED INDUSTRY STANDARDS. LOCATIONS SHALL BE REVIEWED AND ACCEPTED BY THE ARCHITECT OR THE OWNER'S REP PRIOR TO INSTALLATION.

WAECHTER ARCHITECTS logo and address: 4534 North Ravenswood Avenue, Chicago, Illinois 60640, p: 773 728 3920, www.w-a-e-c-h.com

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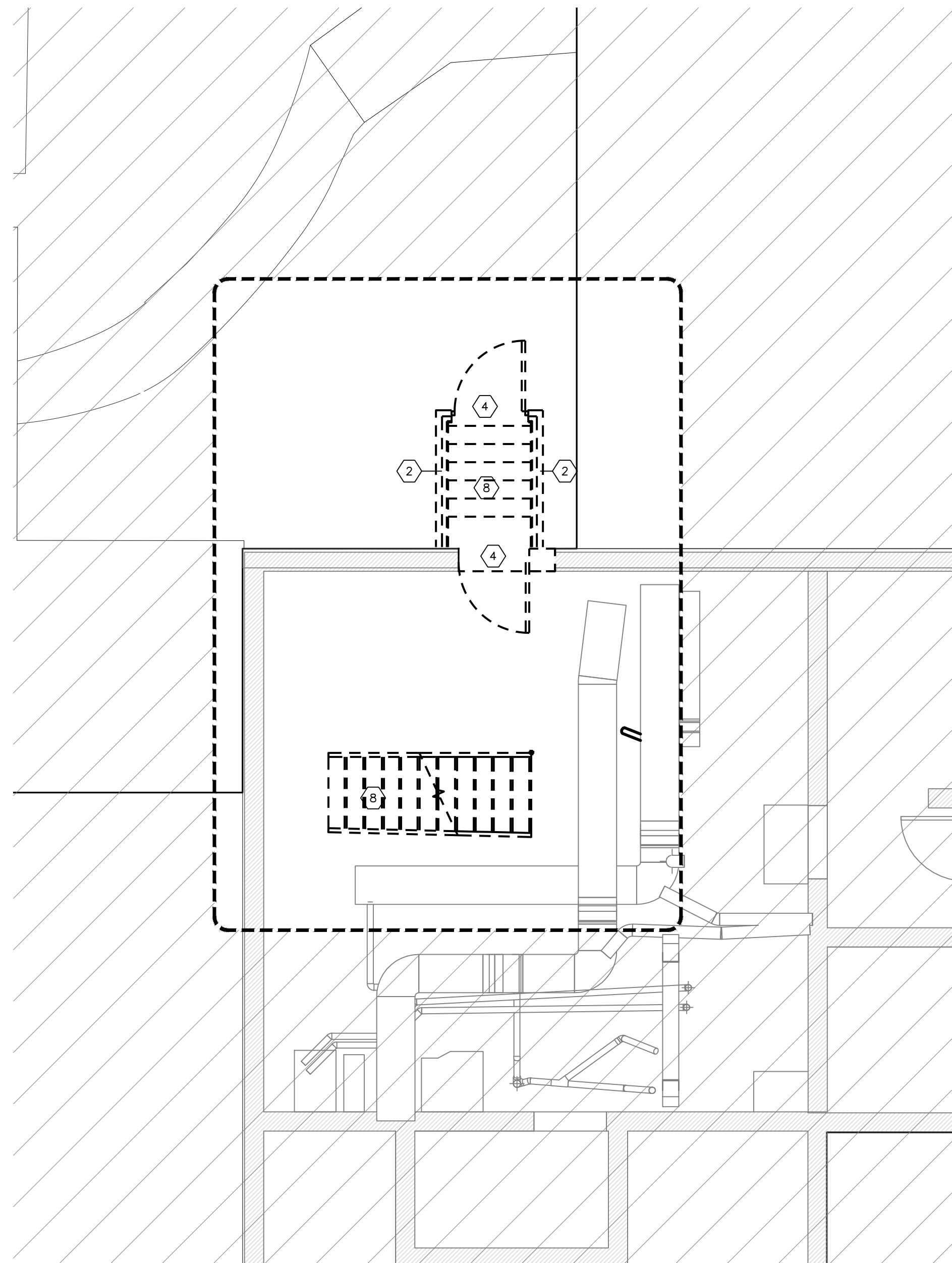
DRAWING TITLE: PROJECT NAME: the Wickwood Inn, 510 Butler St, Saugatuck, MI 49453. NOTE: CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD. DRAWING REPRESENTS DESIGN INTENT ONLY.

Table with columns: ISSUES AND REVISIONS, No., DATE, DESCRIPTION. Row 1: 1, 01/18/2023, PERMIT REVIEW.

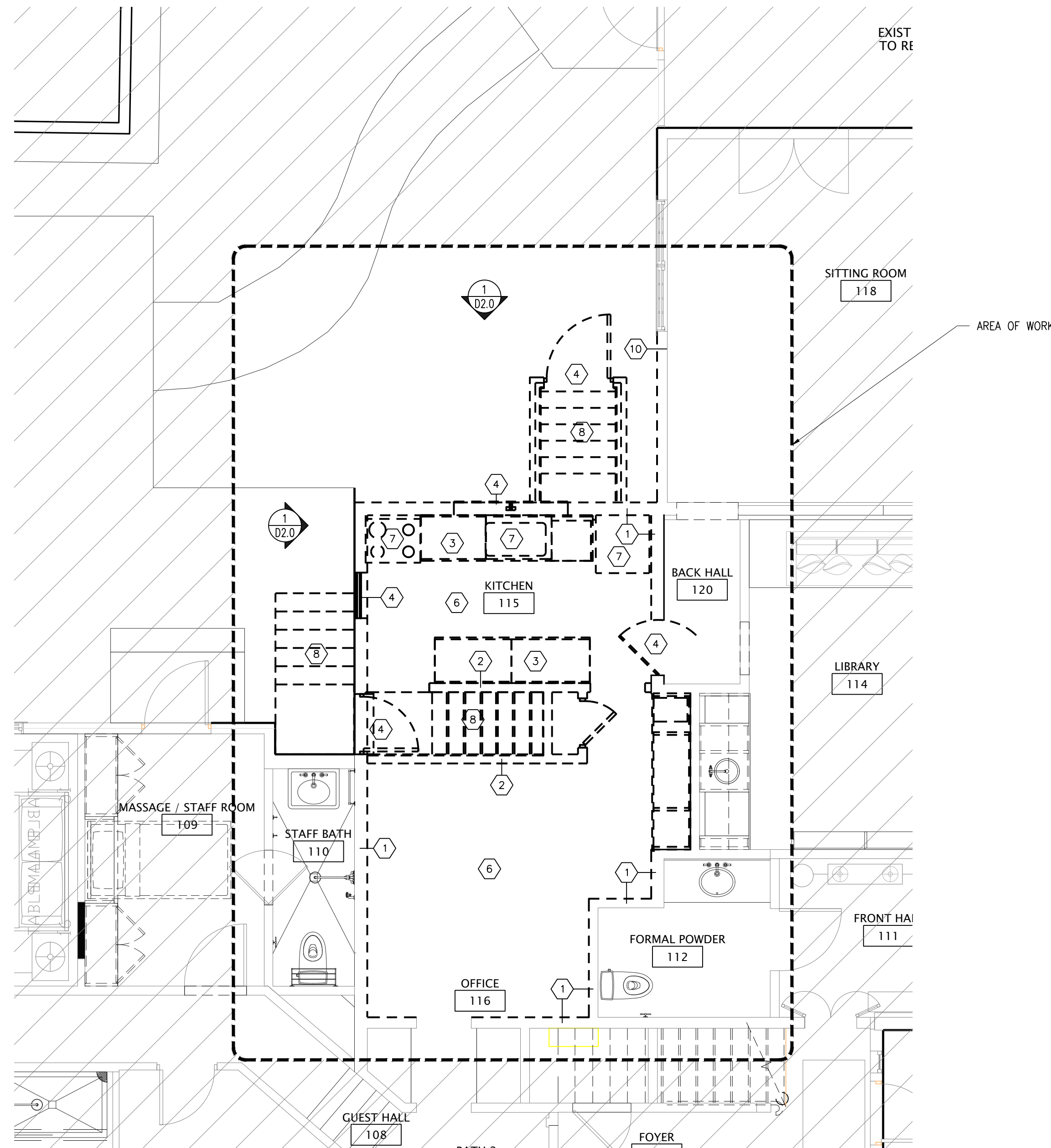
DATE: 1/19/23 SHEET NUMBER: G1.2

GENERAL NOTES





1 BASEMENT DEMO PLAN
1/4"=1'-0"



2 FIRST FLOOR DEMO PLAN
1/4"=1'-0"

GENERAL SHEET NOTES

- A. WORK INCLUDED: PREPARE SITE AND STRUCTURE FOR NEW CONSTRUCTION ACTIVITIES.
- B. DEMOLISHED MATERIALS: UNLESS OTHERWISE INDICATED, DEMOLISHED MATERIALS BECOME CONTRACTOR'S PROPERTY. REMOVE FROM PROJECT SITE AND LEGALLY DISPOSE OF THEM. DO NOT BURN DEMOLISHED MATERIALS. ITEMS INDICATED AS "REMOVE AND SALVAGE" REMAIN OWNER'S PROPERTY.
- C. REGULATORY REQUIREMENTS: COMPLY WITH LOCAL, STATE, AND FEDERAL/EPA REGULATIONS HAVING JURISDICTION.
- DEFINITIONS:
 - 1. DEMOLISH, OR REMOVE: REMOVE AND LEGALLY DISPOSE OF ITEMS.
 - 2. REMOVE AND SALVAGE: REMOVE, CLEAN AND DELIVER FOR OWNER'S USE IN DESIGNATED AREA.
 - 3. REMOVE AND REINSTALL: REMOVE, CLEAN, REPAIR, AND REINSTALL ITEM.
 - 4. EXISTING TO REMAIN: PROTECT ITEM AGAINST DAMAGE DURING DEMOLITION AND CONSTRUCTION.
- D. MAINTAIN CONTINUITY AND USE OF EXIST'G MEP SYSTEMS AFTER SELECTIVE DEMOLITION ACTIVITIES.
- E. MAINTAIN/RESTORE EXTERIOR CLOSURE AND SECURE TO WEATHER TIGHT CONDITION.
- F. GC TO PROVIDE ENGINEERING FOR ANY REQUIRED SHORING OR BRACING OF EXISTING STRUCTURE TO REMAIN.

DEMOLITION LEGEND

- ITEMS FOR DEMOLITION
- EXIST'G STRUCTURES TO REMAIN
- INDICATES AREA OF PROPOSED WORK

DEMOLITION KEY NOTES

- 1 REMOVE WALL FINISHES TO EXPOSE FRAMING
- 2 REMOVE EXISTING PARTITIONS
- 3 REMOVE MILLWORK AND APPLIANCES; SALVAGE TO OWNER
- 4 REMOVE EXISTING DOOR / WINDOW AND FRAME
- 5 EXISTING ROOF TO REMAIN
- 6 REMOVE EXISTING FLOOR FINISHES
- 7 REMOVE EXISTING PLUMBING FIXTURES AND APPLIANCES
- 8 REMOVE STAIR
- 9 PROTECT GUTTERS & DOWNSPOUTS
- 10 REMOVE SIDING AND SHEATHING

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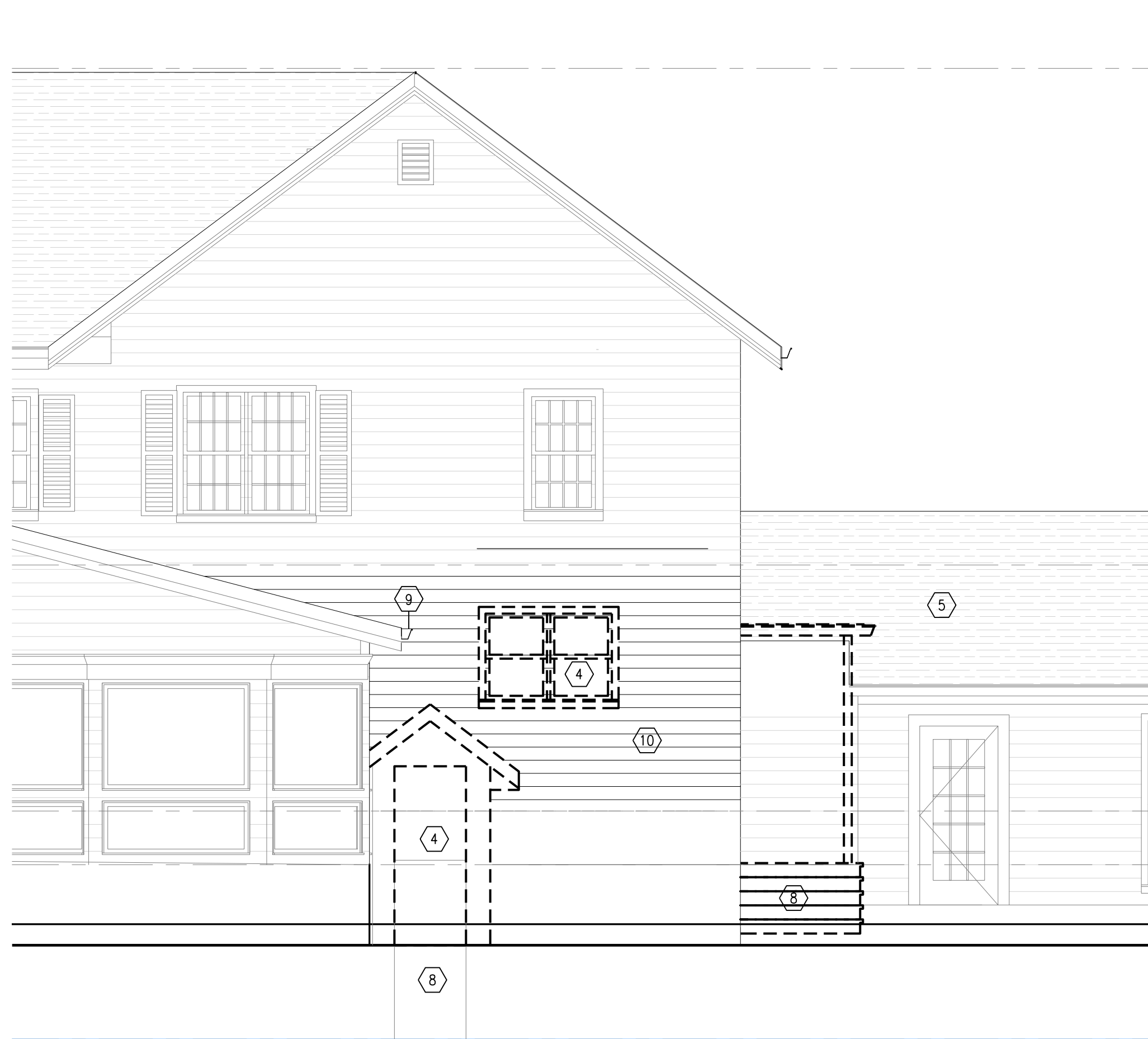
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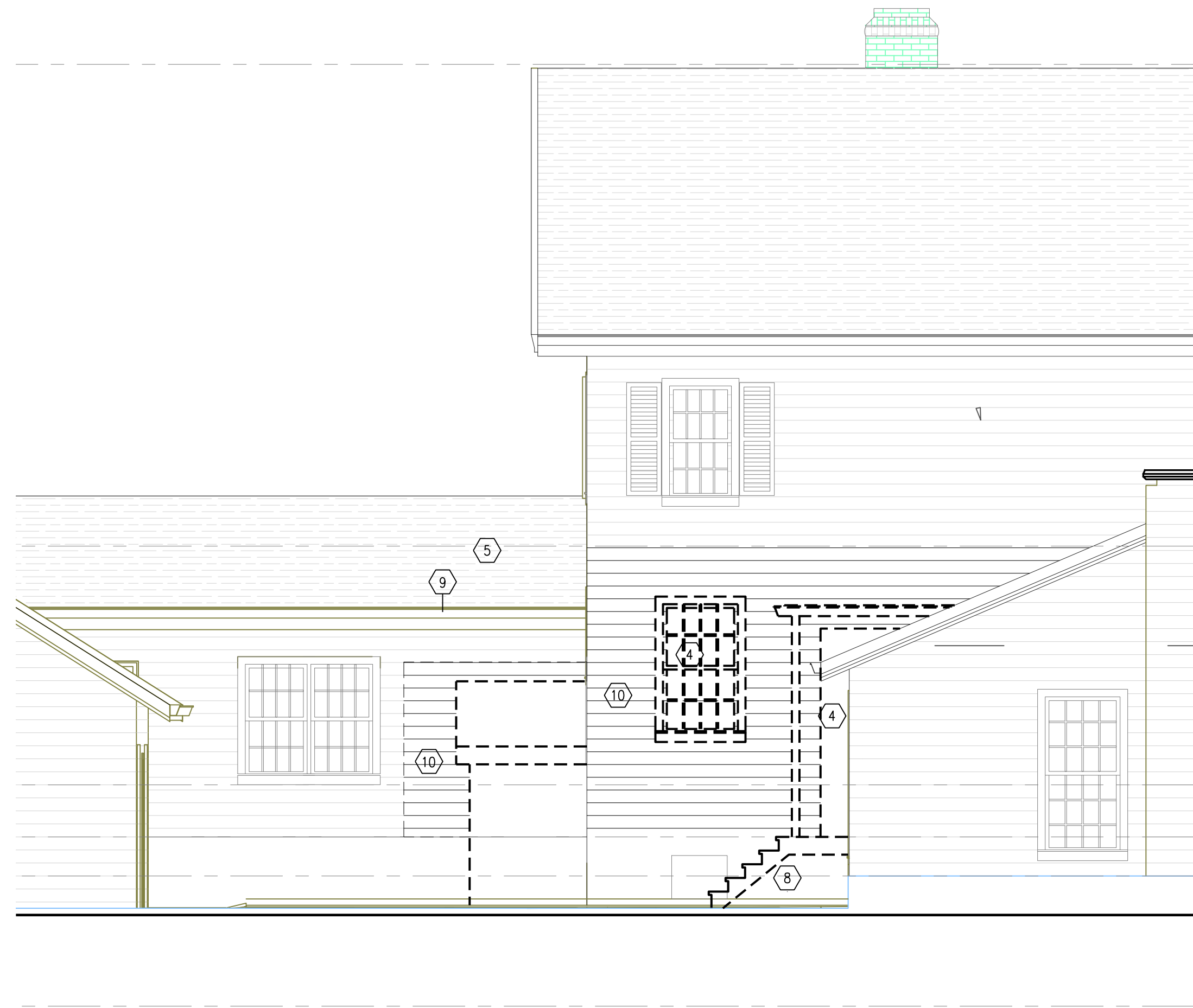
DATE: 1/19/23

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D1.0





1 EXISTING / DEMO
NORTH ELEVATION
1/4"=1'-0"



2 EXISTING / DEMO
EAST ELEVATION
1/4"=1'-0"

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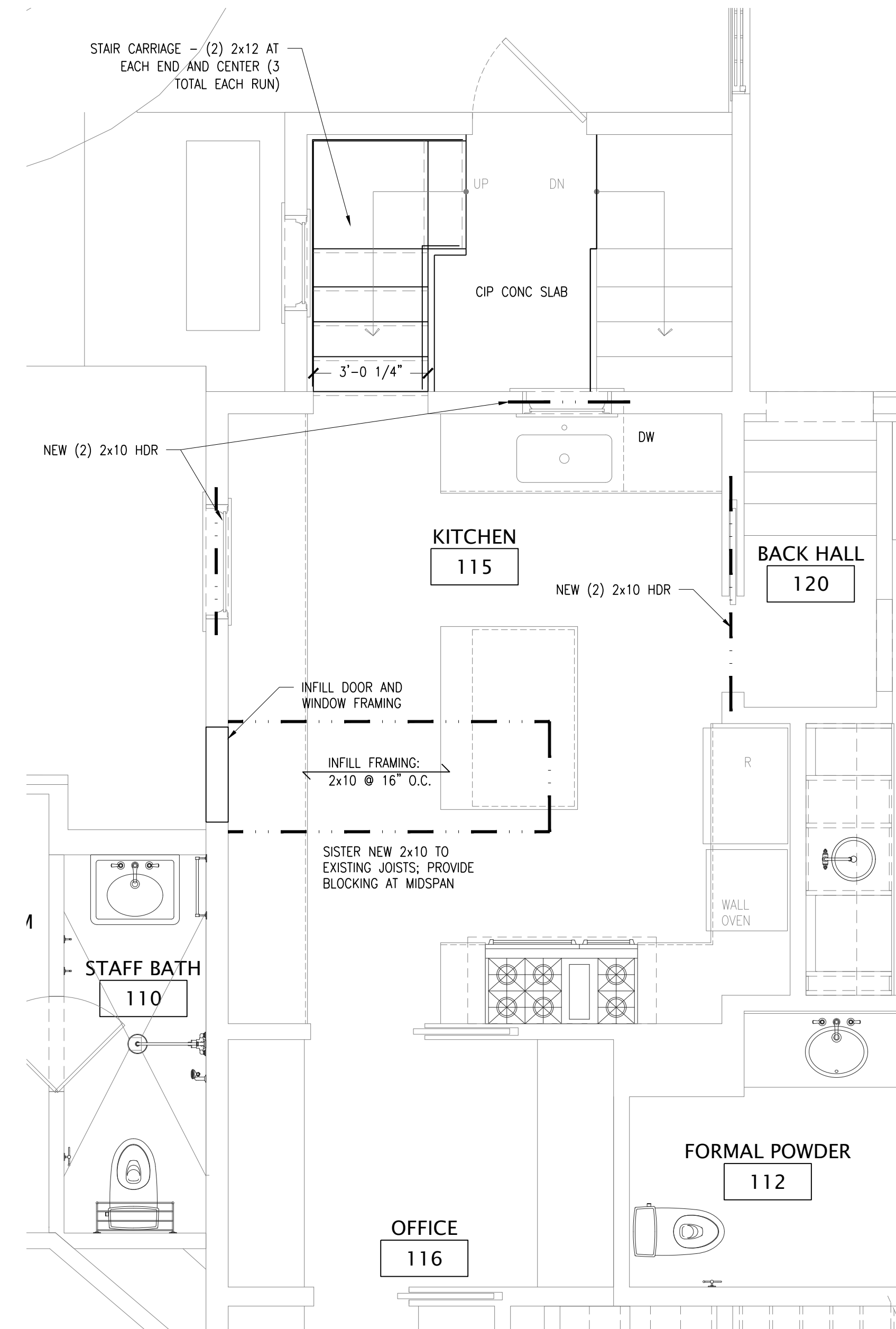
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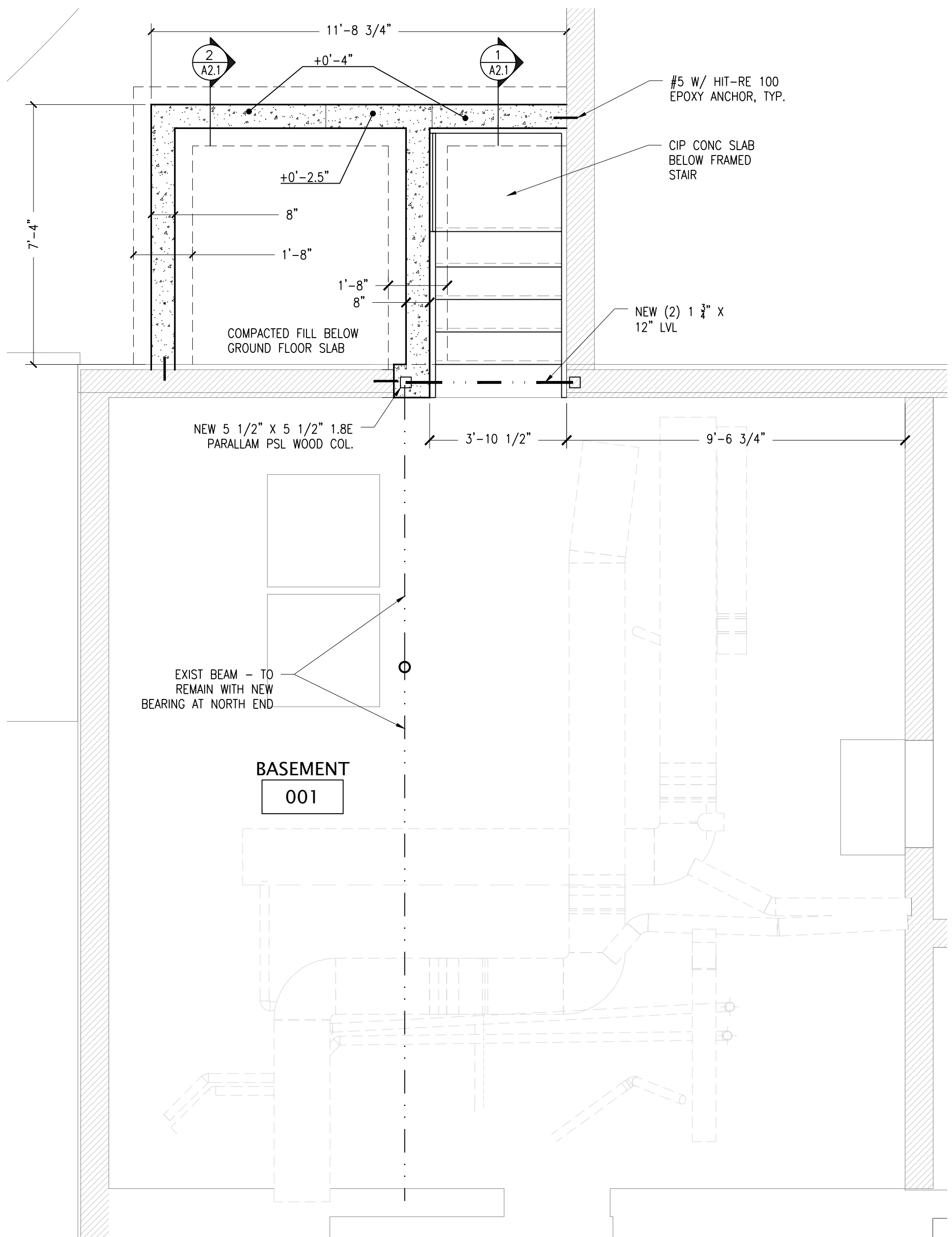


ROUGH CARPENTRY GENERAL NOTES:

1. LUMBER, GENERAL
 - A. DRESSED LUMBER, S4S, 19% MAXIMUM MOISTURE CONTENT FOR 2-INCH (38-MM) THICKNESS OR LESS, MARKED WITH GRADE STAMP OF INSPECTION AGENCY.
 - B. TREATED MATERIALS
 - A. PRESERVATIVE-TREATED MATERIALS: AC2 TREATED LUMBER AND AWPA C9 PLYWOOD, LABELED BY AN INSPECTION AGENCY APPROVED BY AISC'S BOARD OF REVIEW. AFTER TREATMENT, KILN-DRY LUMBER AND PLYWOOD TO 19 AND 15 PERCENT MOISTURE CONTENT, RESPECTIVELY. TREAT INDICATED ITEMS AND THE FOLLOWING:
 1. WOOD MEMBERS IN CONNECTION WITH ROOFING, FLASHING, VAPOR BARRIERS, AND WATERPROOFING.
 2. CONCEALED MEMBERS IN CONTACT WITH MASONRY OR CONCRETE.
 3. WOOD FRAMING MEMBERS LESS THAN 18 INCHES (460 MM) ABOVE GRADE.
 4. WOOD FLOOR PLATES INSTALLED OVER CONCRETE SLABS DIRECTLY IN CONTACT WITH EARTH.
 - B. FIRE-RETARDANT-TREATED MATERIALS: AWPA C20 LUMBER AND AWPA C27 PLYWOOD, INTERIOR TYPE A TREATMENT, LABELED BY A TESTING AND INSPECTING AGENCY ACCEPTABLE TO AUTHORITIES HAVING JURISDICTION.
 1. USE TREATED LUMBER AND PLYWOOD WITH BENDING STRENGTH, STIFFNESS, AND FASTENER-HOLDING CAPACITIES THAT ARE NOT REDUCED BELOW VALUES PUBLISHED BY MANUFACTURER OF CHEMICAL FORMULATION UNDER ELEVATED TEMPERATURE AND HUMIDITY CONDITIONS.
3. LUMBER
 - A. DIMENSION LUMBER: THE FOLLOWING GRADES PER INSPECTION AGENCY INDICATED.
 1. NON-LOAD-BEARING INTERIOR PARTITIONS: STUD, SPRUCE/PINE/FIR
 2. FRAMING OTHER THAN NON-LOAD-BEARING PARTITIONS: NO. 2 SPF
 - B. TIMBERS 5-INCH NOMINAL (117-MM ACTUAL) SIZE AND THICKER: DOUGLAS FIR-LARCH, SELECT STRUCTURAL PER NLGA, WCLIB, OR WMPA RULES.
 - C. CONCEALED BOARDS: 19 PERCENT MAXIMUM MOISTURE CONTENT: NORTHERN SPECIES: NO. 3 COMMON OR STANDARD PER NLGA RULES.
 - D. MISCELLANEOUS LUMBER: NO. 3 OR STANDARD GRADE OF ANY SPECIES FOR NAILERS, BLOCKING, AND SIMILAR MEMBERS.
4. ENGINEERED WOOD PRODUCTS
 - A. ENGINEERED WOOD PRODUCTS ACCEPTABLE TO AUTHORITIES HAVING JURISDICTION AND WITH ALLOWABLE DESIGN STRESSES, AS PUBLISHED BY MANUFACTURER, THAT MEET OR EXCEED THOSE INDICATED. MANUFACTURER'S PUBLISHED VALUES SHALL BE DEMONSTRATED BY COMPREHENSIVE TESTING.
 - B. LAMINATED-VENEER LUMBER: LAMINATED WITH AN EXTERIOR-TYPE ADHESIVE COMPLYING WITH ASTM D 2559, WITH GRAIN OF VENEERS PARALLEL TO THEIR LENGTHS.
 1. EXTREME FIBER STRESS IN BENDING: 2500 PSI (17 MPA) FOR 12-INCH NOMINAL - (286-MM ACTUAL-) DEPTH MEMBERS.
 2. MODULUS OF ELASTICITY: 2,000,000 PSI (13 800 MPA).
 - C. PARALLEL-STRAND LUMBER: LAID UP FROM WOOD STRANDS WITH EXTERIOR-TYPE ADHESIVE COMPLYING WITH ASTM D 2559 WITH GRAIN OF STRANDS PARALLEL TO THEIR LENGTHS.
 1. EXTREME FIBER STRESS IN BENDING: 2900 PSI (20 MPA) FOR 12-INCH NOMINAL - (286-MM ACTUAL-) DEPTH MEMBERS.
 2. MODULUS OF ELASTICITY: 2,000,000 PSI (13 800 MPA).
 - D. PREFABRICATED WOOD I-JOISTS: MADE FROM STRESS-GRADED LUMBER FLANGES AND WOOD-BASED STRUCTURAL-USE PANEL WEBS WITH EXTERIOR-TYPE ADHESIVE COMPLYING WITH ASTM D 2559.
 1. STRUCTURAL CAPACITIES: ESTABLISH AND MONITOR STRUCTURAL CAPACITIES ACCORDING TO ASTM D 5055.
5. PANEL PRODUCTS
 - A. WOOD-BASED STRUCTURAL-USE PANELS: DOC PS 2. PROVIDE PLYWOOD COMPLYING WITH DOC PS 1, WHERE PLYWOOD IS INDICATED.
 1. FACTORY MARK PANELS EVIDENCING COMPLIANCE WITH GRADE REQUIREMENTS.
 2. PROVIDE PANELS WITH SPAN RATINGS REQUIRED BY SUPPORT SPACING INDICATED.
 3. COMBINATION SUBFLOOR-UNDERLAYMENT: APA-RATED STURD-I-FLOOR, EXPOSURE 1.
 4. SUBFLOORING: APA-RATED SHEATHING, EXPOSURE 1.
 5. WALL SHEATHING: APA-RATED STRUCTURAL I SHEATHING, EXPOSURE 1.
 6. ROOF SHEATHING: APA-RATED STRUCTURAL I SHEATHING, EXTERIOR.
 7. PLYWOOD UNDERLAYMENT FOR RESILIENT FLOORING: APA B-C UNDERLAYMENT EXTERIOR PLYWOOD PANELS WITH FULLY SANDED FACE.
 8. PLYWOOD UNDERLAYMENT FOR CERAMIC TILE: APA-RATED, UNDERLAYMENT GRADE, EXTERIOR PLYWOOD, 5/8 INCH (15.9 MM) THICK.
 9. PLYWOOD UNDERLAYMENT FOR CARPET: APA UNDERLAYMENT, EXPOSURE 1 PLYWOOD PANELS WITH FULLY SANDED FACE.
 - B. PARTICLEBOARD UNDERLAYMENT: ANSI A208.1, GRADE PBU.
 - C. HARDBOARD UNDERLAYMENT: ANSI/AIA A135.4, CLASS 4 (SERVICE), S1S; WITH BACK SIDE SANDED.
 - D. FIBERBOARD SHEATHING: ANSI/AIA A194.1, TYPE IV, CLASS 1, 1/2 INCH (13 MM) THICK.
 - E. GYPSUM SHEATHING BOARD: ASTM C 79, WATER-RESISTANT CORE.
 - F. GLASS-FIBER-SURFACED GYPSUM SHEATHING BOARD: ASTM C 79, WATER-RESISTANT CORE, SURFACED ON FACE AND BACK WITH GLASS-FIBER MATS WITH ALKALI-RESISTANT COATING.
 - G. EXTRUDED CELLULAR POLYSTYRENE SHEATHING: ASTM C 578, TYPE IV, WITH T & G OR SHIPLAP LONG EDGES.
 - H. POLYSOCYANURATE FOAM SHEATHING: ASTM C 1289, TYPE I, CLASS 2; WITH ALUMINUM FOIL FACINGS. FOAM-PLASTIC CORE AND FACINGS SHALL HAVE FLAME SPREAD OF 25 OR LESS, WHEN TESTED INDIVIDUALLY.
6. MISCELLANEOUS PRODUCTS
 - A. AIR-INFILTRATION BARRIER: [ASTM D 226, TYPE I, NO. 15 ASPHALT FELT, UNPERFORATED] [POLYOLEFIN MATERIAL COMPLYING WITH ASTM E 1677, TYPE I, WITH MINIMUM WATER-VAPOR TRANSMISSION OF 10 PERMS (575 NG/PA X S X 50, W)].
 - B. FASTENERS: SIZE AND TYPE INDICATED. WHERE ROUGH CARPENTRY IS EXPOSED TO WEATHER, IN GROUND CONTACT, OR IN AREA OF HIGH RELATIVE HUMIDITY, PROVIDE FASTENERS WITH A HOT-DIP ZINC COATING PER ASTM A 153 OR OF TYPE 304 STAINLESS STEEL.
 1. POWER-DRIVEN FASTENERS: CABO NER-272.
 2. BOLTS: STEEL BOLTS COMPLYING WITH ASTM A 307, GRADE A (ASTM F 568, PROPERTY CLASS 4.6); WITH ASTM A 563 (ASTM A 563M) HEX NUTS AND, WHERE INDICATED, FLAT WASHERS.
 - C. METAL FRAMING ANCHORS: HOT-DIP GALVANIZED STEEL OF STRUCTURAL CAPACITY, TYPE, AND SIZE INDICATED.
 - D. SILL-SEALER: GLASS-FIBER INSULATION, 1-INCH (25-MM) THICK, COMPRESSIBLE TO 1/32 INCH (0.8 MM).
 - E. ADHESIVES FOR FIELD GLUING PANELS TO FRAMING: APA AFG-01.
7. INSTALLATION
 - A. FIT ROUGH CARPENTRY TO OTHER CONSTRUCTION; SCRIBE AND COPE FOR ACCURATE FIT. CORRELATE LOCATION OF FURRING, BLOCKING, AND SIMILAR SUPPORTS TO ALLOW ATTACHMENT OF OTHER CONSTRUCTION.
 - B. SECURELY ATTACH ROUGH CARPENTRY WORK TO SUBSTRATE BY ANCHORING AND FASTENING AS INDICATED, COMPLYING WITH THE FOLLOWING:
 1. CABO NER-272 FOR POWER-DRIVEN STAPLES, P-NAILS, AND ALLIED FASTENERS.
 2. PUBLISHED REQUIREMENTS OF METAL FRAMING ANCHOR MANUFACTURER.
 - C. TABLE 602.3A--FASTENER SCHEDULE FOR STRUCTURAL MEMBERS PER THE IRC INSTALLATION OF STRUCTURAL-USE PANELS: COMPLY WITH APPLICABLE RECOMMENDATIONS CONTAINED IN APA FORM NO. E30 AND AS FOLLOWS:
 1. COMBINATION SUBFLOORING-UNDERLAYMENT: GLUE AND NAIL TO FRAMING.
 2. SUBFLOORING: GLUE AND NAIL TO FRAMING.
 3. SHEATHING: NAIL TO FRAMING.
 4. UNDERLAYMENT: NAIL OR STAPLE TO SUBFLOORING.



2 FRAMING PLAN - FIRST FLOOR



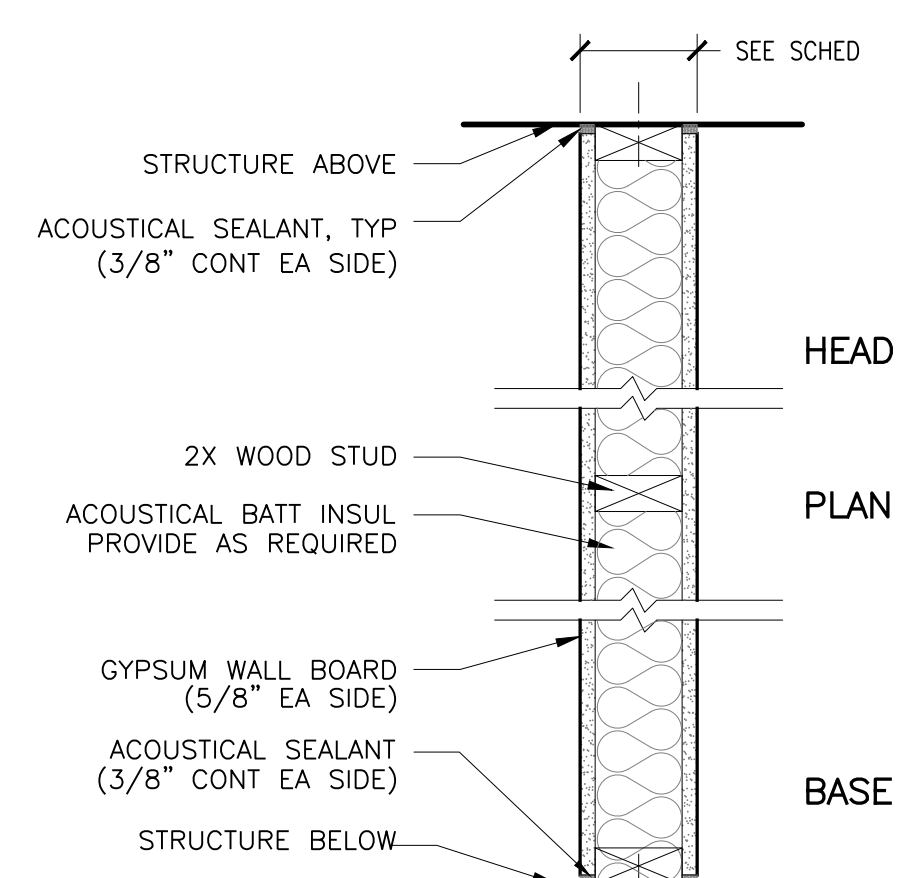
1 FRAMING PLAN - BASEMENT

DESIGN LOADS:
 STRUCTURAL DESIGN OF THIS BUILDING IS IN ACCORDANCE WITH THE 2018 INTERNATIONAL RESIDENTIAL CODE.
 GRAVITY:
 FLOOR LIVE LOAD: 40 PSF RESIDENTIAL
 100 PSF CORRIDORS AND STAIRS
 ROOF LIVE LOAD: 50 PSF SNOW
 WIND:
 BASIC WIND SPEED: 107 MPH
 W-1.0
 OCCUPANCY CATEGORY - II
 EXPOSURES:
 GUST EFFECT FACTOR - G = 0.85
 DIRECTIONALITY FACTOR - Kd = 0.85
 MWFRS - 25 PSF (PER 1609)
 COMPONENTS AND CLADDING:
 WALL (FIELD) - 30 PSF
 WALL (CORNER) - 35 PSF
 ROOF (FIELD) - 25 PSF
 ROOF (EDGE) - 57.5 PSF
 ROOF (CORNER) - 80 PSF

TYPICAL SLAB CONSTRUCTION:
 1. 5" CIP CONC WITH 5x5 WWF (MIN COVER 1.5" FOR ALL EMBEDDED ITEMS).
 2. CONTINUOUS VAPOR BARRIER
 3. MIN R-10 INSULATION UNDER SLAB (2") AND R-15 AT INSIDE FACE OF FOUNDATION WALLS TO 2'-0" BELOW GRADE AND WITHIN 4 FT OF PERIMETER (2" AND 1" XPS RIGID BOARD).

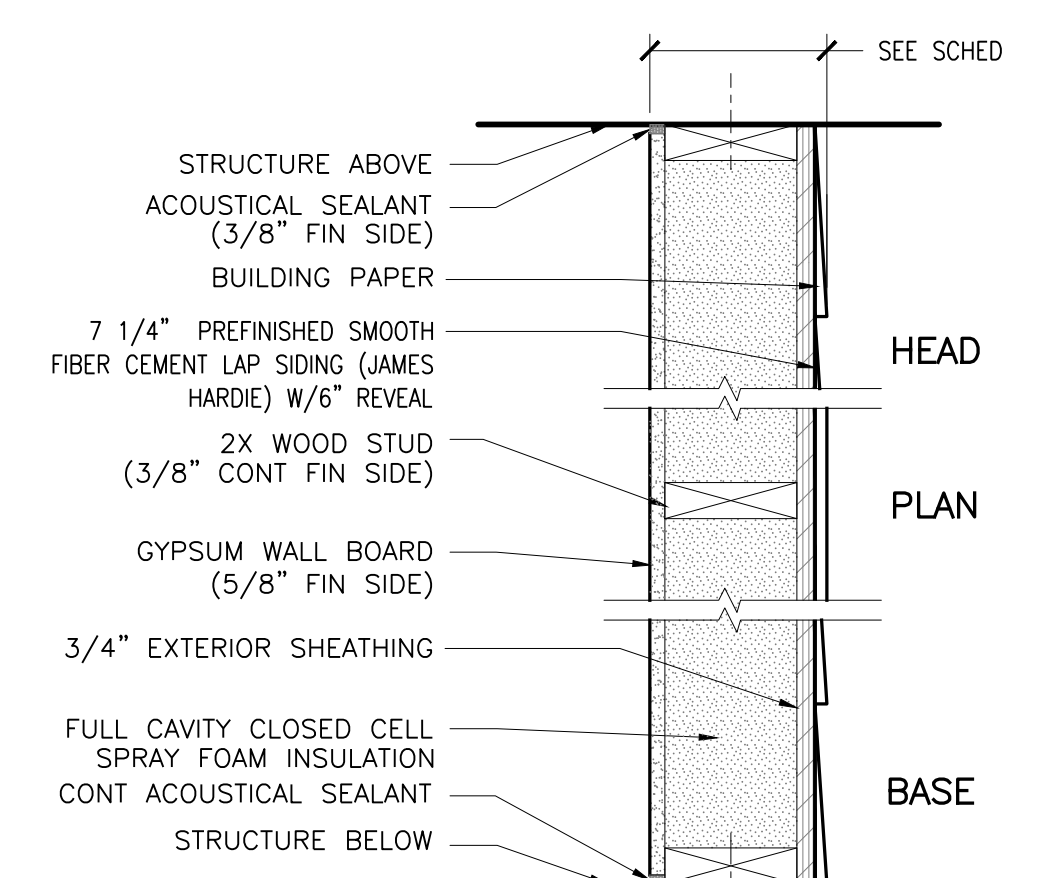
GUARD RAIL DESIGN LOADS - ALL HANDRAILS SHALL BE DESIGNED TO RESIST THE MORE SEVERE EFFECTS OF A SINGLE CONCENTRATED LIVE LOAD OF 200-LB AT ANY LOCATION AND IN ANY DIRECTION OR A SIMULTANEOUS VERTICAL AND HORIZONTAL LIVE LOAD OF 50 PLF APPLIED AT THE TOP OF THE RAIL.

ADDITIONAL FRAMING NOTES:
 1. PROVIDE MIN R-15 SUB-SLAB INSULATION PER 2018 IECC, SECTION/TABLE R402.1.2 AND AS SHOWN IN BUILDING SECTION.
 2. NEW PORCHES, STEPS AND GARAGE FLOOR SLABS TO BE MIN. 3,500 PSI, WITH MIN. 5% TO MAX. 7% AIR ENTRAINED CONCRETE MIX - PER 2018 IRC, SECTION/TABLE R402.2
 3. FOUNDATION ANCHOR BOLTS SHALL EXTEND A MIN. 7" INTO CONCRETE, WITH MIN. 2 ANCHOR BOLTS PER PLATE SECTION, AND BE LOCATED NOT MORE THAN 12" FROM EACH END OF PLATE SECTION - PER 2018 IRC, SECTION R403.1.6



D.T.D. NO.	STUD/BLOCK SIZE	STUD SPACING	MAX. HT.	FIRE RATING/TEST NO.	INSUL. THK./STC RATING/TEST NO.	WALL THK.
A	NOM 2X4 WD STUD	16" OC	-	NR	3 1/2" / 46/BBN-700/25	4 3/4"
B	NOM 2X6 WD STUD	16" OC	-	NR	5 1/2" / -	6 3/4"

3 BALANCED SINGLE LAYER ACOUSTIC GYPSUM BOARD PARTITION
 1 1/2" = 1'-0"



D.T.D. NO.	STUD/BLOCK SIZE	STUD SPACING	MAX. HT.	FIRE RATING/TEST NO.	INSUL. THK./STC RATING/TEST NO.	WALL THK.
A	NOM 2X4 WD STUD	16" OC	-	NR	3 1/2" / -	5 3/8"
B	NOM 2X6 WD STUD	16" OC	-	NR	5 1/2" / -	7 3/8"

4 EXTERIOR WALL PARTITION FINISHED ONE SIDE
 1 1/2" = 1'-0"

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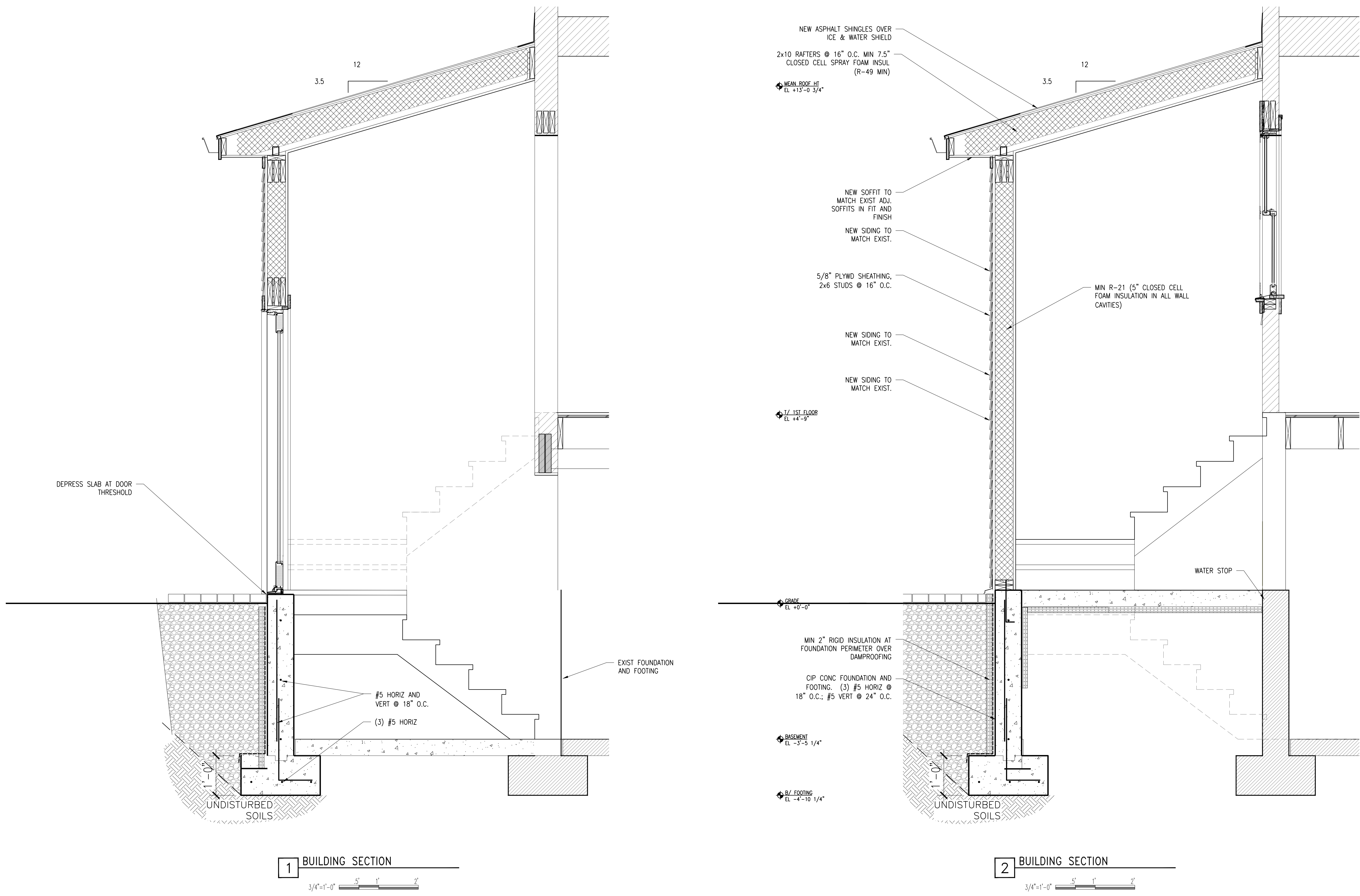
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SHEET NUMBER:

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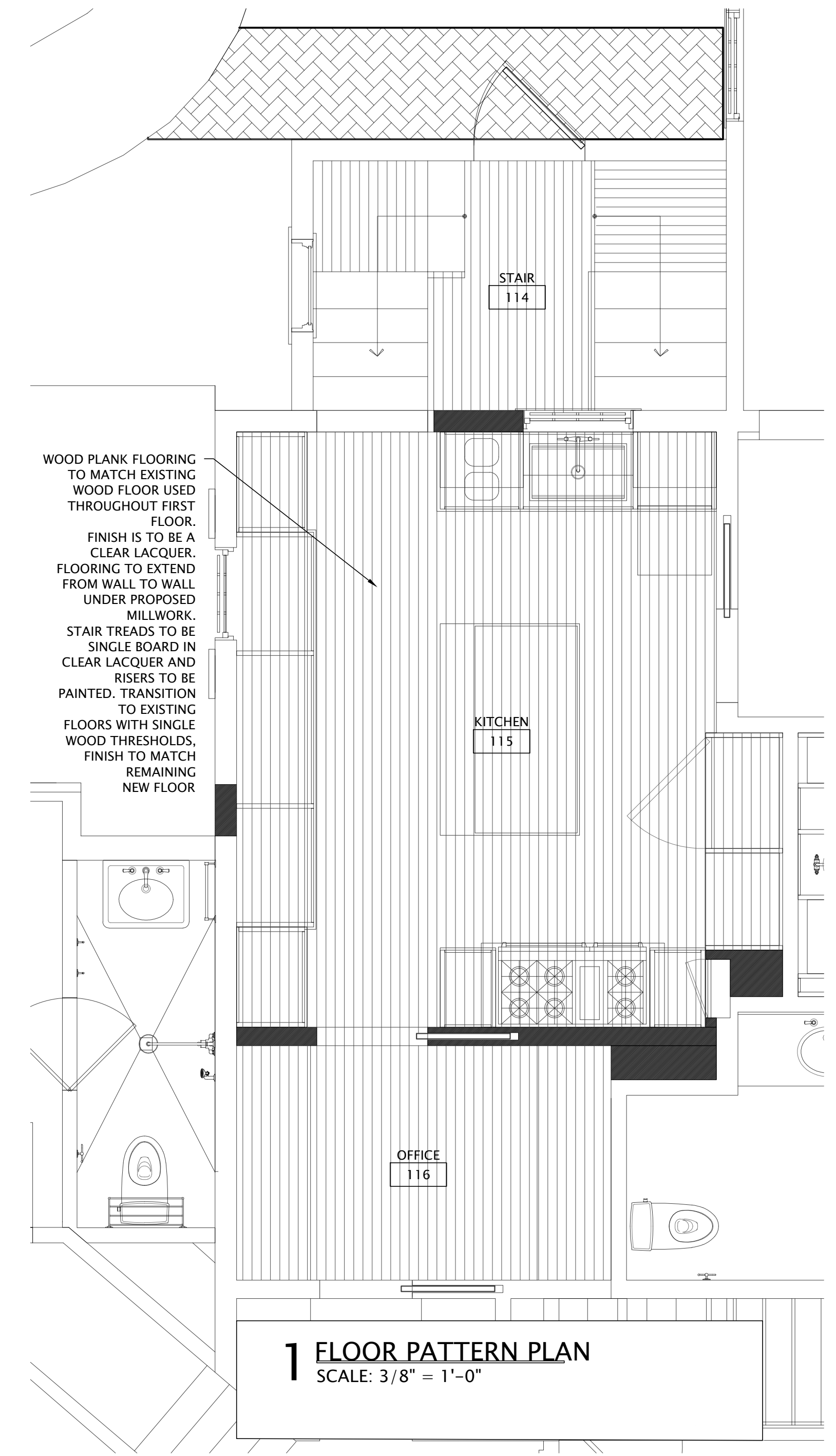


PARTITION AND FRAMING NOTES

1. STAIR CONSTRUCTION SHALL COMPLY WITH 2018 IRC, SECTION R311.7.5 (MAX. 7-3/4" RISER HEIGHT, MIN. 10" TREAD DEPTH AND THE MAX. HEIGHT DIFFERENCE BETWEEN THE GREATEST AND SMALLEST RISER WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED 3/8"). STAIR SHALL HAVE MIN. 6'-8" HEADROOM MEASURED VERTICALLY FROM THE TREAD NOSING, OR FROM THE LANDING OR PLATFORM- PER 2018 IRC, SECTION R311.7.2 AND THAT UNDER-STAIR SURFACE SHALL BE PROTECTED WITH MIN. 1/2" GYPSUM BOARD. JOINTS AND SEAMS SHALL BE FIRE TAPED- TO COMPLY WITH CITY OF H. P. ADOPTED AMENDMENT TO 2018 IRC, SECTION R302.7
2. HANDRAIL CONSTRUCTION SHALL COMPLY WITH 2018 IRC, SECTION R311.7.8- HANDRAILS SHALL BE PROVIDED ON NOT LESS THAN ONE SIDE OF EACH FLIGHT OF STAIRS WITH 4 OR MORE RISERS, HANDRAIL HEIGHT SHALL COMPLY WITH SECTION R311.7.8.1 (MIN. 34" TO MAX. 38" ABOVE TREAD NOSING), HANDRAIL ENDS SHALL COMPLY WITH SECTION R311.7.8.4 AND HANDRAIL GRIP SIZE SHALL COMPLY WITH SECTION R311.7.8.5
3. FOUNDATION ANCHOR BOLTS SHALL EXTEND A MIN. 7" INTO CONCRETE, WITH MIN. 2 ANCHOR BOLTS PER PLATE SECTION, AND BE LOCATED NOT MORE THAN 12" FROM EACH END OF PLATE SECTION- PER 2018 IRC, SECTION R403.1.6

CLIMATE ZONE 5
 INSULATION AND FENESTRATION REQUIREMENTS PER TABLE R402.1.2

FENESTRATION U-FACTOR	0.30
SKYLIGHT U-FACTOR	0.55
GLAZED FENESTRATION SHGC	NR
CEILING R-VALUE	49
WOOD FRAME WALL R-VALUE	20 or 13 + 5
FLOOR R-VALUE	30
BASEMENT WALL R-VALUE	15/19
SLAB R-VALUE & DEPTH	10, 2" (15 IN HEATED SLABS)
CRAWL SPACE WALL R-VALUE	15/19



WOOD PLANK FLOORING TO MATCH EXISTING WOOD FLOOR USED THROUGHOUT FIRST FLOOR. FINISH IS TO BE A CLEAR LACQUER. FLOORING TO EXTEND FROM WALL TO WALL UNDER PROPOSED MILLWORK. STAIR TREADS TO BE SINGLE BOARD IN CLEAR LACQUER AND RISERS TO BE PAINTED. TRANSITION TO EXISTING FLOORS WITH SINGLE WOOD THRESHOLDS. FINISH TO MATCH REMAINING NEW FLOOR

1 FLOOR PATTERN PLAN
SCALE: 3/8" = 1'-0"

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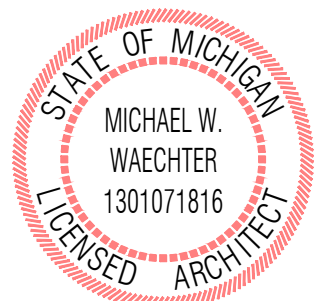
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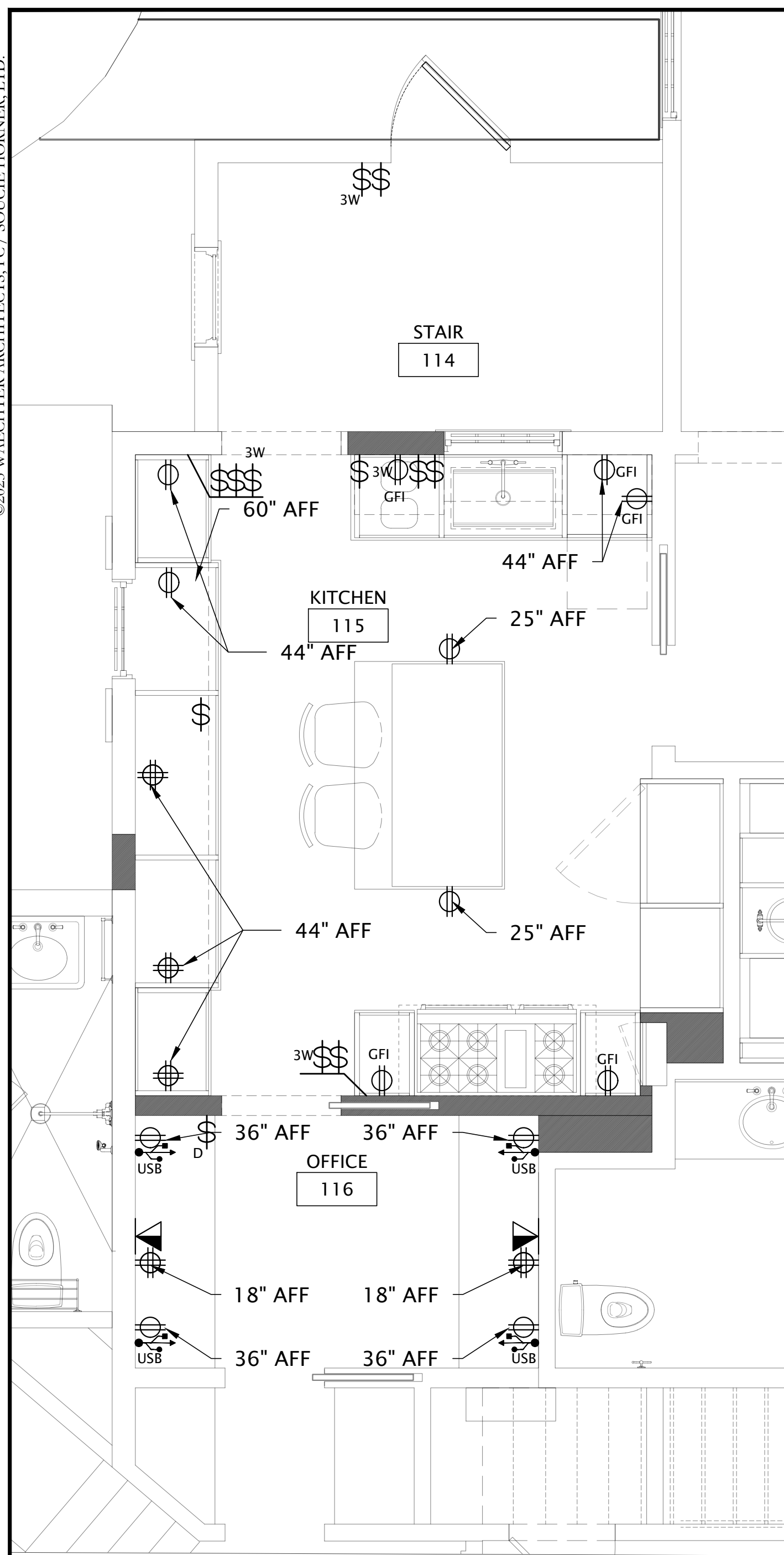
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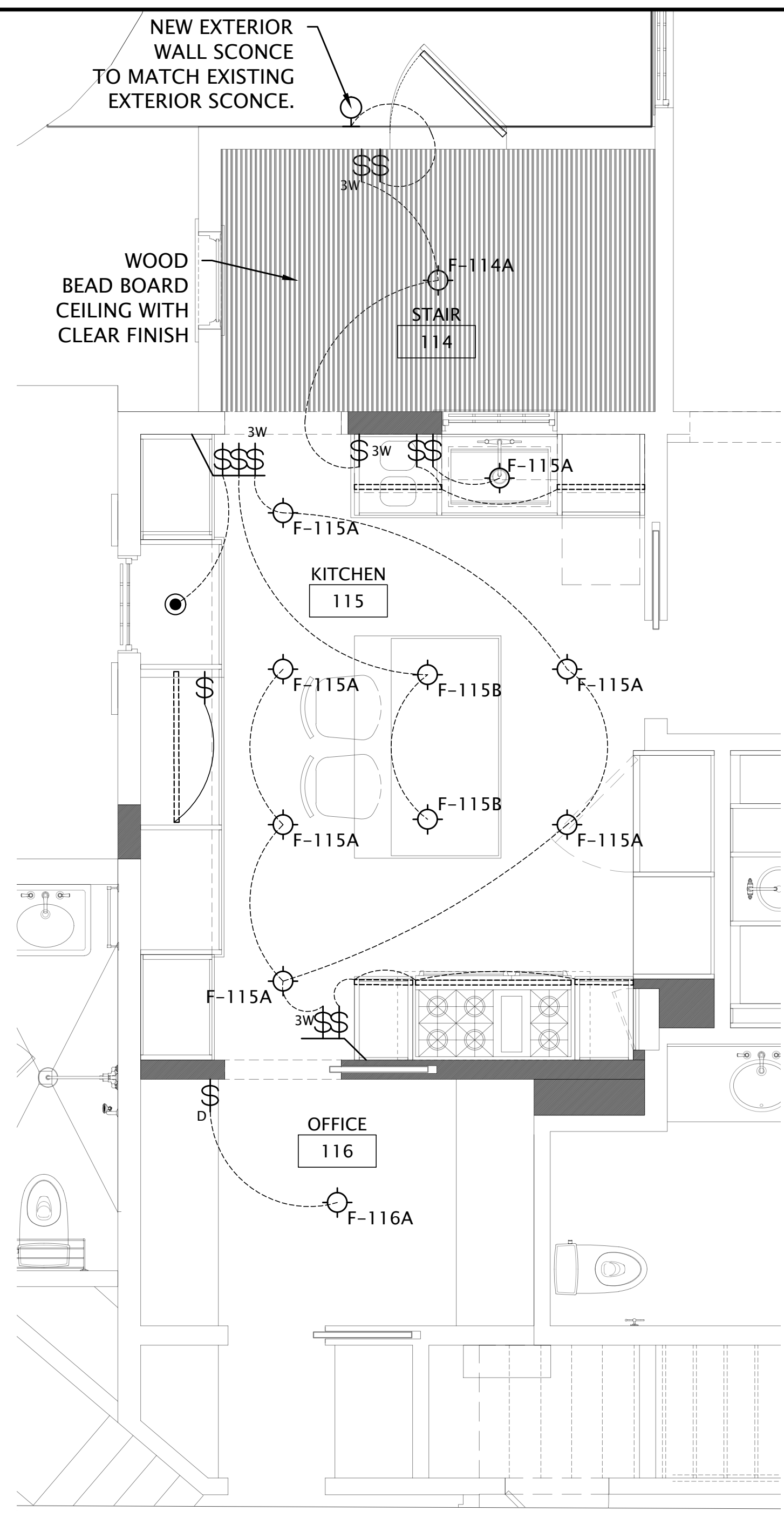
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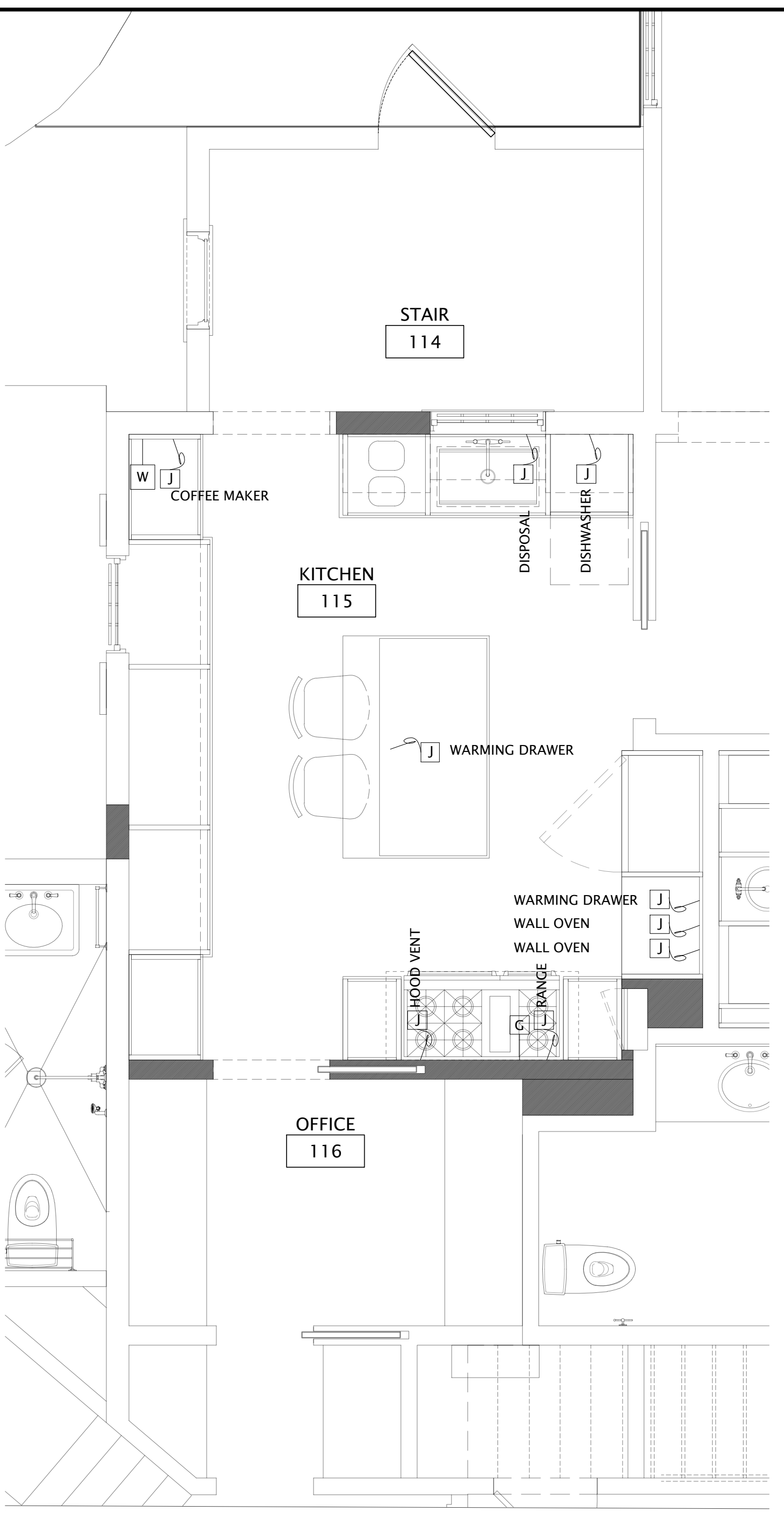
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1 ELECTRICAL PLAN
SCALE: 3/8" = 1'-0"



2 REFLECTED CEILING PLAN
SCALE: 3/8" = 1'-0"



3 HARDWIRED FIXTURE PLAN
SCALE: 3/8" = 1'-0"

ELECTRICAL NOTES

1. ALL INSTALLED SYSTEMS AND COMPONENTS SHALL COMPLY WITH THE BUILDING AND ELECTRICAL CODES IDENTIFIED ON THE COVER SHEET G1.0.
2. ALL BRANCH WIRING SHALL BE NO.12 AWG THW COPPER MINIMUM UNLESS OTHERWISE NOTED. ALL HOME RUNS OF 100 FEET AND LONGER SHALL BE NO.10 AWG THW COPPER MINIMUM.
3. COORDINATE WORK WITH OTHER TRADES AND INSTALL CONDUIT AND BOXES TO CLEAR PIPES, DUCTS, OPENINGS AND OTHER STRUCTURAL FEATURES.
4. RUN AS MUCH EXPOSED CONDUIT AS POSSIBLE PARALLEL TO STRUCTURE IN JOIST POCKETS; CONDUIT THAT IS PERPENDICULAR TO STRUCTURE TO RUN IN SOFFITS AS MUCH AS POSSIBLE.
5. ALL LIGHTING FIXTURES ARE TO BE LOCATED AS REQUIRED ON THE JOB TO CLEAR DUCTS, PIPING, EQUIPMENT AND/OR MECHANICAL EQUIPMENT; LIGHTS IN EXPOSED CEILING TO BE LOCATED IN JOIST POCKET.
6. WALL OUTLETS CENTERS AT 18" AFF UNLESS NOTED OTHERWISE; COUNTER OUTLET CENTERS AT 44" UNLESS NOTED OTHERWISE.
7. ALL ELECTRICAL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE PROJECT SPECIFICATION, AND ALL OTHER DRAWINGS RELATED TO THE PERFORMANCE OF THIS WORK.
8. REFER TO ARCHITECTURAL, STRUCTURAL AND MECHANICAL DRAWINGS PRIOR TO ROUGH-IN TO COORDINATE ELECTRICAL WORK SUCH AS PANELS, LIGHTING FIXTURES, OUTLETS, SWITCHES AND OTHER DEVICES IN ORDER TO AVOID FIELD CONFLICTS.
9. ALL MATERIALS AND EQUIPMENT USED ON THIS PROJECT SHALL BE NEW AND U.L. APPROVED. THE OWNER SHALL INSPECT AND ACCEPT ALL FIXTURES (INCLUDING SWITCHING DEVICES AND OUTLETS) AND ALL TRIM COMPONENTS FOR STYLE AND COLORS PRIOR TO INSTALLATION.
10. ALL WIRING SHALL BE INSTALLED IN CONDUIT OR AS INDICATED ON DRAWING.
11. VERIFY TYPE OF CEILING AND MOUNTING HARDWARE BEFORE ORDERING LIGHTING FIXTURE.
12. ELECTRICAL CONTRACTOR SHALL PROVIDE ALL PIPE/WIRE AS REQUIRED FOR A COMPLETE AND OPERATIONAL ELECTRICAL INSTALLATION. CONDUCTOR SHALL BE PROPERLY SIZED FOR VOLTAGE DROP. COLOR CODING SHALL BE USED AS PER APPLICABLE CODES.
13. 2015 MICHIGAN REHABILITATION CODE ALTERATION LEVEL 2. EMERGENCY LIGHTING - SCOPE OF WORK IS LESS THAN 50% OF FLOOR AREA, NO REQUIRED MODIFICATIONS. ELECTRICAL NEEDS TO CONFORM TO NATIONAL ELECTRICAL CODE 2017.

LIGHT FIXTURE SELECTIONS

- F-XXXX - REJUVENATION EASTMORELAND 4" FITTER SEMI-FLUSH FIXTURE. ITEM #A6916 BRUSHED NICKEL FINISH - SHADE 12" OPAL EASTMORELAND. - B0259-12in-OP-60W
- F-XXXB - REJUVENATION EASTMORELAND 6" FITTER MODERN SCHOOLHOUSE PENDANT. ITEM #A6911 BRUSHED NICKEL FINISH - SHADE 14" OPAL EASTMORELAND - B0262-14in-OP-150W - 24" STEM.
- F-XXXC - REJUVENATION EASTMORELAND 6" FITTER MODERN SCHOOLHOUSE PENDANT. ITEM #A6911 BRUSHED NICKEL FINISH - SHADE 14" OPAL EASTMORELAND - B0262-14in-OP-150w - 30" STEM

ELECTRICAL KEY

	DUPLEX OUTLET		J-BOX FOR HARDWARE INSTALL - SEE MANUF. DIRECTIONS.		RECESSED LIGHT (BEVELED)
	QUAD OUTLET		GFI GROUND FAULT INTERRUPT		RECESSED LIGHT W/WALL WASH (BEVELED)
	30 AMP OUTLET		WP WATER PROOF		SCONCE
	DATA OUTLET		GAS LINE		PUCK LIGHT
	TELEPHONE		SMOKE DETECTOR		CEILING MOUNTED LIGHT FIXTURE
	TELEPHONE & DATA		CARBON MONOXIDE DETECTOR/ALARM		1X4 FLUSH MOUNT LIGHT FIXTURE
	USB/USC OUTLET		FAN BOX		24" PENDANT MOUNT LIGHT FIXTURE
	SWITCH		WATER LINE		UNDER CABINET LINEAR LED LOW PROFILE LIGHT FIXTURE
	3-WAY SWITCH				SURFACE MOUNTED TRACK LIGHT FIXTURE
	DOOR BELL SWITCH				
	HEATING MAT CONTROL THERMOSTAT				
	DIGITAL DIMMER SWITCH				

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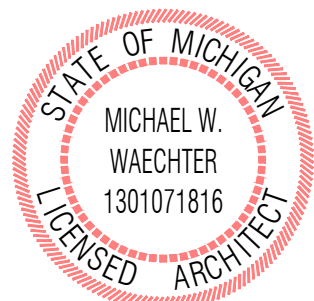
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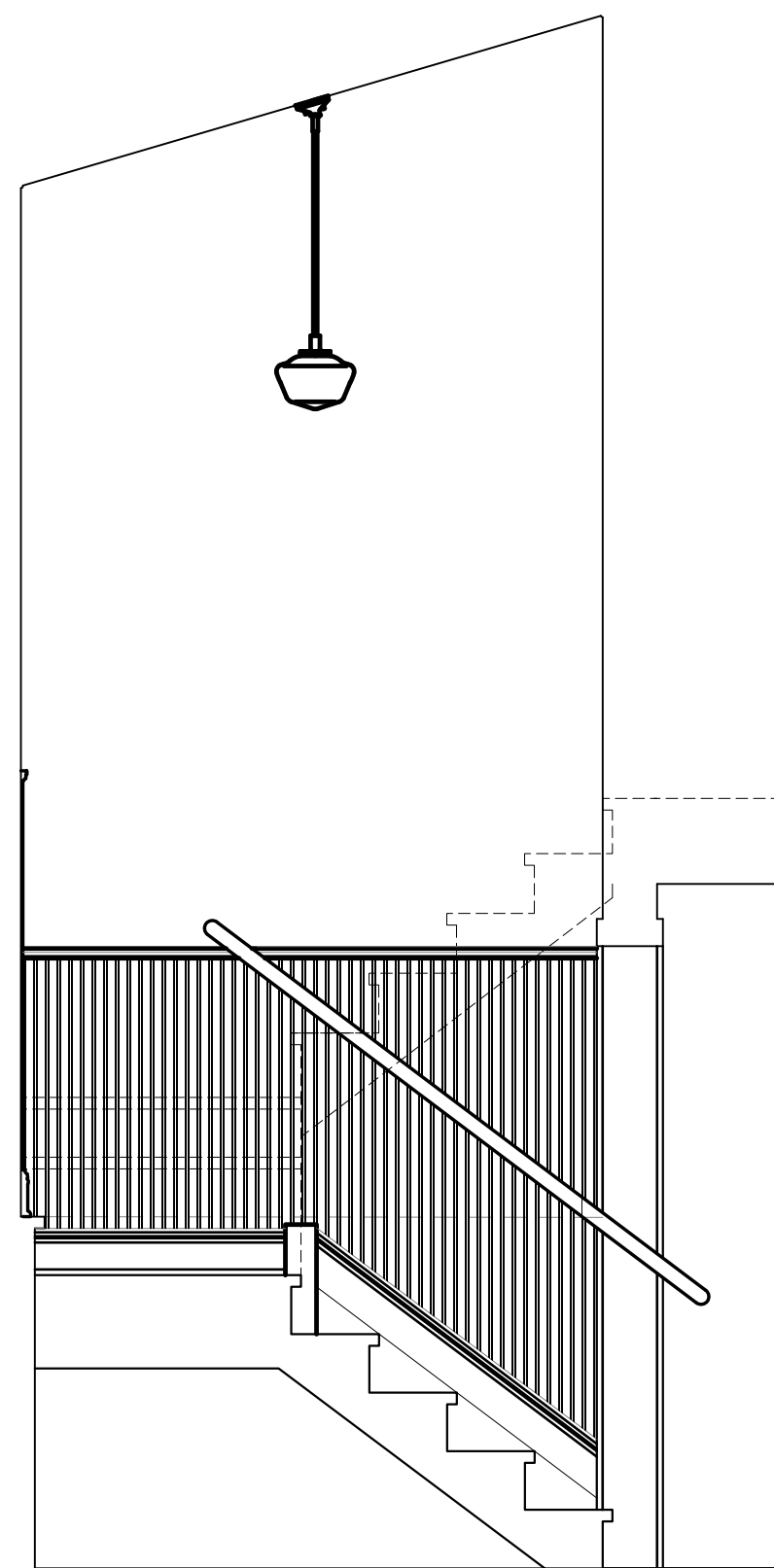
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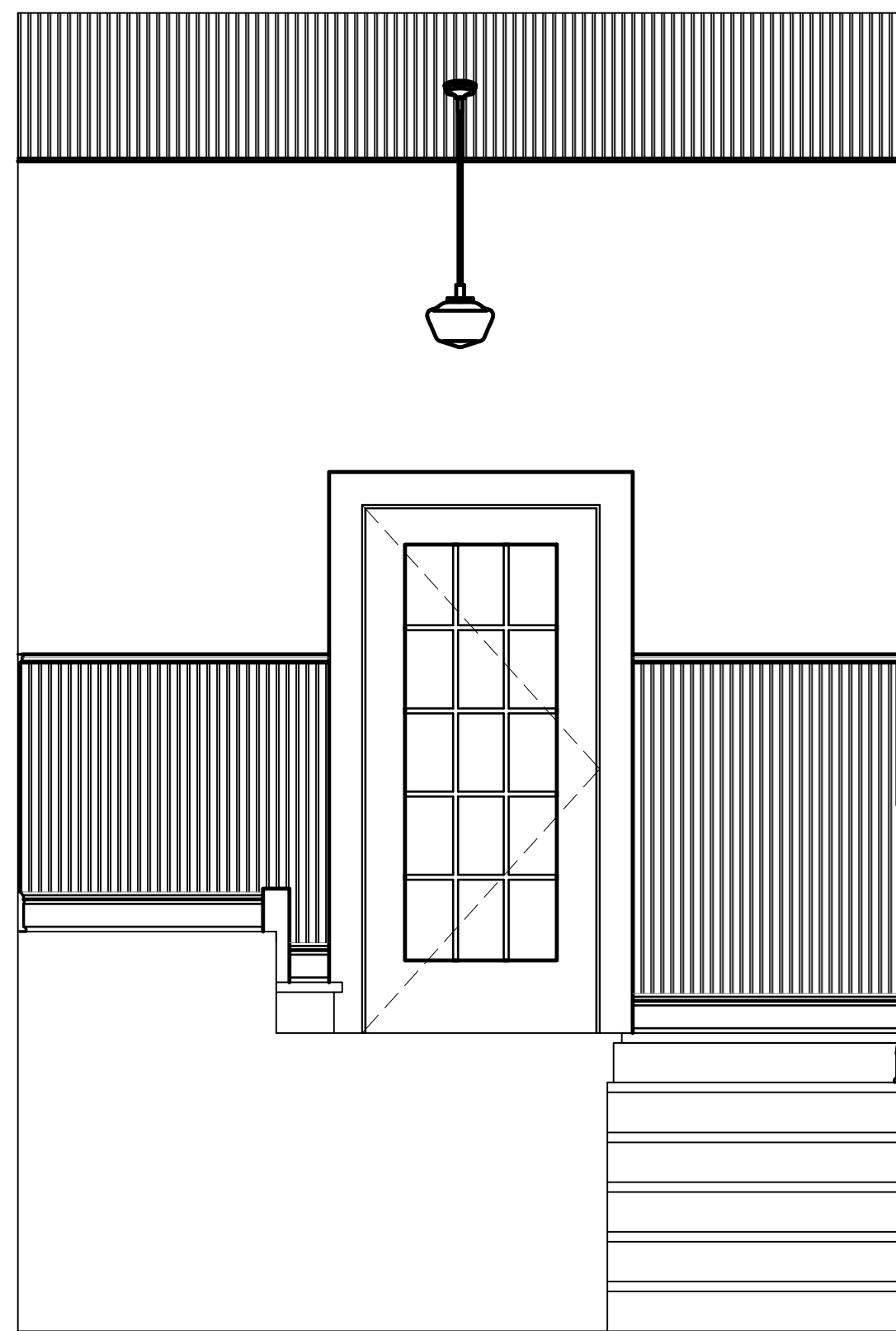
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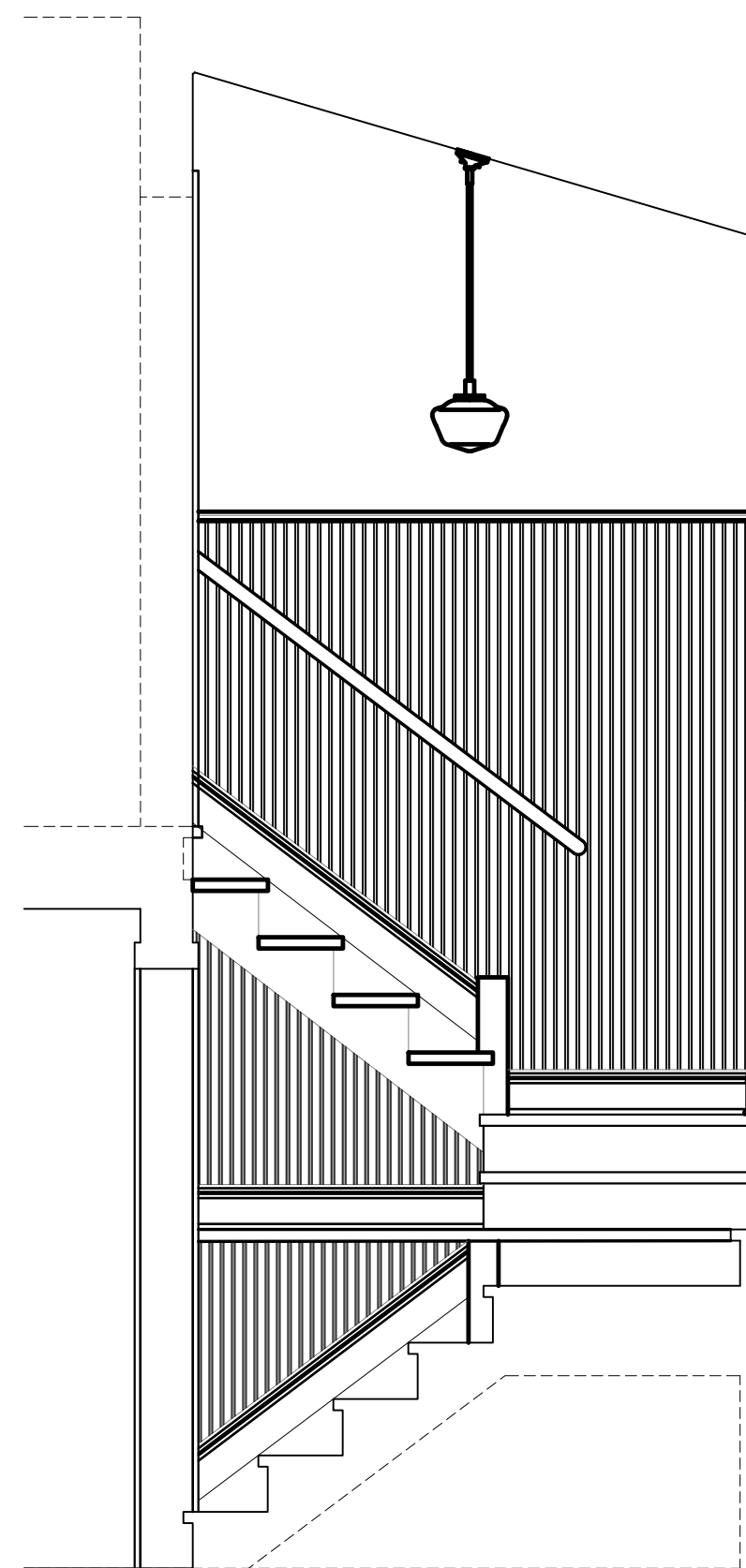
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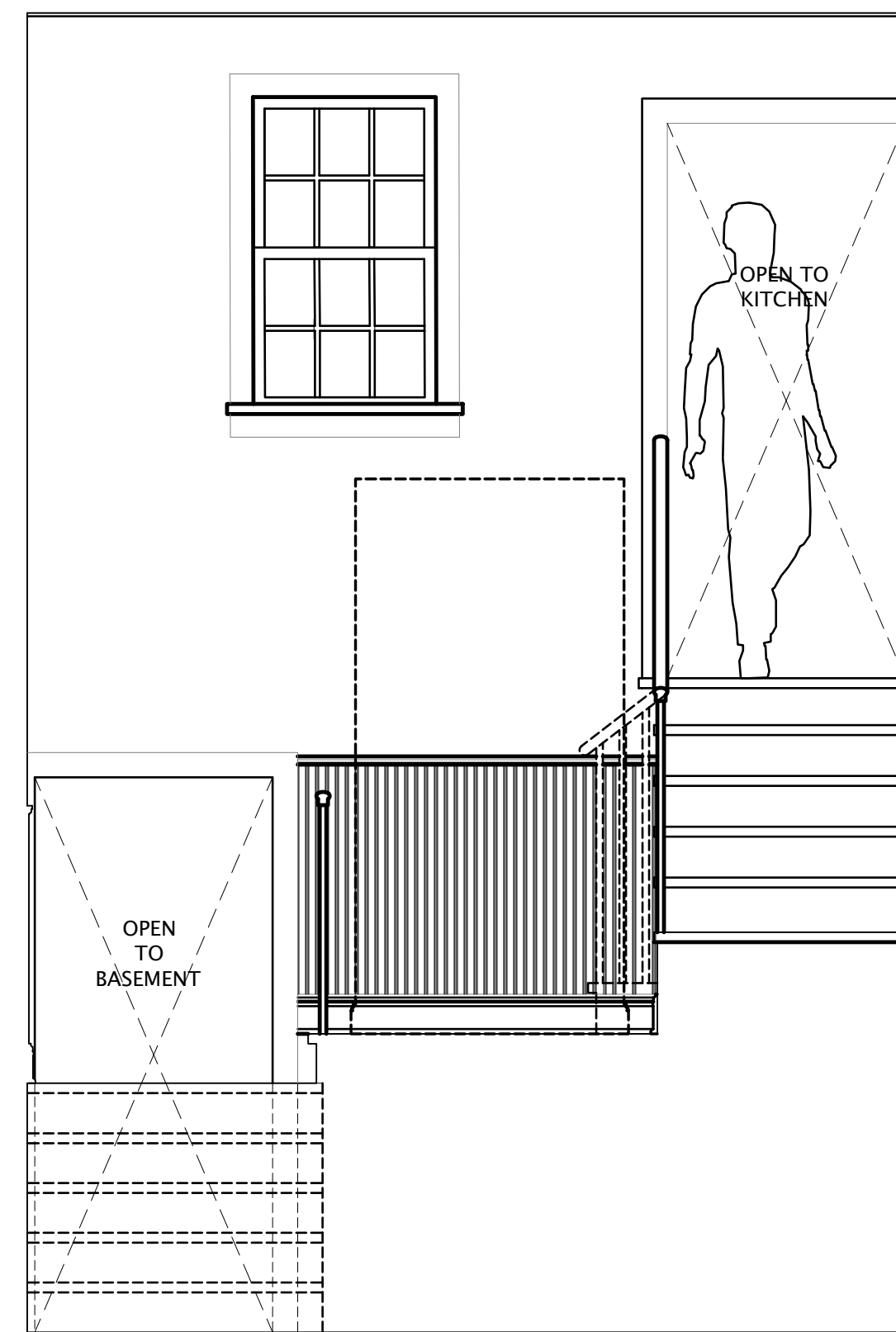
1 STAIRS 114 – NORTH ELEVATION
SCALE: 1/2" = 1'-0"



2 STAIRS 114 – EAST ELEVATION
SCALE: 1/2" = 1'-0"



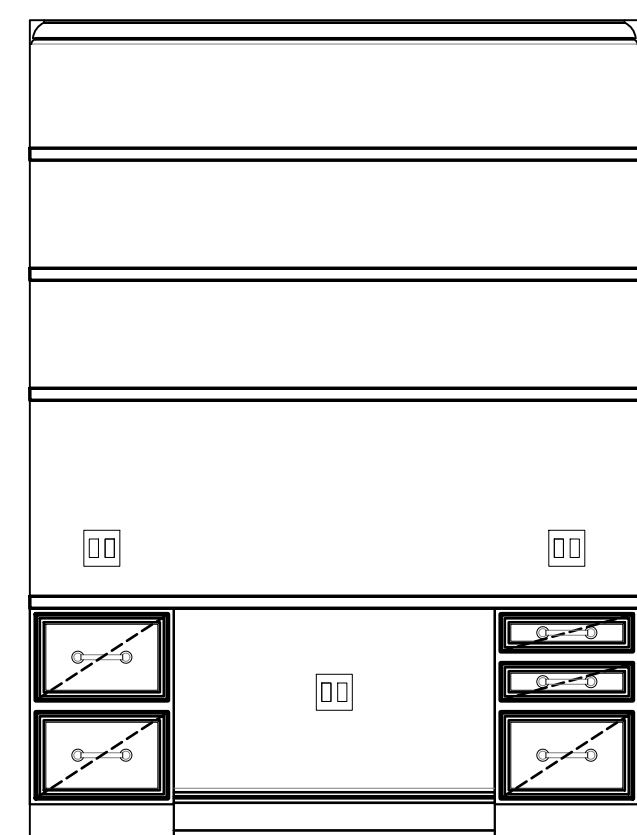
3 STAIRS 114 – SOUTH ELEVATION
SCALE: 1/2" = 1'-0"



4 STAIRS 114 – WEST ELEVATION
SCALE: 1/2" = 1'-0"



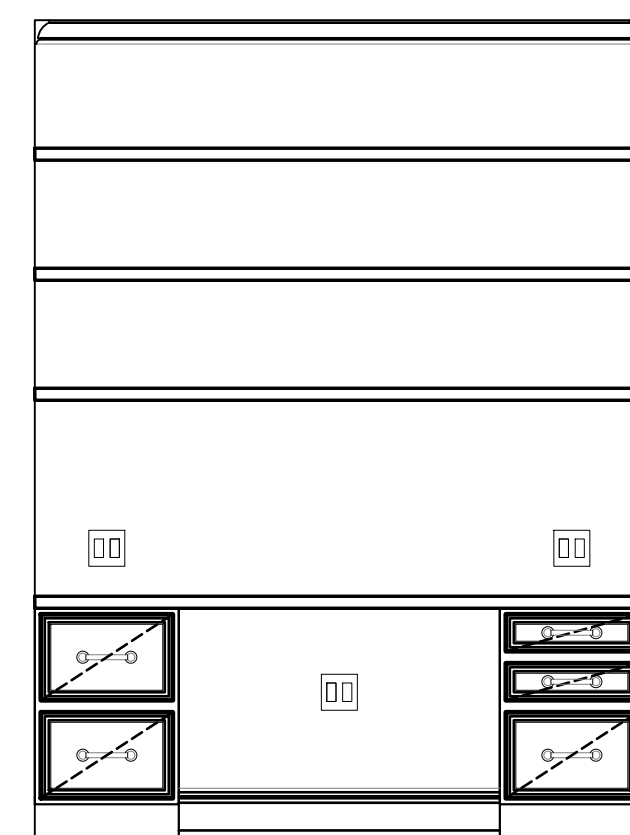
5 OFFICE 116 – NORTH ELEVATION
SCALE: 1/2" = 1'-0"



6 OFFICE 116 – EAST ELEVATION
SCALE: 1/2" = 1'-0"



7 OFFICE 116 – SOUTH ELEVATION
SCALE: 1/2" = 1'-0"



8 OFFICE 116 – WEST ELEVATION
SCALE: 1/2" = 1'-0"

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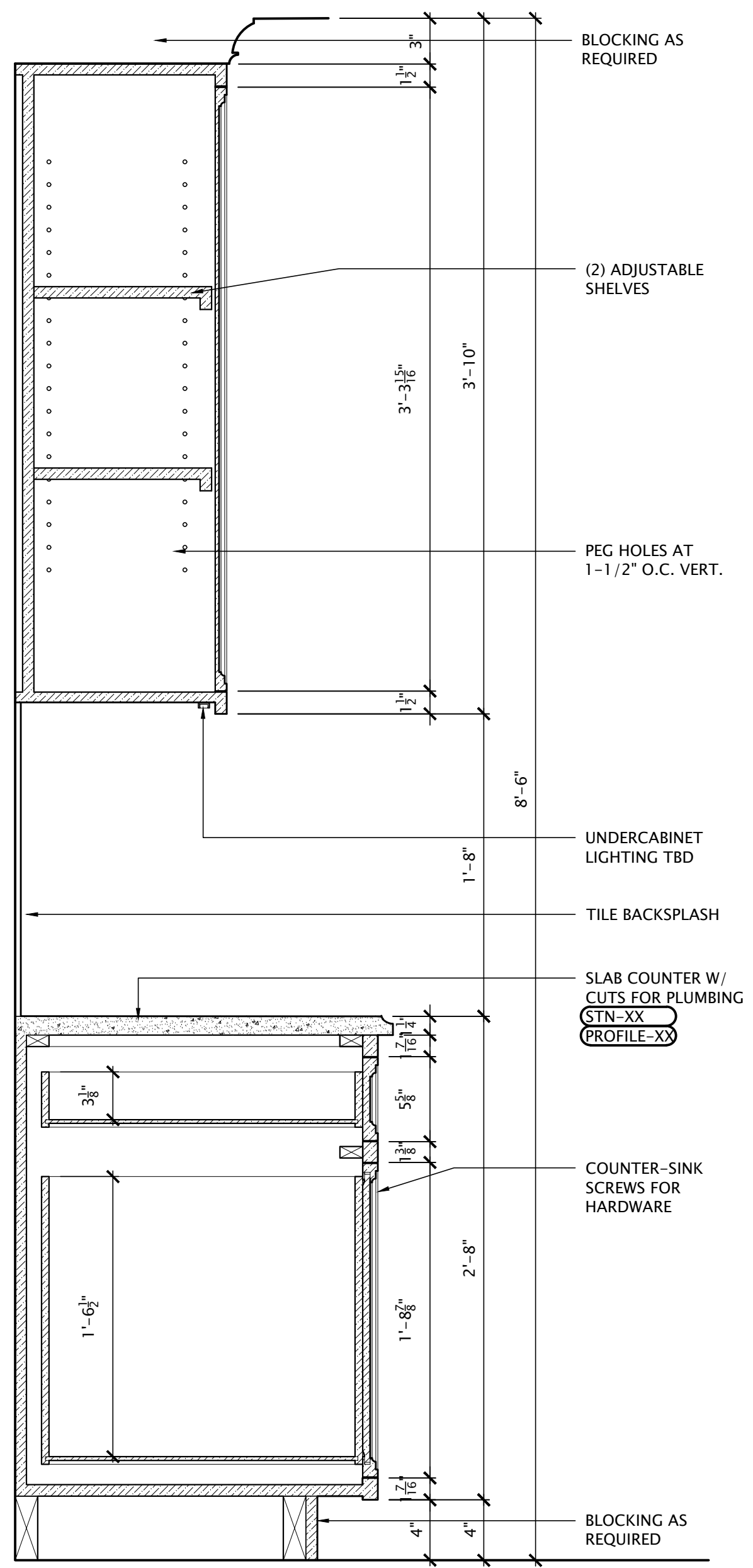
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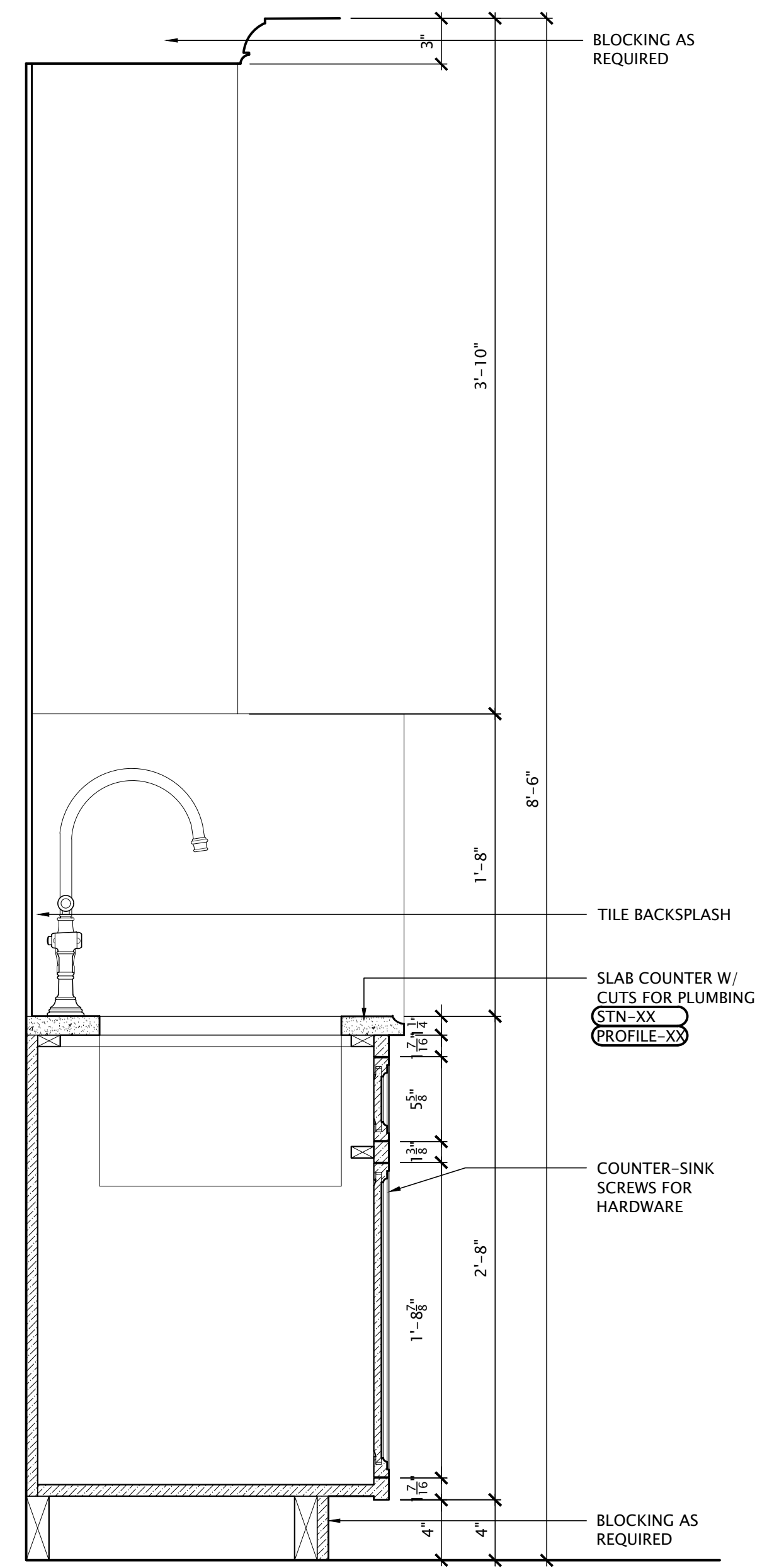
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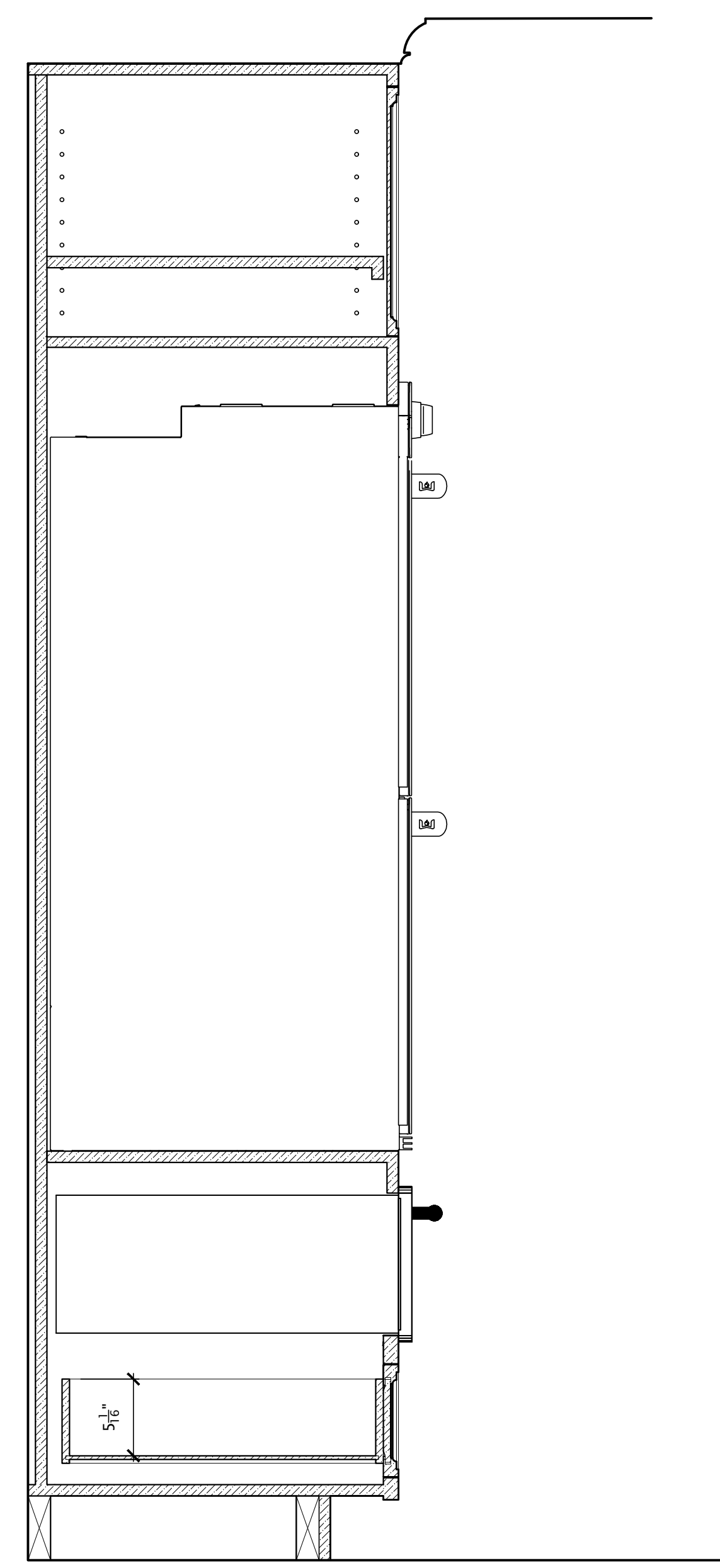




1 BASE AND OVERHEAD CABINET AT SINK SECTION
SCALE: 1 1/2" = 1'-0"



2 SINK AND OVERHEAD SHELVES SECTION
SCALE: 1 1/2" = 1'-0"



3 STACKED OVEN AND WARMING DRAWER SECTION
SCALE: 1 1/2" = 1'-0"

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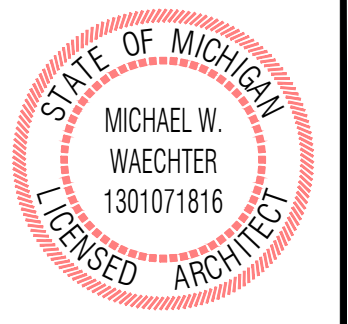
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facsimile: (312) 755-0404

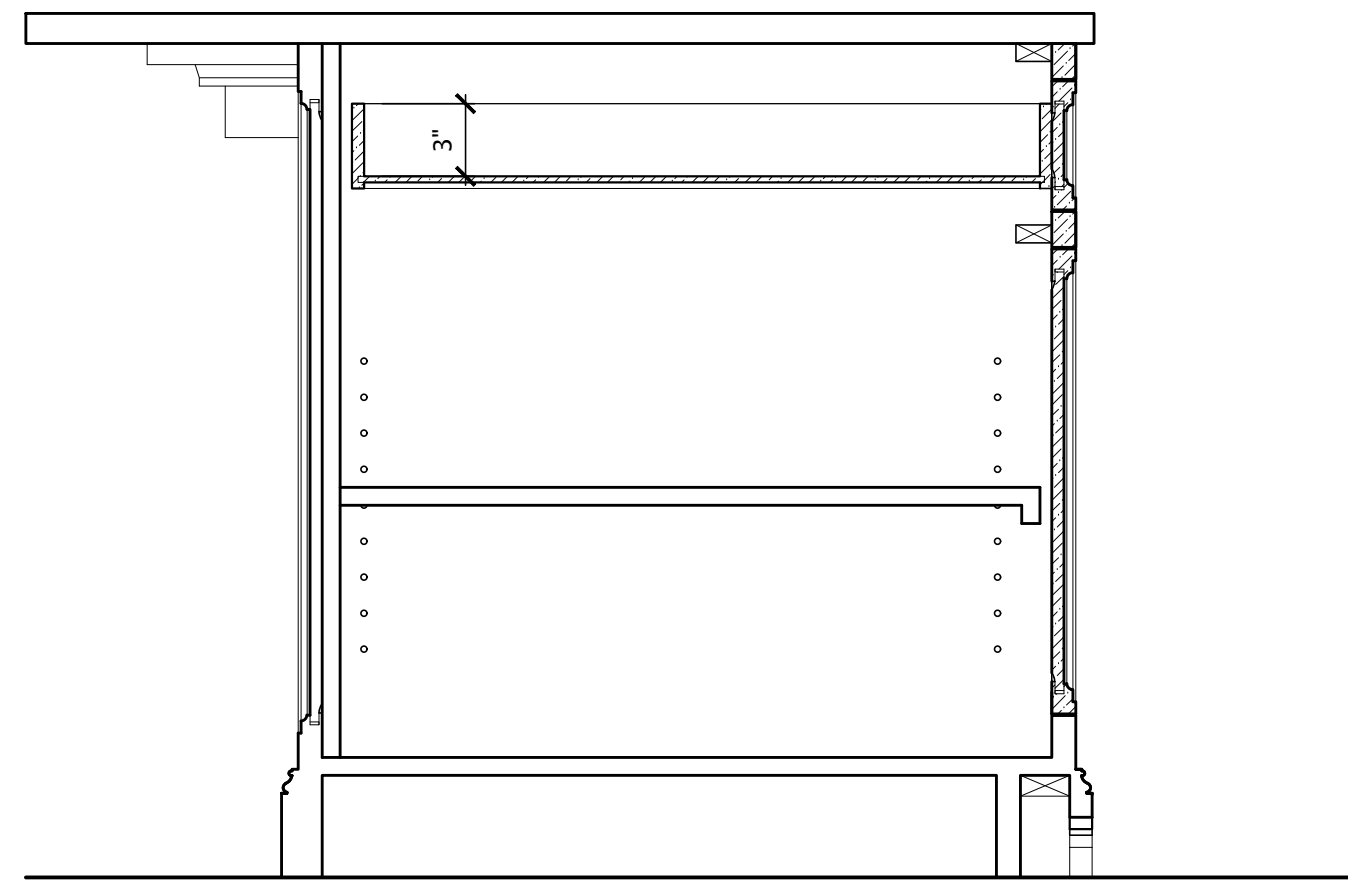
Permit Application # _____

DRAWING TITLE:
PROJECT NAME:
the Wickwood Inn
510 Butler St
Saugatuck, MI 49453
NOTE: CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.
DRAWING REPRESENTS DESIGN INTENT ONLY.

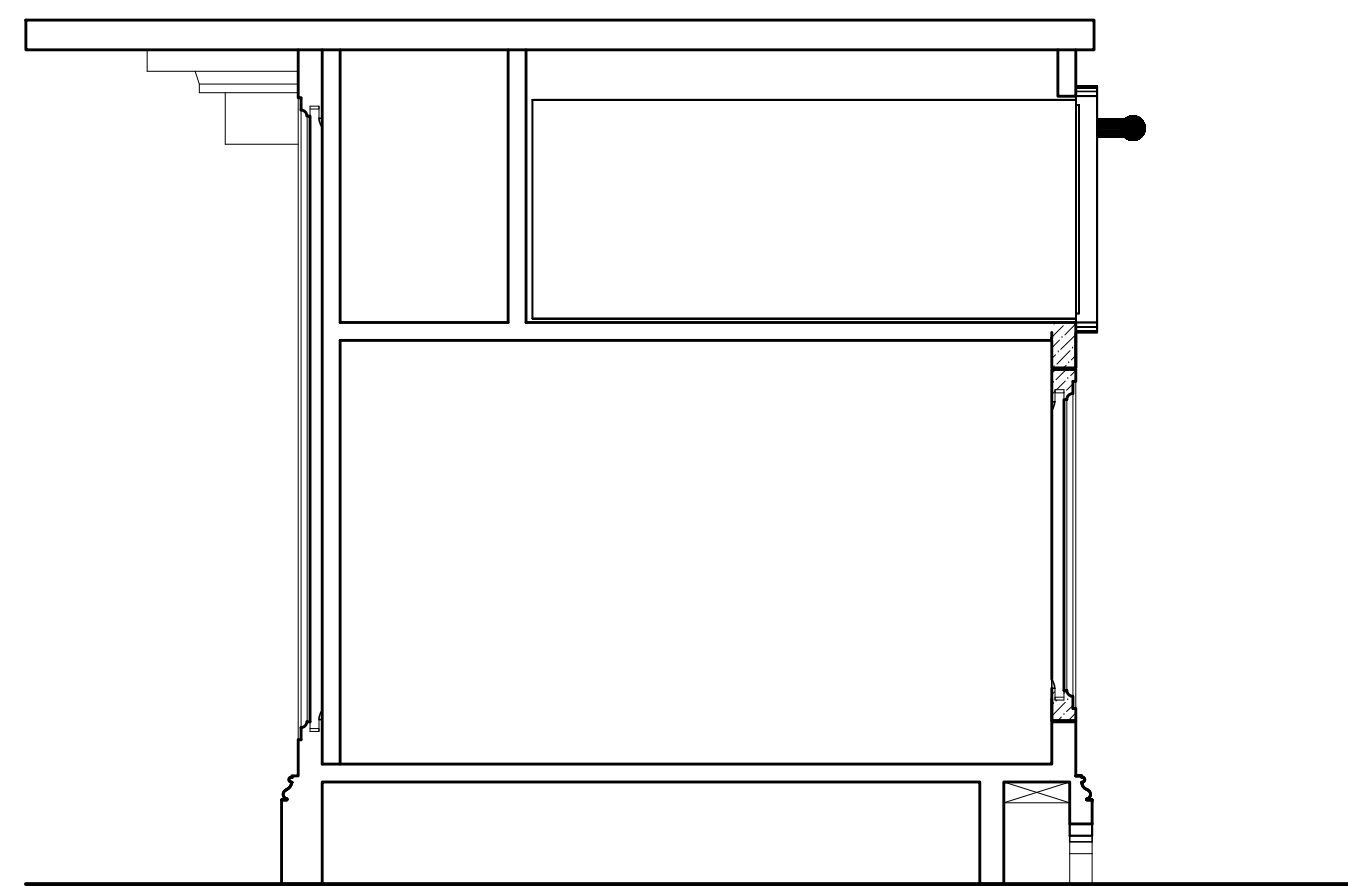
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No.	DATE:	DESCRIPTION:
1	01/18/2023	PERMIT REVIEW

DATE: 1/18/23
SHEET NUMBER:
ID-7.01

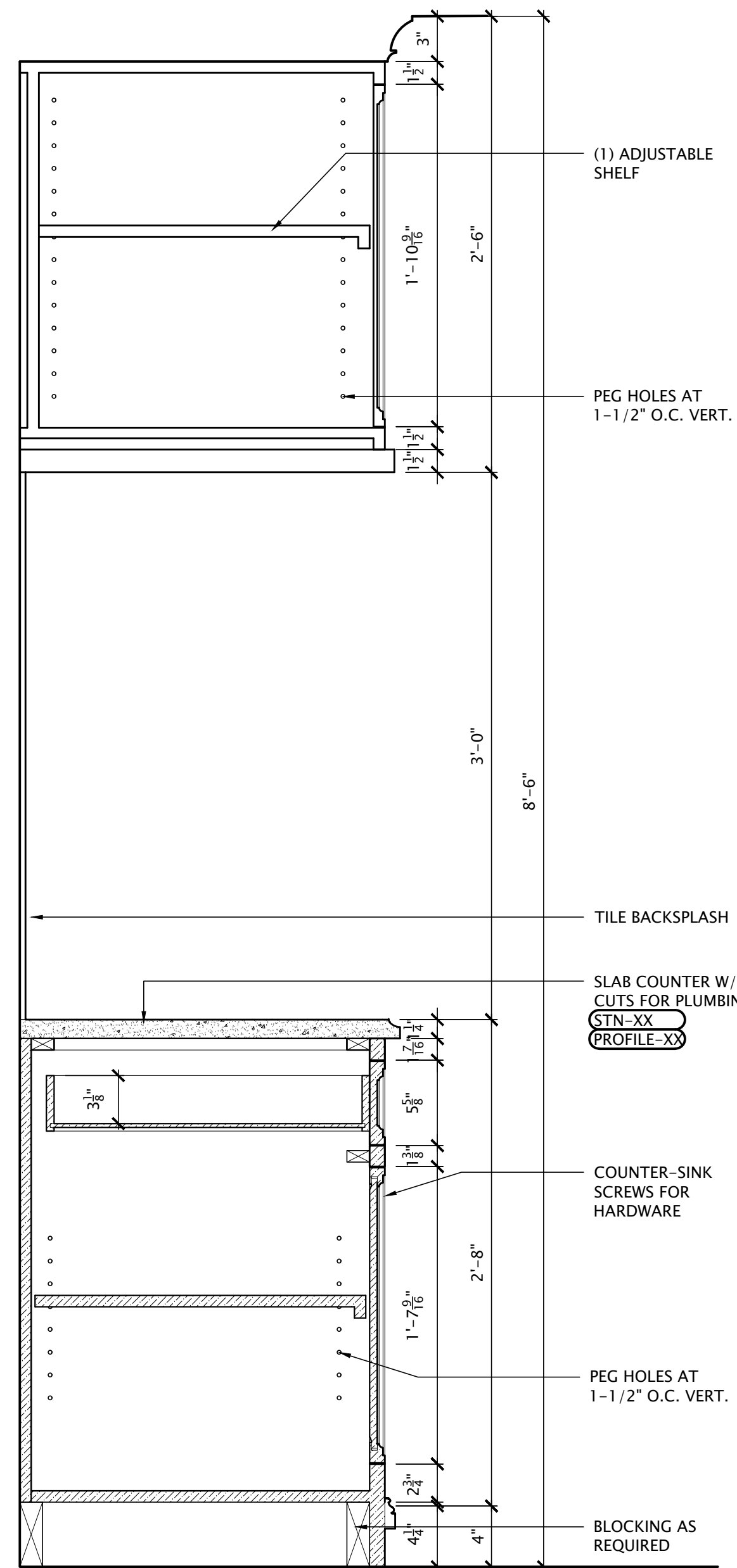




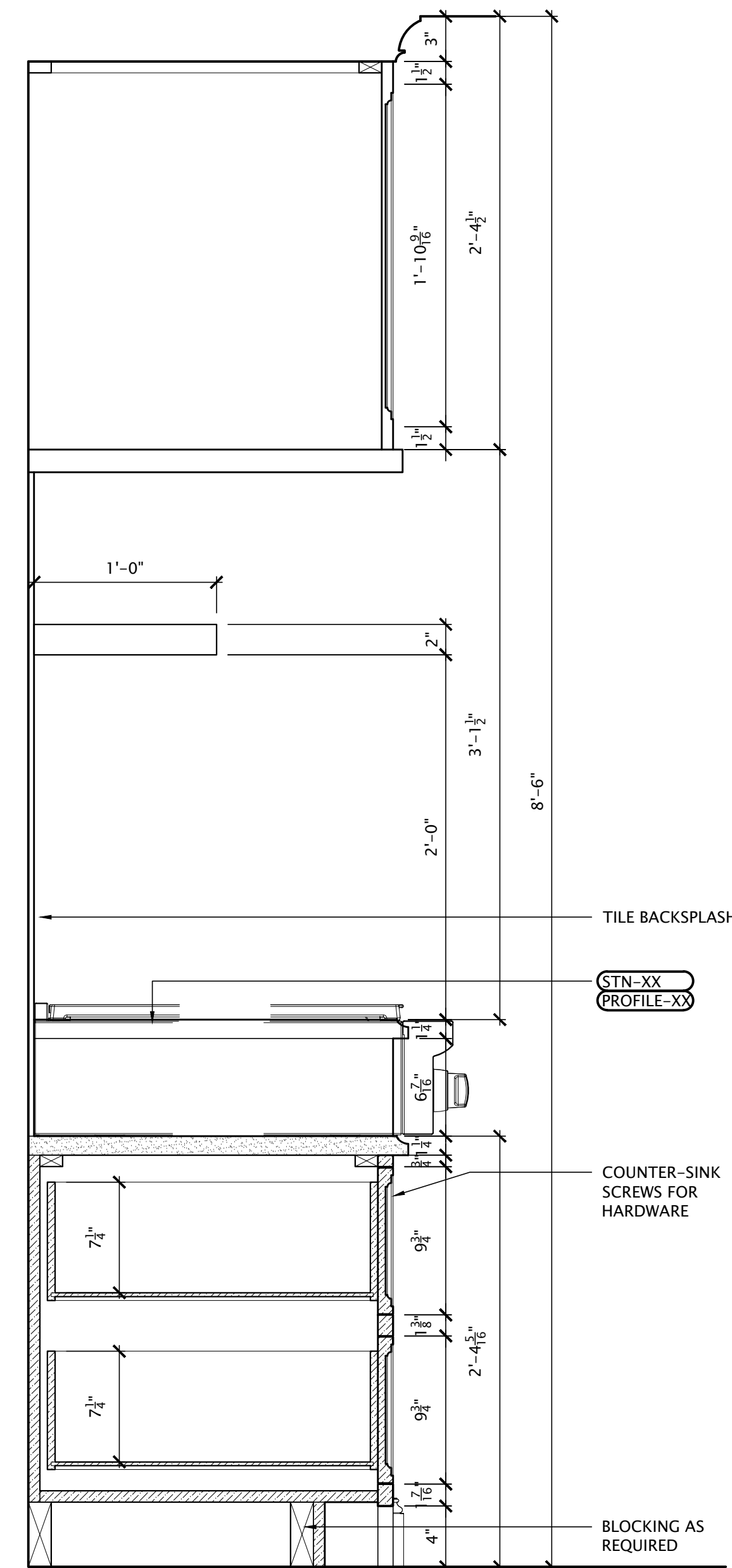
1 ISLAND DRAWER SECTION
SCALE: 1 1/2" = 1'-0"



2 WARMING DRAWER SECTION
SCALE: 1 1/2" = 1'-0"



3 BASE AND OVERHEAD CABINET AT RANGE COOK TOP SECTION
SCALE: 1 1/2" = 1'-0"



4 COOK TOP BASE CABINET SECTION
SCALE: 1 1/2" = 1'-0"

WAECHTER ARCHITECTS
4534 North Ravenswood Avenue
Chicago, Illinois 60640
p: 773 728 3920
www.w-a-r-c-h.com
Illinois Professional Design Firm #184-05495

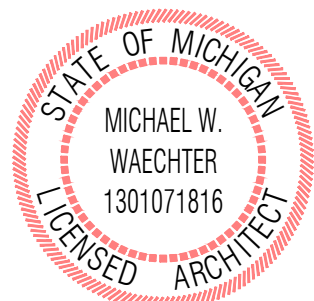
SOUCIE HORNER INTERIORS
ARCHITECTURAL INTERIORS
SOUCIE HORNER, LTD.
208 West Kinzie Street, 4th Floor
Chicago, Illinois 60654
telephone: (312) 755-0202
facsimile: (312) 755-0404

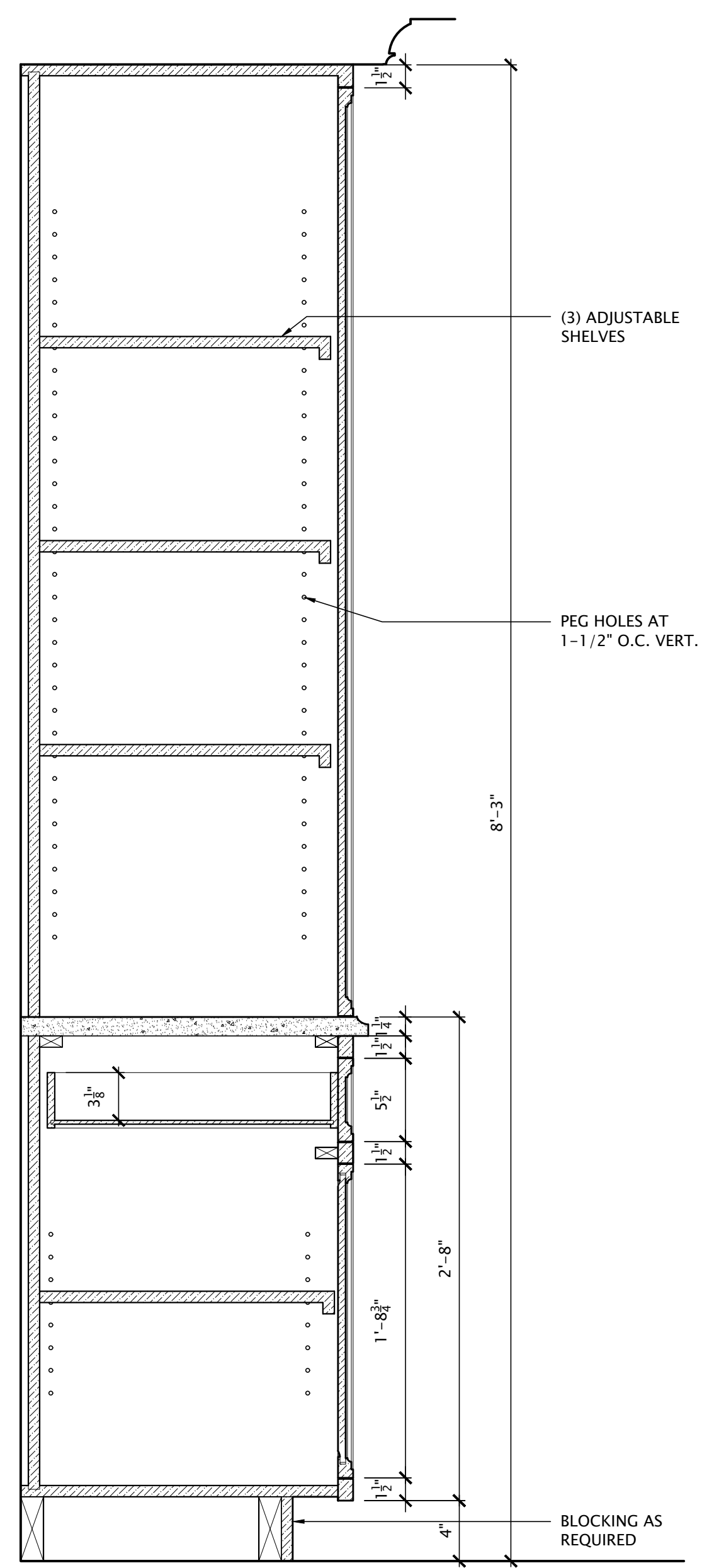
Permit Application # _____

DRAWING TITLE:
PROJECT NAME:
the Wickwood Inn
510 Butler St
Saugatuck, MI 49453
NOTE: CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.
DRAWING REPRESENTS DESIGN INTENT ONLY.

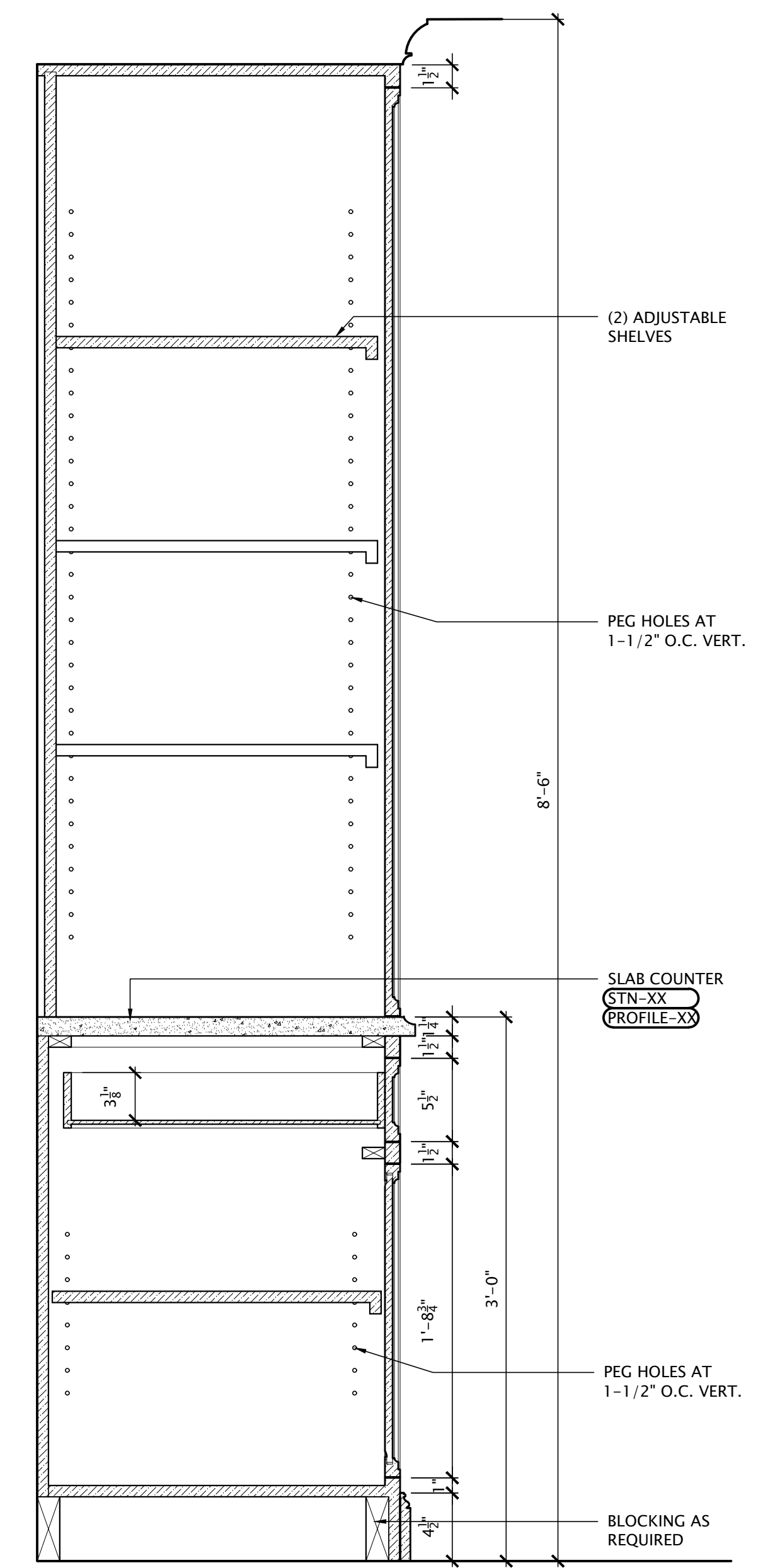
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No.	DATE:	DESCRIPTION:
1	01/18/2023	PERMIT REVIEW

DATE: 1/18/23
SHEET NUMBER:
ID-7.02

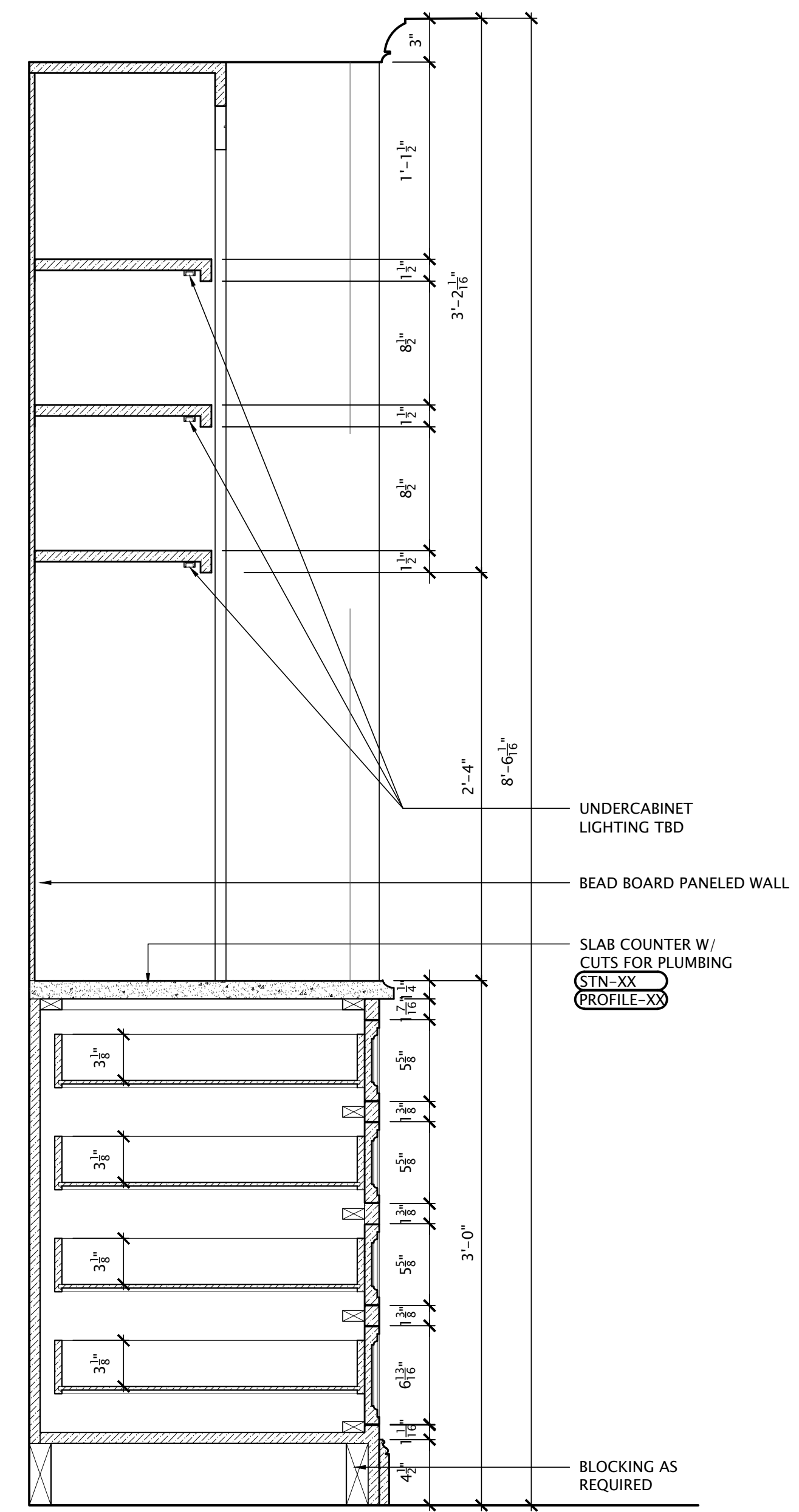




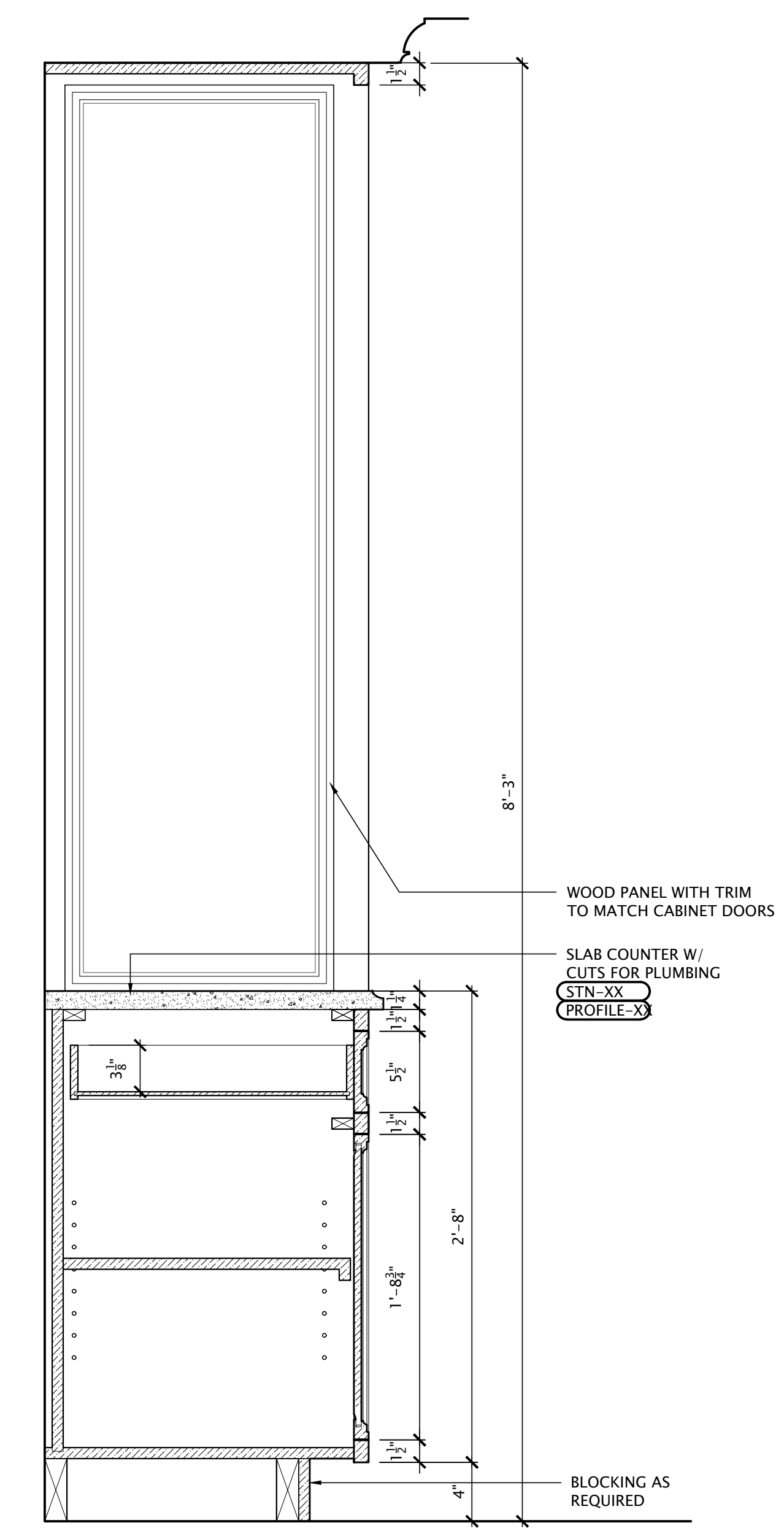
1 FULL HEIGHT CABINET SECTION
SCALE: 1 1/2" = 1'-0"



2 BASE AND OVERHEAD CABINET SECTION
SCALE: 1 1/2" = 1'-0"



3 BASE CABINET WITH DRAWERS AND OVERHEAD SHELVES SECTION
SCALE: 1 1/2" = 1'-0"



4 BASE CABINET AT WINDOW SECTION
SCALE: 1 1/2" = 1'-0"

WAECHTER ARCHITECTS
4534 North Ravenswood Avenue
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www.w-a-e-c-h.com
Illinois Professional Design Firm #184-005495

SOUCIE HORNER INTERIORS
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Chicago, Illinois 60654
telephone: (312) 755-0202
facsimile: (312) 755-0404

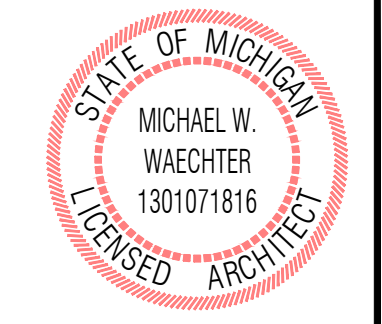
Permit Application # _____

DRAWING TITLE:
PROJECT NAME:
the Wickwood Inn
510 Butler St
Saugatuck, MI 49453
NOTE: CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.
DRAWING REPRESENTS DESIGN INTENT ONLY.

ISSUES AND REVISIONS:

No.	DATE:	DESCRIPTION:
1	01/18/2023	PERMIT REVIEW

DATE: 1/18/23
SHEET NUMBER:
ID-7.03



SOUCIE HORNER INTERIORS

Wickwood Inn
510 Butler Street
Saugatuck, MI 49453

ISSUE FOR MUNICIPAL ZONING REVIEW

1.26.2023

Dear Ryan,

Included in this package are the requested documents for zoning and historic review. All specifications included in this package are specified to match existing

Page A3.0 is included as well to incorporate exterior photos to the drawing set

Sincerely,
Michael Waechter

SOUCIE HORNER INTERIORS

Wickwood Inn
510 Butler Street
Saugatuck, MI 49453

INDEX

1. Specifications
 - a. Doors
 - b. Windows
 - c. Roofing
 - d. Siding
 - e. Gutters


SPECIFICATIONS: DOORS


Full Lites

Traditions Steel

Privacy & Textured Glass with Divided Lites





TS128 
2'8" x 6'8"
2'10" x 6'8" ▲
3'0" x 6'8"

TS108 
2'8" x 6'8"
2'10" x 6'8" ▲
3'0" x 6'8"

Privacy & Textured Glass





TS118 
2'8" x 6'8"
2'10" x 6'8" ▲
3'0" x 6'8"

818 
2'6" x 8'0"
2'10" x 8'0"
3'0" x 8'0"

Internal Blinds



TS130 
2'4" x 6'8" ▲
2'6" x 6'8"
2'8" x 6'8"
2'10" x 6'8" ▲
3'0" x 6'8"

829 
2'6" x 8'0"
2'8" x 8'0"
2'10" x 8'0"
3'0" x 8'0"


Clear Glass with Divided Lites

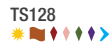


TS1201 
2'6" x 6'8"
2'8" x 6'8"
2'10" x 6'8" ▲
3'0" x 6'8"

TS1202 
2'6" x 6'8"
2'8" x 6'8"
2'10" x 6'8" ▲
3'0" x 6'8"



TS1203 
2'6" x 6'8"
2'8" x 6'8"
2'10" x 6'8" ▲
3'0" x 6'8"

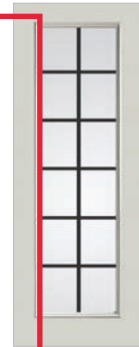
TS128 
2'6" x 6'8"
2'8" x 6'8"
2'10" x 6'8" ▲
3'0" x 6'8"



TS1200 
2'6" x 6'8"
2'8" x 6'8"
2'10" x 6'8" ▲
3'0" x 6'8"



TS108 
2'6" x 6'8"
2'8" x 6'8"
2'10" x 6'8" ▲
3'0" x 6'8"



828 
2'6" x 8'0"
2'8" x 8'0"
2'10" x 8'0"
3'0" x 8'0"




808 
2'6" x 8'0"
2'8" x 8'0"
2'10" x 8'0"
3'0" x 8'0"




TS198 
2'6" x 6'8"
2'8" x 6'8"
2'10" x 6'8" ▲
3'0" x 6'8"

Clear Glass



TS118 
2'0" x 6'8" ▼
2'4" x 6'8" ▲
2'6" x 6'8"
2'8" x 6'8"
2'10" x 6'8" ▲
3'0" x 6'8"

818 
2'0" x 8'0" ▼
2'4" x 8'0"
2'6" x 8'0"
2'8" x 8'0"
2'10" x 8'0"
3'0" x 8'0"



Privacy & Textured Glass Options

Add the code to the blank in the style number for the desired door and glass combination. For details on glass options, see page 216.

XK = **NEW** Reeded
XG = Geometric

XE = Satin Etch
XC = Chord

XJ = Chinchilla
XR = Rainglass

XN = Granite

*Features a gliding operation and sash locking system.

**Not recommended for use behind storm doors or to be painted dark colors, if exposed to direct sunlight.

Note: See page 293 for important product details that may help with your purchase decision.

Bottom: Traditions, Clear Glass, Door – TS118, Sidelites – 100SL

1/2 Lites

Privacy & Textured Glass with Divided Lites



- | | |
|--|---|
| TS262_
* 6
2'8" x 6'8"
2'10" x 6'8"
3'0" x 6'8" | 8321_
* 6
2'8" x 8'0"
2'10" x 8'0"
3'0" x 8'0" |
|--|---|

Privacy & Textured Glass



- | | | |
|--|---|--|
| TS206_
* 6
2'8" x 6'8"
2'10" x 6'8"
3'0" x 6'8" | 8206_
* 6
2'8" x 8'0"
2'10" x 8'0"
3'0" x 8'0" | TS104_
* 6 E
2'8" x 6'8"
2'10" x 6'8" Δ
3'0" x 6'8" |
|--|---|--|

Internal Blinds



- | | | |
|--|--|--|
| TS132
* 6
2'6" x 6'8"
2'8" x 6'8"
2'10" x 6'8"
3'0" x 6'8" | 8132
* 6
2'8" x 8'0"
2'10" x 8'0"
3'0" x 8'0" | TS131
* 6 E
2'6" x 6'8"
2'8" x 6'8"
2'10" x 6'8" Δ
3'0" x 6'8" |
|--|--|--|

Screen Vented Lites*



- | | |
|--|---|
| TS243
2'8" x 6'8"
2'10" x 6'8"
3'0" x 6'8" | TS137
E
2'8" x 6'8"
2'10" x 6'8" Δ
3'0" x 6'8" |
|--|---|

Clear Glass with Divided Lites



- | | | | | |
|--|--|--|--|--|
| 8322
* 6
2'8" x 8'0"
2'10" x 8'0"
3'0" x 8'0" | 8323
* 6
2'8" x 8'0"
2'10" x 8'0"
3'0" x 8'0" | 8324
* 6
2'8" x 8'0"
2'10" x 8'0"
3'0" x 8'0" | TS262
* 6
2'6" x 6'8"
2'8" x 6'8"
2'10" x 6'8"
3'0" x 6'8" | 8321
* 6
2'8" x 8'0"
2'10" x 8'0"
3'0" x 8'0" |
|--|--|--|--|--|

Clear Glass



- | | | |
|---|--|--|
| TS1408
* 6
2'6" x 6'8"
2'8" x 6'8"
2'10" x 6'8"
3'0" x 6'8" | 8145
* 6
2'8" x 8'0"
2'10" x 8'0"
3'0" x 8'0" | TS115
* 6 E
2'6" x 6'8"
2'8" x 6'8"
2'10" x 6'8" Δ
3'0" x 6'8" |
|---|--|--|



- | | | | |
|--|--|--|--|
| TS206
* 6
2'6" x 6'8"
2'8" x 6'8"
2'10" x 6'8"
3'0" x 6'8" | 8206
* 6
2'8" x 8'0"
2'10" x 8'0"
3'0" x 8'0" | TS104
* 6 E
2'6" x 6'8"
2'8" x 6'8"
2'10" x 6'8" Δ
3'0" x 6'8" | TS105
* 6 E
2'6" x 6'8"
2'8" x 6'8"
2'10" x 6'8" Δ
3'0" x 6'8" |
|--|--|--|--|

Key

- | | | | | | | | | | | | | |
|------------------|--------------|-------------------------------|--|---|---|--|-----------------------------|---------------------|---------------------|----------------------------------|-----------------------|---------------------|
| Low-E Glass (LE) | Turtle Glass | Simulated Divided Lites (SDL) | Flat or Contour, White Grilles Between Glass (GBGF / GBGC) | Flat or Contour, Bronze Grilles Between Glass (GBGF / GBGC) | Flat or Contour, Almond Grilles Between Glass (GBGF / GBGC) | NEW Flat or Contour, Black Grilles Between Glass (GBGF / GBGC) | Removable Wood Grilles (RG) | Fixed Grilles (FXG) | WBDR / HVHZ Options | Elevated 10" Bottom Rail Options | 6'6" Height Available | PVC Upright Frame** |
|------------------|--------------|-------------------------------|--|---|---|--|-----------------------------|---------------------|---------------------|----------------------------------|-----------------------|---------------------|

SPECIFICATIONS: WINDOWS

400 SERIES



THE WINDOWS
CONTRACTORS
TRUST THE MOST.*

*2020 Andersen brand survey of U.S. contractors.

TILT-WASH DOUBLE-HUNG FULL-FRAME WINDOWS

Table of Tilt-Wash Double-Hung Window Sizes

Scale 1/8" (3) = 1'-0" (305) – 1:96

Window Dimension	1'-9 5/8"	2'-1 5/8"	2'-5 5/8"	2'-7 5/8"	2'-9 5/8"	2'-11 5/8"	3'-1 5/8"	3'-5 5/8"	3'-9 5/8"
	(549)	(651)	(752)	(803)	(854)	(905)	(956)	(1057)	(1159)
Minimum Rough Opening	1'-10 1/8"	2'-2 1/8"	2'-6 1/8"	2'-8 1/8"	2'-10 1/8"	3'-0 1/8"	3'-2 1/8"	3'-6 1/8"	3'-10 1/8"
	(562)	(664)	(765)	(816)	(867)	(917)	(968)	(1070)	(1172)
Unobstructed Glass (lower sash only)	15"	19"	23"	25"	27"	29"	31"	35"	39"
	(381)	(483)	(584)	(635)	(686)	(737)	(787)	(889)	(991)



Custom-size windows are available in 1/8" (3) increments. See page 84 for custom sizing.

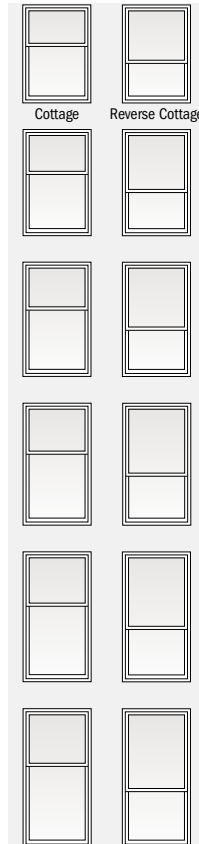
Grille patterns shown on page 85.

Cottage or reverse cottage sash ratio available for heights shown below in all widths.

CUSTOM WIDTHS – 21 5/8" to 45 5/8"

CUSTOM HEIGHTS – 48 1/8" to 76 1/8"

Window Dimension	CUSTOM WIDTHS – 21 5/8" to 45 5/8"									
	21 5/8"	24 1/8"	26 5/8"	29 1/8"	31 5/8"	34 1/8"	36 5/8"	39 1/8"	41 5/8"	45 5/8"
3'-0 7/8"	TW18210	TW20210	TW24210	TW26210	TW28210	TW210210	TW30210	TW34210	TW38210	
3'-4 7/8"	TW18212	TW20212	TW24212	TW26212	TW28212	TW210212	TW30212	TW34212	TW38212	
3'-8 7/8"	TW1836	TW2036	TW2436	TW2636	TW2836	TW21036	TW3036	TW3436	TW3836	
4'-0 7/8"	TW18310	TW20310	TW24310	TW26310	TW28310	TW210310	TW30310	TW34310	TW38310	
4'-4 7/8"	TW1842	TW2042	TW2442	TW2642	TW2842	TW21042	TW3042	TW3442	TW3842	
4'-8 7/8"	TW1846	TW2046	TW2446	TW2646	TW2846	TW21046	TW3046 ^o	TW3446 ^o	TW3846 ^o	
5'-0 7/8"	TW18410	TW20410	TW24410	TW26410	TW28410	TW210410 ^o	TW30410 ^o	TW34410 ^o	TW38410 ^o	
5'-4 7/8"	TW1852	TW2052	TW2452	TW2652	TW2852 ^o	TW21052 ^o	TW3052 ^o	TW3452 ^o	TW3852 ^o	
5'-8 7/8"	TW1856	TW2056	TW2456	TW2656 ^o	TW2856 ^o	TW21056 ^o	TW3056 ^o	TW3456 ^o	TW3856 ^o	
6'-0 7/8"	TW18510	TW20510	TW24510 ^o	TW26510 ^o	TW28510 ^o	TW210510 ^o	TW30510 ^o	TW34510 ^o	TW38510 ^o	
6'-4 7/8"	TW1862	TW2062	TW2462 ^o	TW2662 ^o	TW2862 ^o	TW21062 ^o	TW3062 ^o	TW3462 ^o	TW3862 ^o	



Size tables for windows with cottage or reverse cottage sash are available at andersenwindows.com/sizing.

- * "Window Dimension" always refers to outside frame-to-frame dimension.
- * "Minimum Rough Opening" dimensions may need to be increased to allow for use of building wraps, flashing, sill panning, brackets, fasteners or other items. See pages 210-211 for more details.
- * Dimensions in parentheses are in millimeters.
- ^o Meet or exceed clear opening area of 5.7 sq. ft. or 0.53 m², clear opening width of 20" (508) and clear opening height of 24" (610). See tables on pages 82-83.

continued on next page

SPECIFICATIONS: ROOFING



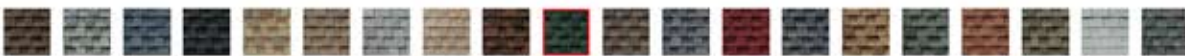
We protect what matters most™

Timberline HDZ® Shingles

The look people love, now with LayerLock® Technology and the StainGuard Plus™ Algae Protection Limited Warranty¹



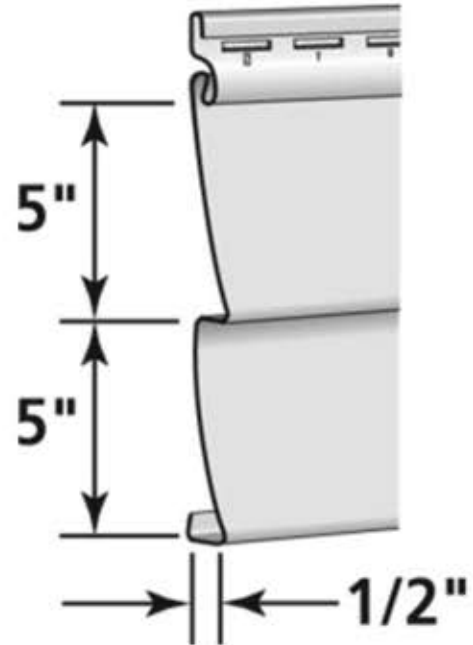
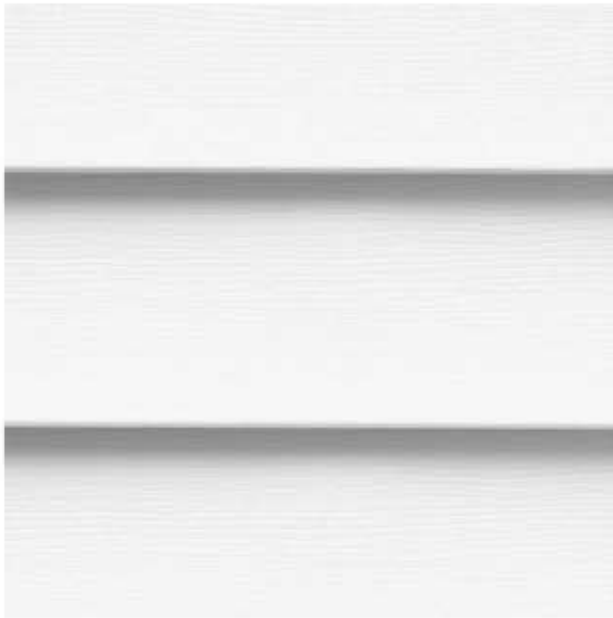
Color/Finish: **Hunter Green**



SPECIFICATIONS: SIDING

MainStreet™ Double 5" x 12' Colonial White Vinyl Siding

Model Number: 3912201



Description & Documents

MainStreet™ siding offers value with the benefits of a premium panel. It provides a reinforced rolled-over nail hem, DuraLock™ and the STUDfinder™ installation system. It also features a RigidForm™ 160 technology that has been tested to withstand wind load pressures up to 160 miles per hour.



Brand Name: Mainstreet

Features

- Patented STUDfinder™ is designed for accurate and secure installation
- DuraLock® post-formed lock design
- .042" thickness
- 10 pieces cover 100 sq ft
- Limited lifetime warranty
- Woodgrain finish
- 9/16" panel projection
- Class 1(A) fire rating
- We make every effort to show accurate colors on our website. Due to variations in computer monitors, they won't always accurately represent the product color. Color chip samples are available at the store to ensure color accuracy

Specifications

Siding Profile	Double 5"	Color	Colonial White
Thickness	0.042 inch	Material	Vinyl
Siding Surface Design	Woodgrain	Overall Width	10 inch
Overall Length	144 inch	Exposure	10 inch
Coverage Per Piece	10 square foot	Manufacturer Warranty	Limited Lifetime
Maximum Wind Resistance	170 miles per hour	Listing Agency Standards	Class 1(A) Fire Rating
Shipping Dimensions	144.00 H x 10.00 W x 0.56 D	Shipping Weight	4.4375 lbs
Return Policy	Special Order Merchandise (view Return Policy)		

MainStreet™

Vinyl Siding

General Description: MainStreet™ siding is appropriate for use in new construction for single family homes, multi-housing projects and light commercial developments. MainStreet is also an ideal product for remodeling.

Styles:

Profile	Finish	Panel Projection	Wall Thickness (Nominal)	Lock Design	Colors	Accessory Pocket
Double 4" Clapboard	Woodgrain	9/16"	.042"	Post-formed	25	5/8" or 3/4"
Double 4" Dutchlap	Woodgrain	9/16"	.042"	Post-formed	25	1/2", 5/8" or 3/4"
Double 5" Clapboard	Woodgrain	9/16"	.042"	Post-formed	25	5/8" or 3/4"
Double 5" Dutchlap	Woodgrain	9/16"	.042"	Post-formed	25	5/8" or 3/4"
Triple 3" Clapboard	Smooth Brushed	9/16"	.042"	Post-formed	9	5/8" or 3/4"
Single 6-1/2" Beaded	Smooth Brushed	9/16"	.042"	Post-formed	8	5/8" or 3/4"
Single 8" Clapboard	Woodgrain	5/8"	.042"	Post-formed	1	3/4"

Colors: MainStreet siding profiles are available in a wide selection of colors. All colors are Spectrophotometer controlled and utilize exclusive Permacolor™ color science.

Colonial White (01)	Wedgewood Blue (89)*	Sterling Gray (33)	Natural Clay (60)	Forest (47)*
Autumn Yellow (10)*	Sandstone Beige (15)	Weathered Wood (90)*	Oxford Blue (32)	Hearthstone (19)*
Desert Tan (07)	Savannah Wicker (59)	Castle Stone (37)*	Autumn Red (23)*	Pacific Blue (27)*
Heritage Cream (11)	Seagrass (30)*	Cypress (42)*	Charcoal Gray (46)*	Sable Brown (29)*
Herringbone (04)*	Snow (31)	Granite Gray (34)*	Flagstone (97)*	Spruce (16)*

**Not available in T3" profile*

STUDfinder™: The patented STUDfinder Installation System combines precisely engineered nail slot locations with graphics. Nail slots are positioned 16" on center to allow for alignment with studs. STUDfinder graphics centered at each slot provide a quick and easy guide to help locate studs.

RigidForm™: MainStreet RigidForm 170 double nail hem technology stiffens siding for a straighter-on-the-wall appearance and provides wind load performance.

Lock: MainStreet's exclusive DuraLock™ is a substantially larger lock than is found on competing products, with a rigid teardrop shape and engineered angular locking leg for a positive, snap fit application and exceptional wind resistance.

Accessories: CertainTeed manufactures a wide range of siding accessories which are compatible with MainStreet siding styles and colors. Accessory products include installation components, soffit, window and door trim, corner lineals, corner systems and decorative moldings.

Composition: MainStreet siding products are produced using PVC resin.

Technical Data: MainStreet siding is in compliance with ASTM specification for Rigid Polyvinyl Chloride (PVC) Siding D3679, and the requirements of the 2015, 2018 and 2021 International Residential Code and International Building Code, the 2020 Florida Residential Code and Florida Building Code, and the 2019 California Residential Code and California Building Code. MainStreet siding meets or exceeds the properties noted in Table 1.

CertainTeed LLC
 20 Moores Road
 Malvern, PA 19355
 certainteed.com
 © 01/23

Table 1

ASTM E 84	Meets Class A flame spread requirements as tested according to ASTM E84.
ASTM D 635	Material is self-extinguishing with no measurable extent of burn when tested in accordance with this specification.
NFPA 268	Radiant Heat Test - Ignition Resistance of Exterior Walls - Conclusion that CertainTeed met the conditions for allowable use as specified in section 1406 of the International Building Code.

Important Fire Safety Information: When rigid vinyl siding is exposed to significant heat or flame, the vinyl will soften, sag, melt or burn, and may thereby expose material underneath. Care must be exercised when selecting underlayment materials because many underlayment materials are made from organic materials that are combustible. You should ascertain the fire properties of underlayment materials prior to installation. All materials should be installed in accordance with local, state and federal Building Code and fire regulations.

Wind Load Testing: CertainTeed MainStreet siding has been tested per ASTM D 5206 standard test method for wind load resistance to withstand negative wind load pressures and their mph equivalents as shown in the chart below. All products exceed industry standards for wind load performance. Check with your local building inspector for wind load requirements in your area for the type of structure you are building.

Table 2

Product	Fastener Spacing	2015/2018 IBC/IRC			2021 IBC/IRC		
		Standard Design Pressure Rating	Maximum Windspeed (mph)		Standard Design Pressure Rating	Maximum Windspeed (mph)	
			ASD	ULT		ASD	ULT
Double 4" Clapboard	Nails 16" o.c.	105.0	209	270	76.0	177	229
Double 5" Clapboard	Nails 16" o.c.	89.4	193	249	64.0	164	211
Double 4" Dutchlap	Nails 16" o.c.	89.4	193	249	64.0	164	211
Double 5" Dutchlap	Nails 16" o.c.	83.8	186	240	60.0	158	204
Triple 3" Clapboard	Nails 16" o.c.	89.4	193	249	64.0	164	211
Single 6-1/2" Beaded	Nails 16" o.c.	89.4	193	249	64.0	164	211
Single 8" Clapboard	Nails 16" o.c.	89.4	193	249	64.0	164	211

* Windload calculations based on ASTM D3679, ASCE 7-10, 30ft High, Exposure B

Documents: CertainTeed Vinyl Siding meets the requirements of one or more of the following specifications.

VSI/Intertek PCL-0504

Texas Department of Insurance Product Evaluation EC-11

Conforms to ASTM Specification D3679

ICC-ES Evaluation Report ESR-1066

ICC-ES Evaluation Listing ESL-1462 (Canada)

Florida BCIS Approval FL1573 & FL12483

For specific product evaluation/approval information, call 800-233-8990.

Installation: Prior to commencing work, verify governing dimensions of building, examine, clean and repair, if necessary, any adjoining work on which the siding is in any way dependent for its proper installation. Sheathing materials must have an acceptable working surface. Siding, soffit and accessories shall be installed in accordance with the latest editions of CertainTeed installation manuals on siding and soffit. Installation manuals are available from CertainTeed and its distributors.

Warranty: CertainTeed supports MainStreet siding products with a Lifetime Limited Warranty including PermaColor Lifetime Fade Protection to the original homeowner. The warranty is transferable if the home is sold.

Technical Services: CertainTeed maintains an Architectural Services staff to assist building professionals with questions regarding CertainTeed siding products. Call 800-233-8990 for samples and answers to technical or installation questions.

Sample Short Form Specification: Siding as shown on drawings or specified herein shall be MainStreet™ Vinyl Siding as manufactured by CertainTeed LLC, Malvern, PA. The siding shall have a .042" nominal thickness. Installation shall be in accordance with manufacturer's instructions.

Three-part Format Specifications: Long form specifications in three-part format are available from CertainTeed by calling our Architectural Services Staff at 800-233-8990. These specifications are also available on our website at certainteed.com.



CertainTeed LLC
20 Moores Road
Malvern, PA 19355
certainteed.com
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SPECIFICATIONS: GUTTERS

Ryan Cummins

From: suze410@aol.com
Sent: Wednesday, January 4, 2023 12:51 PM
To: Ryan Cummins
Cc: Jamie Wolters
Subject: comment/concern for 647 Butler Street

Mr. Cummins and Zoning Commission,

I'm writing in regard to the proposed changes being made to 647 Butler Street. As a 4th generation property owner on Spear Street, I am not in favor of the 6 ft high privacy fence surrounding the home. I feel strongly that it will have a negative impact on the historical presence of the existing home, my neighborhood and on our community. I am proud of Saugatuck's historical heritage. This should be respected and preserved for our citizens and visitors.

Susan Hill Newby
256 Spear St.
Saugatuck

Ryan Cummins

From: Bill Hill <grillhill@gmail.com>
Sent: Friday, January 6, 2023 12:33 AM
To: Ryan Cummins
Cc: Jamie Wolters
Subject: Re: 647 Butler St Permit Application

(This email was originally sent on 1/4/23 but did not get delivered because I mistyped one of email addresses. I've resent it today)

On Wed, Jan 4, 2023 at 3:59 PM Bill Hill <grillhill@gmail.com> wrote:

I am sending this email in regard to the Historic District Permit Application submitted by the owners of 647 Butler St (parcel 57-300-023-00). I would like to express my strong opposition to the owner's request to construct a 6 foot high fence next to the sidewalk on the Spear St side of their property. I am concerned not only for the visual pollution it would create, but also for the precedent it would set. While I understand that the homeowner has the right to privacy, they also have a responsibility to maintain the historical integrity and visual appeal of their property. I strongly believe that such a fence would lack visual appeal and, for lack of a better expression, be an eyesore.

I write this as a fourth generation Spear Street summer resident and concerned citizen

I ask that this email be included as a communication/correspondence at the January 5, 2023 meeting. Thank you very much.

Cordially,
William Hill