



CITY OF SAUGATUCK HISTORIC DISTRICT COMMISSION

102 Butler St. Saugatuck Mi 49453
Phone: (269) 857-2603 Fax: (269) 857-4406

March 3, 2022, 6:00 PM

Saugatuck City Hall
102 Butler Street

1. Call to Order/Roll Call:
2. Agenda Changes/Additions/Deletions:
3. Approval of Minutes:
 - A. **Minutes of special meeting January 19, 2022**
4. Public Comments:
5. Unfinished Business:
6. New Business:
 - A. **449 Water Street AKA 121 Mary Street – extend bar**
7. Administrative Approvals & Updates:
8. Communication:

None
9. Public Comment:
10. Commission Comment:
11. Adjourn:

NOTICE:

This public meeting will be held in person at Saugatuck City Hall. The public and applicants may join and participate using Zoom video/audio conference technology.

Join online by visiting:
<https://us02web.zoom.us/j/2698572603>

Join by phone by dialing:
(312) 626-6799
-or-
(646) 518-9805

Then enter “Meeting ID”:
269 857 2603

Please send questions or comments regarding meeting agenda items prior to meeting to:
cindy@saugatuckcity.com



**City of Saugatuck
Historic District Commission**

PROPOSED Special Meeting Minutes

January 19, 2022, 6:00 PM

Saugatuck City Hall
102 Butler Street

Call to Order/Roll Call: Chair Straker called the meeting to order at 6:00 p.m.

Present: Straker, Cannarsa, Stanton & Paterson.

Absent: Leo, Davenport & Pannozzo, all excused.

Others Present: Cindy Osman - Zoning Administrator.

Agenda Changes/Additions/Deletions: None

Approval of Minutes:

Minutes of regular meeting December 2, 2021:

A motion made by Cannarsa, 2nd by Paterson to approve the December 2nd meeting minutes. Upon voice vote the motion carried 4-0.

Public Comments: None

Unfinished Business: None

New Business:

302 through 322 Culver Street – dumpster enclosure:

Fred Gerigery presented a follow up presentation to his original application to install a second dumpster enclosure adjacent to the Scooters dumpster enclosure. It would match the existing enclosure and would not take up any parking spaces. Fred Gerigery requested this location as his primary request.

OR

129 Griffith Street – dumpster enclosure:

The Condo Association is requesting approval for the installation of a new dumpster enclosure. *Background:* This is the alternate location to address the need for trash removal of the tenants at 129 Griffith Street. The construction was completed ~2016 and was approved by the Planning Commission with the original trash storage to be inside the building. This area inside the building was largely by the installation of a cooler for the restaurant. Fred Gerigery requested this location as his secondary request.

A motion was made by Straker, 2nd by Cannarsa to approve 302 through 322 Culver Street and 129 Griffith Street application dumpster enclosures with the following modification. The enclosure will be as described and follow the profile on page 11 of the application, to be six-inch solid stack boards in the color and finish of the applicant's choice and the adjacent enclosure that's existing will be rebuilt to match the new for one continuous look. Upon voice vote the motion carried 4-0.

311 (313) Water Street – windows doors remove balcony:

Skala concepts on behalf of PCM Saugatuck LLC, is requesting approval for finishing upstairs apartment at 313 Water Street - some window changes - removal of balcony - change door to a window to match - replace some siding where door was eliminated. Tomas Brvenik, contractor from Skala Concepts was present via Zoom to discuss the project.

A motion was made by Paterson, 2nd by Cannarsa to table the HAD permit application for 311 Water Street. Upon voice vote the motion carried 4-0.

Administrative Approvals & Updates:

40 Butler Street – replace sign: Zoning Administrator Osman updated the Commission with the administrative approval of the new Butler Sign which is similar to the current sign.

Communication: None

Public Comment: None

Commission Comment: Welcome Lauren Stanton, who replaced Garnet Lewis.

Adjourn: *A motion was made by Cannarsa, 2nd by Paterson to adjourn at 6:30 p.m. Upon voice vote motion carried 4-0.*



MEMORANDUM

TO: Historic District Commission
City of Saugatuck

FROM: Cindy Osman
Zoning Administrator

DATE: March 3, 2022

RE: **Application P-HIS-22002; 449 WATER ST AKA 121 MARY STREET**

WPBG, LLC is requesting approval for the installation of extend existing bar into existing house on same parcel known as 121 Mary Street with some exterior renovations and addition.

Background: The structures at 449 Water Street is suggested to be non-contributing resources according to the Williams & Works memo dated April 21, 2010. There has been extensive remodeling to the windows and doors. This building may be over 50 years old, the original design has been significantly altered. For these, the Commission must decide whether enough remains to justify restoration to the original design. Otherwise, the guidelines for additions and new construction should be applied. (Section V)

Standards: If the Commission agrees that the structure is non-contributing, Section V, A, B. of the *Local Guidelines regulating additions would apply. It states the following:*

A. Additions

1. **Compatible Additions** New additions within historic districts can be appropriate if they do not destroy historic features, materials and spatial relationships of the original building and site. Their location, size, height, scale, design and materials should be compatible with the original structure. The Commission may make recommendations to the Planning Commission and/ or the Zoning Board of Appeals concerning placement of additions on the lot.

2. **Site Protection** A new addition should be designed and located so that significant site features, including mature trees, are not lost.

3. **Distinguishing New from Old** New additions should be designed in such a manner as to make clear what is historic and what is new. They should be constructed so that they can be removed in the future without damage to the building.

4. **Massing** It is not appropriate to construct an addition that significantly changes the proportion of built mass to open space on the individual site.

B. New Construction

1. **Streetscape Compatibility** With new structures or renovations which totally change the facades, the appearance of the streetscape as a whole should be respected. Facades for new structures should be compatible with the overall design and appearance of the surrounding streetscape in its design and appearance

2. **Architectural Style** New structures need not replicate existing styles. They may be honest modern or contemporary adaptations or reflections of traditional styles or they may be totally new, distinctive structures which are nevertheless compatible with the district's character.

3. Compatibility of Siting and Massing

(a) The historic relationship between buildings, landscape features and open space should be retained. The siting should be reviewed based on existing district setbacks, orientation, spacing and distance between adjacent buildings.

(b) The height and bulk of a new building shall be compatible with its surroundings and shall in no event exceed that of existing buildings in the Historic District.

(c) If there is a significant variation in siting or in height and bulk from the immediately surrounding buildings which creates a material adverse impact on the character of that area, the Commission may make recommendations to the Planning Commission and/ or the Zoning Board of Appeals concerning height, massing and placement on the lot of the new construction.

4. **Compatible Detailing** In addition to the scale of the structure, details such as roof lines, materials, the size, type, and placement of windows, doors, porches, fences, chimneys and garages, should be considered in assessing the compatibility of the new structure with the existing streetscape.

5. **Pedestrian Scale** Especially in commercial areas, the scale of architectural elements should provide comfortable surroundings for pedestrians. This applies especially to heights of canopies or awnings, and heights of doors and windows.

6. **Distinguishing New from Old** New buildings should be designed so that they are compatible with, but discernable from, adjacent historic buildings.

Potential motion – motion to approve/ deny the additions and alterations to the property located at 449 Water Street, AKA 121 Mary Street as submitted/modified/conditioned on



Historic District Permit Application

LOCATION INFORMATION APPLICATION NUMBER _____ - _____

Address 449 Water Street/ Parcel Number 03-57-300-068-00

APPLICANTS INFORMATION

Name Wicks Park Bar & Grille Address / PO Box PO Box 58
City Saugatuck State MI Zip 49453 Phone 2698572888
Interest In Project Owner E-Mail christine@wickspark.com
Signature [Signature] Date _____

OWNERS INFORMATION (IF DIFFERENT FROM APPLICANTS)

Name Christine Murphy Pierce Address / PO Box PO Box 58
City Saugatuck State MI Zip 49453 Phone 2392724296

I hereby authorize that the applicant as listed above is authorized to make this application for proposed work as my agent and we agree to conform to all applicable laws and regulations of the City of Saugatuck. I additionally grant City of Saugatuck staff or authorized representatives thereof access to the property to inspect conditions, before, during, and after the proposed work is completed.

Signature _____ Date _____

CONTRACTORS/ DEVELOPERS INFORMATION (UNLESS PROPOSED WORK IS TO BE DONE BY THE PROPERTY OWNER)

Name Randal Strong RS Carpentry Contact Name Randal Strong
Address / PO Box 14099 Michelle CT City Holland
State MI Zip 49424 Phone 6162688982 Fax _____
License Number 2101174497 Expiration Date 5/31/2023

PROPERTY INFORMATION

Depth 93 (N& Width 120(W)(E Size _____ Zoning District Water Current Use Rental
Check all that apply: Waterfront Dunes _____ Vacant _____

PROJECT DESCRIPTION (ATTACH MORE SHEETS IF NECESSARY)

Taking existing old cottage and remodeling it and turning it into a Event Space and Bar. Remodeling of the inside, cleaning putting in new alley way and back yard.



Historic District Application

Application # ____ - ____

HISTORIC DISTRICT REQUIREMENTS (SECTION 152.07)

Pursuant to Section 152.07, please attach the following supporting documents when applying for historic district approval if applicable:

Y N NA

- Photographs of the structure and its relationship to adjacent structures.
- A plot plan with the placement of the proposed addition, or location of fencing to be constructed.
- Elevation drawings of the exterior of the structure or improvements.
- Samples of all proposed exterior finishes and materials.
- Photographs showing, in detail, the problem areas to be addressed during the proposed repair or alteration.
- A scale drawing of all proposed signage, including design, lettering style, type of illumination (if any), placement or location on the lot or building, and the type of support(s) for the sign(s).
- If an application for signage is made by tenants of a building located within a historic district, the tenants must obtain written permission from the building owner to install or alter the proposed sign(s).
- Plot plan showing the following:
 - Current location, shape, area and dimension of the lot.
 - Current site improvements (including structures, sidewalks, decks, streets, fences, etc).
 - Proposed improvements and distances from other improvements or property lines.
 - Proposed and/or current yard, open space and parking space dimensions and calculations.
 - Location of any flood plains, watersheds, wetlands, easements, critical dunes, or other applicable features.
- Description of proposed use and of the building (dwelling, structure, barn, garage and the like) or improvements.
- Detailed written description of the activities related to the proposed use and/or improvements.

OFFICE USE ONLY:
 Application Complete _____ Fee Paid _____ Date Paid _____
 Notes: _____



Pella Corporation
102 Main Street
Pella, Iowa 50219
(641) 621-1000

To whom it may concern,

Pella recently launched a new product line, Pella® Architect Series® Reserve™, designed with unparalleled historical authenticity in mind. Our product marketing team conducted extensive research over the last two years on historic millwork and the general requirements from the National Park Service, from a historic tax credit program perspective.

During that time, we reached out directly to leadership at the National Parks Service to determine the exact important window details that arise when trying to preserve the historical authenticity of a building, and the process to issue Federal Tax Credits. Some of the main challenges that were expressed, and incorporated into the product included:

- Equal sight lines at the head and stile of the window
- Deeper grille & sash profiles (exterior sash-to-glass depth)
- An exterior Putty Glaze sash and muntin profile, with an interior ogee sash and muntin profile
- Putty Glaze muntin accuracy– including appropriate grille widths and angle of the Putty Glaze profile
- Appropriate proportions of the steps of a historic window (exterior trim, blind stop, sash)
- Butt joinery with through-stile construction, ensuring the stiles run through on both the top and bottom sash.
- Optional accessories such as sash lugs that sit in the same plane as the sash to ensure it looks like a continuation of the stile.

The Pella engineering and product team worked to develop prototypes focused on the direct feedback from the National Parks Service Technical Preservation Services. We conducted a meeting at the Technical Preservation Services office in Washington D.C. to

review concepts and prototypes developed directly from their initial feedback. The product concepts and designs were positively received. The feedback was given, that while the National Parks Service does not endorse any company, the attributes that were incorporated into the new product line (Pella® Architect Series® Reserve™) successfully satisfied the needs that they had originally identified.

Since then, I have personally met with several other state and local historic preservation offices, to ensure we were getting well rounded feedback regionally. Some of the agencies included, but were not limited to:

Minnesota Historic Preservation Office

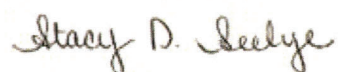
Washington D.C. Historic Preservation Office

Ohio Historic Preservation Office (Ohio History Connection)

The results of all the meetings conducted had one outcome, that the product attributes incorporated into the new design were positively received, and they were excited we were listening.

If you have any additional questions, please let me know.

Sincerely,



Architectural Program Manager

Pella Corporation

(641) 621-6834

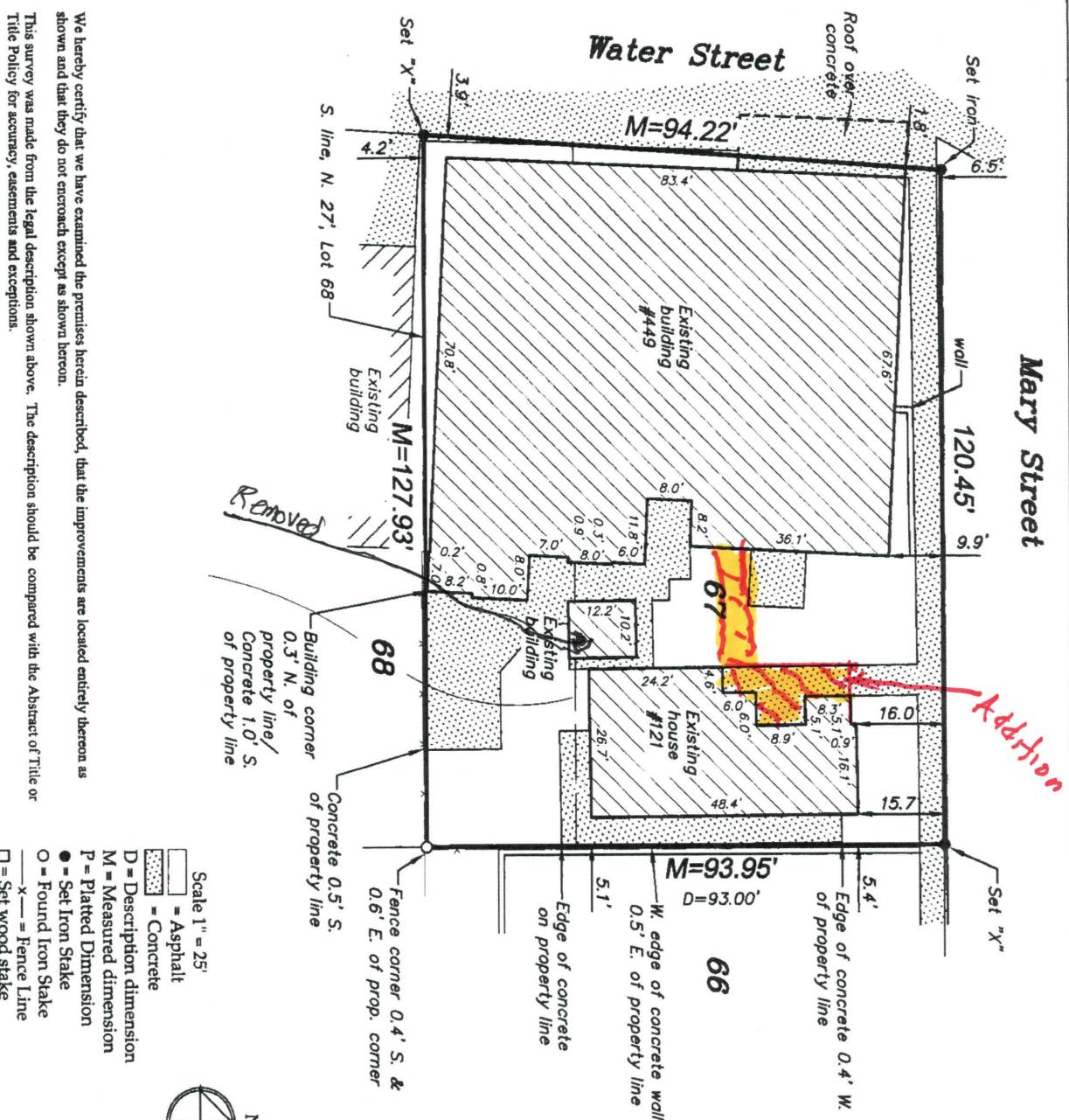
The Cottage
@ wicks park

<u>Property: 449 Water Street Saugatuck</u>	65%	allowable
	11680	7592
	LOT SIZE	11680
Lot Square Footage percentage As it stands now	7021	60.11%
Lot Square Footage percentage Squaring off house	7259.79	62.16%

Prepared By:

Pat Murphy

Patrick Murphy Builders, LLC

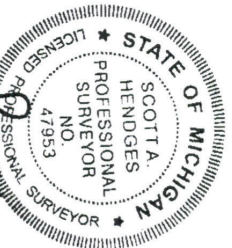


PREPARED FOR: Shoreline Realty - Douglas
 Dan Shanahan
 202 Center Street
 P.O. Box 997
 Douglas, MI 49406

RE: 449 Water Street

The following described premises is situated in the City of Saugatuck, County of Allegan and State of Michigan, to wit:
 Lot 67 and the North 27 feet of Lot 68, Plat of Kalamazoo, now City of Saugatuck, according to the plat thereof as recorded in Liber 111 of Deeds, Page 551, Allegan County Records.
 (Warranty Deed Liber 2309, Page 888)

By: *Scott A. Hendges*
 Scott A. Hendges
 Licensed Professional Surveyor No. 47953



GRAND RAPIDS
 4079 Park East Court
 Grand Rapids, MI 49546
 PHONE: (616) 575-5190

HOULAND
 347 Hoover Boulevard
 Holland, MI 49423
 PHONE: (616) 393-0449

ANN ARBOR
 944 N. Main St.
 Ann Arbor, MI 48104
 PHONE: (734) 929-6963

HUDSONVILLE
 5570 32nd Avenue
 Hudsonville, MI 49426
 PHONE: (616) 669-5190

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Scale 1" = 25'
 [Symbol] = Asphalt
 [Symbol] = Concrete
 D = Description dimension
 M = Measured dimension
 P = Platted Dimension
 ● = Set Iron Stake
 ○ = Found Iron Stake
 X — = Fence Line
 □ = Set Wood Stake

08200474 CH 07/23/08 16:18





SHEET TITLE:
**STREET SIDE
PERSPECTIVE**

PROJECT DESCRIPTION:
**THE COTTAGE
AT WICKS PARK**

DRAWINGS PROVIDED BY:
**PATRICK MURPHY
DESIGN**

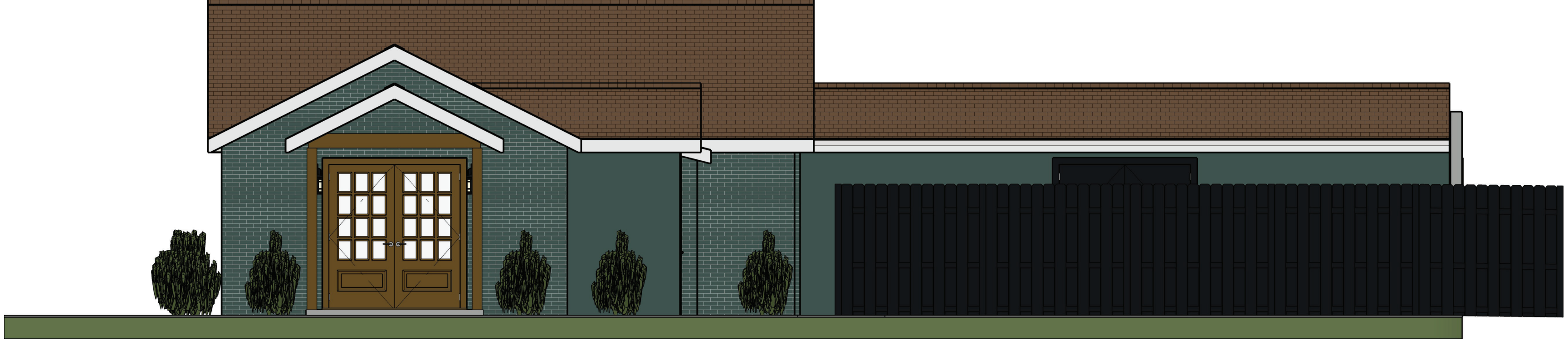
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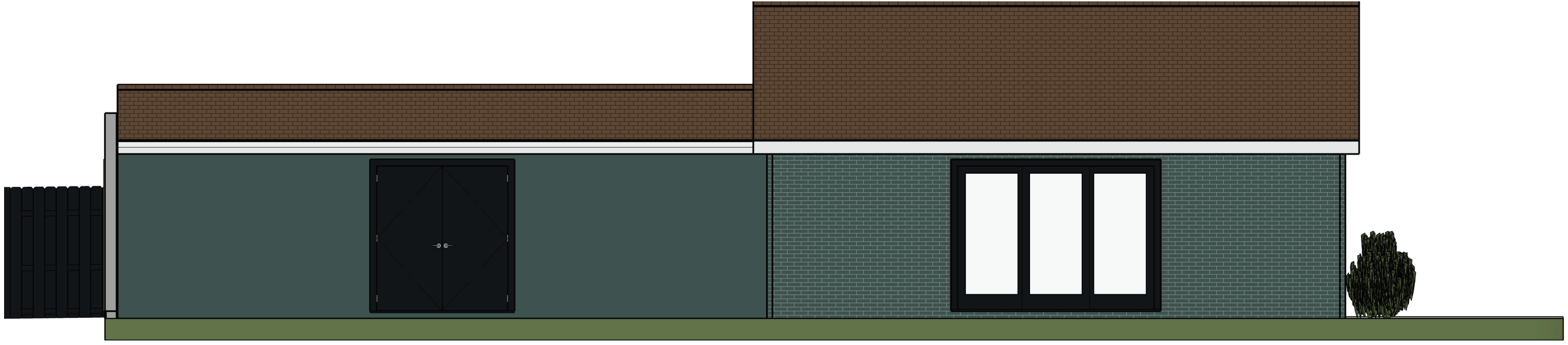
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A-1



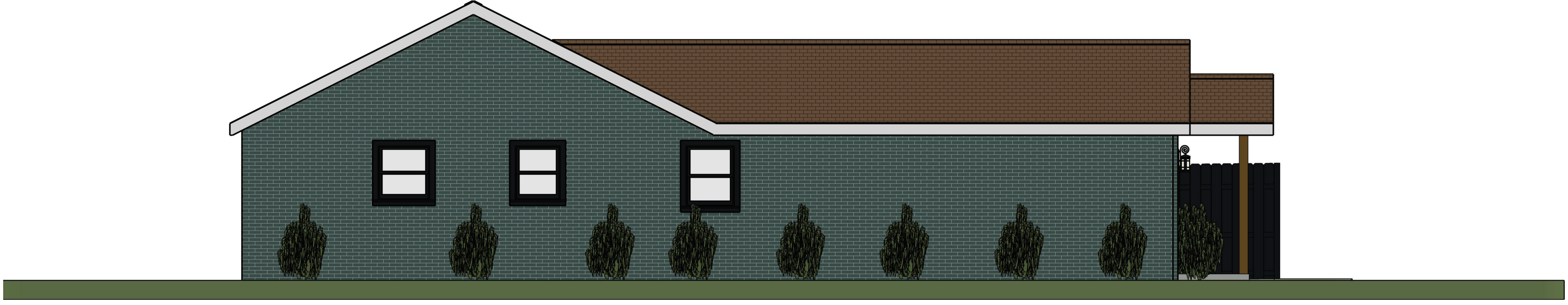




MARY STREET/ NORTH ELEVATION



SOUTH ELEVATION



EAST ELEVATION



WEST ELEVATION