

Planning Commission Regular Meeting December 15, 2022 7:00PM City Hall 102 Butler Street, Saugatuck, MI

- 1. Call to Order/Roll Call:
- 2. Approval of Agenda: (Voice Vote)
- 3. Approval of Minutes: (Voice Vote)
 - A. Special Meeting Minutes October 26, 2022
- 4. Public Comments on Agenda Items: (Limit 3 minutes)
- 5. Old Business: None
- 6. New Business:
 - A. 383 Dunegrass Cir. Site Plan Review
 - B. Public Hearing Signage
- 7. Communication:
 - a. Zoning Administrator Casework Reports
 - b. E-mail from Craig Baldwin
- 8. Reports of Officers and Committees:
- 9. Public Comment: (Limit 3 minutes)
- 10. Adjourn

*Public Hearing Procedure

- A. Hearing is called to order by the Chair
- B. Summary by the Zoning Administrator
- C. Presentation by the Applicant
- D. Public comment regarding the application
 - 1) Participants shall identify themselves by name and address
 - 2) Comments/Questions shall be addressed to the Chair
 - 3) Comments/Questions shall be limited to three minutes
 - 1. Supporting comments (audience and letters)
 - 2. Opposing comments (audience and letters)
 - 3. General comments (audience and letters)
 - 4. Repeat comment opportunity (Supporting, Opposing, General)
- E. Public comment portion closed by the Chair
- F. Commission deliberation

NOTICE:

Join online by visiting: https://us02web.zoom.us/j/2698 572603

> Join by phone by dialing: (312) 626-6799 -or-(646) 518-9805

> Then enter "Meeting ID": 2698572603

Please send questions or comments regarding meeting agenda items prior to meeting to: <u>rcummins@saugatuckcity.com</u>



Minutes Planning Commission Special Meeting *Proposed* October 26th, 2022, City Hall 102 Butler Street, Saugatuck, MI 7:00 PM

The Planning Commission met for Special Committee Meeting at 7: p.m. City Hall 102 Butler St., Saugatuck, MI 49453.

Call to Order:

The meeting was called to order by Vice-Chair Manns at 7:00 p.m.

Attendance:

Present: Broeker, Gardner, Gaunt, LaChey and Manns.

Absent: Heriford

Others Present: Zoning Administrator Ryan Cummins, City Manager Ryan Heise, and Deputy Clerk Sara Williams.

Approval of agenda:

A motion was made by Gaunt, 2nd by Gardner to approve the agenda. Upon voice vote, motion carried 5-0.

Approval of Minutes:

A motion was made by Gardner, 2nd by Gaunt to approve the minutes as presented for August 18,2022. Upon voice vote, motion carried 5-0.

Public Comment on Agenda Items: None.

Old Business: None.

New Business:

- a. Election of Chair/Officers
 - a. Motion by Gardner, second by Gaunt to appoint Manns as Chairman. Upon roll call vote, motion carried 5-0.
 - b. Motion by Manns, second by Gardner to appoint Broecker as Vice-Chair. Upon roll call vote, motion carried 5-0.

- **b.** Discussion of 2023 Priorities Commission discussed the following subjects:
 - a. Updating the Tri-Community Master plan
 - The Planning Commission would like to work with Saugatuck Township and the City of the Village of Douglas about their desire to work jointly on the update.
 - The use of a planning consultant/firm for the update is desired.
 Logistics to select a consultant will have to be worked out with the three municipalities. A timeline will be developed with the assistance of the consultant.
 - b. Short-term rentals
 - i. Michigan Municipal League (MML) presentation on short-term rentals to be planned in conjunction with City Council. The MML will speak specifically about the bill pending in the state legislature.
 - ii. Staff will provide the Planning Commission with short-term rental regulations in the zoning ordinance.
 - iii. Various ways to approach potential zoning ordinance changes were discussed. After the MML presentation, the Planning Commission will evaluate the next steps.
 - c. Improvement of the Zoning Ordinance
 - The Planning Commission discussed a desire to continue reviewing the zoning ordinance for improvement and changes. Staff advised the planning consultant has recommended a full review and audit. The Planning Commission advised they wish to focus on a master plan update and focus updates to the zoning ordinance to key areas such as:
 - 1. Waterfront Development
 - 2. Consolidation of Zoning Districts
 - 3. Short-Term Rentals
 - d. Fee in Lieu of Parking
 - i. Staff suggested that the Planning Commission evaluate a fee in lieu of parking for developments that do not provide off-street parking. The Planning Commission advised they were open to evaluating this.
 - e. Park Street sidewalks and widening
 - i. The Planning Commission noted needed capital improvements along Park St. Staff advised the Parks and Public Works Committee will be evaluating this further.
 - f. Continued Planning Commission Education and Training
 - i. It was noted that the citizen planner program through Michigan State University Extension is beneficial. The Planning Commission desires continued education and training opportunities.

Communications: None.

Public Comments: None.

Adjournment:

Motion by LaChey, second by Gaunt, to approve adjournment of the meeting. Meeting was adjourned at 8:37 PM.

Respectfully Submitted,

Sara Williams, City Deputy Clerk & DPW Administrative Assistant



MEMORANDUM

City of Saugatuck Planning Commission

Memo Date:	December 8, 2022	Meeting Date:	December 15, 2022
Request:	Site Plan Review	Applicant:	JPD Construction
Address:	383 Dunegrass Cir.	Project Name:	Dunegrass Residence
Parcel:	57-077-019-00	Plan Date:	May 20, 2022
Acreage:	.43	Zoning District:	PUD/CRC
Complete:	Yes	Recommendation:	Conditions noted
Staff:	Ryan Cummins	Consultant:	David M. Jirousek, AICP

Overview

The applicant has applied to construct a three-level single-family residential dwelling within a previously approved Planned Unit Development (PUD). While it is not common for the Planning Commission to review a site plan for a single-family dwelling, it is required per Resolution No. 150610-A (Resolution approving a planned unit development for the property commonly known as 631 Perryman).

The purpose of this memo is to provide a compliance review related to all applicable zoning standards and requirements and to assist the Planning Commission with developing findings of fact related to the request. Further, the proposal must be reviewed against the overall PUD plan last revised on March 11, 2015 (PUD approved June 10, 2015).

Proposal

The proposed home is three levels. The lower level includes the garage, storage areas, and utility space, while the main and upper levels are the primary living spaces. The total conditioned floor area is 3,584 square feet. A driveway is proposed to provide access to Dunegrass Circle, and it is a sweeping design that allows access to a side-loaded garage.

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Completeness Review

Site plans must contain the information required by Section 154.061 of the Zoning Ordinance. The application is determined to be complete for review by City Staff and the Planning Commission.

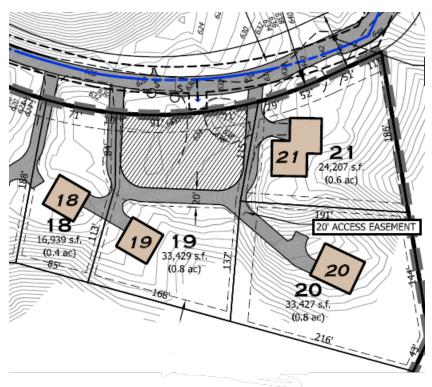


Figure 1 - 2015 PUD Plan Focus Area

Zoning Compliance Review

<u>Setbacks</u>. The PUD plan indicates that setback modifications were approved as part of the overall PUD process. The proposed building envelope and footprint that are shown on the site plan comply with the setbacks noted on the PUD plan (20' front, 5' side, and 10' rear).

<u>Height</u>. The PUD plan states that "no building shall have a building height exceeding 30 feet as measured from the highest level fire department vehicle access and the eave of the pitched roof." The applicant has proposed a flat roof, which was not contemplated in the PUD plan. The height requirement was based on Section D105.1 of the International Fire Code (IFC), which states that flat roof measurements are taken at the "top of parapet walls."

The top of the parapet wall is 132'9", while the garage slab is 98'6". Understanding that the driveway elevation at the garage is the same as the garage slab, the height between the highest level of fire department vehicle access and the top of the parapet is 34'3," which exceeds the PUD requirement by 4'3".

While the Fire Department may have the current ability to respond to emergencies, the referenced height requirement is a zoning requirement through PUD adoption. A PUD amendment would be necessary to exceed the current limitation.

Lot Coverage. To assess lot coverage, the following two definitions from the Zoning Ordinance apply to the calculation:

CONDOMINIUM SUBDIVISION. A division of land on the basis of condominium ownership, which is not subject to the provisions of the Land Division Act of 1967, Public Act 288 of 1967, being M.C.L.A. §§ 560.101 et seq., as amended. Any <u>condominium unit</u> or portion thereof, consisting of vacant land shall be equivalent to the term "lot" for the purposes of determining compliance of a condominium subdivision with the provisions of this chapter pertaining to minimum lot size, minimum lot width, and <u>maximum lot</u> <u>coverage</u>.

LOT COVERAGE. The area of a lot, stated in terms of a percentage, that is covered by <u>buildings and/or structures</u> located thereon. This shall include all buildings, roofed porches, arbors, breezeways, decks 24 inches above grade or higher, roofed patios, whether open or fully roofed; <u>but shall not include fences</u>, walls, driveways, sidewalks, <u>hedges used as fences</u>, decks less than 24 inches above grade or detached stairways, <u>ground-floor stairways</u>, wheelchair ramps, patios or in-ground swimming pools. Stairway landings (provided the landing does not exceed the building code minimum area requirement by more than 10%) shall not be considered in determining lot coverage. Lot coverage shall be measured from the wall or foundation of the building or structure.

The 0.43-acre lot is 18,731 square feet, and the building footprint is 1,545 square feet. As such, the lot coverage is 8.2%, which exceeds the 5% required in the underlying Conservation, Recreation, and Camp District (CRC). Lot coverage modification was not specifically requested during the 2015 PUD application.

The original PUD plan shows unit 19 as .80 rather than 0.43 acres. A portion of unit 19 is noted as a limited common element included in the .80 acres. If considered with the limited common element, lot coverage would be compliant. However, unit 19, as surveyed and legally defined, is .43 acres.

The deviation between the PUD plan and the site condo survey appears to have inadvertently resulted in a compliance issue. However, the Planning Commission may have additional background regarding the site condo approval process, the discrepancy, and whether unit 19 and the limited common element were intended to be counted as one for the purpose of this requirement.

Site Plan Standards of Approval

The following standards for site plan review and approval apply to the project per Section 154.063. Findings related to each standard are provided for consideration by the Planning Commission.

A. All elements of the site plan shall be harmoniously and efficiently organized in relation to topography, the size and type of lot, the character of adjoining property and the type and size of the buildings. The site will be so developed as not to impede the normal and orderly development or improvement of surrounding property for uses permitted in this chapter.

Comment: The building site and driveway are proposed to be located on the most level portion of the site, and the single-family dwelling is built into the slope giving it the appearance from the north as a two-level building. However, the lower level allows for a drive-out garage and walk-out basement.

B. The landscape shall be preserved in its natural state, insofar as practical, by removing only those areas of vegetation or making those alterations to the topography which are reasonably necessary to develop the site in accordance with the requirements of this chapter.

Comment: The proposed area of disturbance shown on the site plan appears to limit the overall impact of site work. Alterations to the topography appear to be the minimum necessary to provide the most appropriate building site within unit 19. However, it should be noted that the owner is currently subject to an "Order to Restore" from the Michigan Department of Environment, Great Lakes, and Energy (EGLE) Water Resources Division (WRD) based on recent clearing and stump grinding. EGLE has provided the owner with a directive to restore vegetation to ensure compliance with Part 353, Sand Dune Protection and Management, of the Natural Resources and Environmental Protection Act, 1994 PA 451, as amended

C. The site plan shall provide reasonable visual and sound privacy for all dwelling units located therein. Fences, walks, barriers and landscaping shall be used, as appropriate, to accomplish these purposes.

Comment: Existing vegetation outside of the limits of disturbance will provide visual screening from the road and units to the east. There will be no screening of the west side of the dwelling from unit 18. However, screening was not intended between units 18-19 based on the shared driveway shown on the PUD plan (see plan on page 2).

D. All buildings or groups of buildings shall be arranged so as to permit necessary emergency vehicle access as required by the Fire Department.

Comment: The Fire Department must review the site layout regarding site access and the ability to respond to emergencies. It appears that the driveway design was approved by the

Fire Department on February 10, 2022, based on a note on the site plan. However, this approval should be confirmed.

E. There shall be provided a pedestrian circulation system which is separated from the vehicular circulation system. In order to ensure public safety, special pedestrian measures, such as crosswalks, crossing signals and other such facilities may be required in the vicinity of schools, playgrounds, local shopping areas and other uses which generate a considerable amount of pedestrian traffic. All federal, state, and local barrier free requirements shall be met.

Comment: While the PUD indicates a nonmotorized trail, it is not located near unit 19. Sidewalks or pathways are not required along the unit's frontage.

F. The arrangement of public or common ways for vehicular and pedestrian circulation shall be connected to existing or planned streets and pedestrian or bicycle pathways in the area. Streets and drives which are part of an existing or planned street pattern serving adjacent development shall be of a width appropriate to the traffic volume they will carry and shall have a dedicated right-of-way equal to that specified in the City's land use plan.

Comment: The U-shaped drive from Dunegrass Circle Drive was approved in concept as part of the 2015 PUD plan. This driveway is intended to provide access to units 18-21 (see plan on page 2). As stated earlier, sidewalks or pathways are not required along the unit frontage.

G. All streets shall be developed in accordance with city specifications, unless developed as a private road.

Comment: As stated earlier, the U-shaped drive from Dunegrass Circle Drive was approved in concept as part of the 2015 PUD plan. Driveway and private road details were included on the plan sheet C-102A.

H. Appropriate measures shall be taken to ensure that removal of surface waters will not adversely affect neighboring properties or the public storm drainage system. Provisions shall be made to accommodate storm water, prevent erosion and the formation of dust. The use of detention/retention ponds may be required. Surface water on all paved areas shall be collected at intervals so that it will not obstruct the flow of vehicular or pedestrian traffic, create puddles in paved areas or create erosion problems.

Comment: Due to the sandy soils within the PUD, stormwater detention was not required. Rainwater is proposed to be collected by gutters and downspouts and conveyed to a leach basin.

I. All loading and unloading areas and outside storage areas, including areas for the storage of trash, which face or are visible from residential districts or public thoroughfares, shall be

screened by an opaque wall or landscaped screen not less than six feet in height. (See §§ 154.142 through 154.144).

Comment: As a single-family dwelling, there are no exterior loading or storage areas noted on the plan.

J. Exterior lighting shall be arranged so that it is deflected away from adjacent properties and so that it does not impede the vision of traffic along adjacent streets. Flashing or intermittent lights shall not be permitted.

Comment: Light fixtures are proposed on the west side elevation along the garage and lower-level entry. Typical residential lighting is anticipated.

K. In approving the site plan, the Planning Commission may recommend that a bond or other financial guarantee of ample sum be furnished by the developer to ensure compliance for such requirements as drives, walks, utilities, parking, landscaping and the like (see § 154.173).

Comment: Not applicable.

Recommendation

The two primary compliance issues are lot coverage and building height. If those issues are addressed and compliance confirmed, the site plan could be approved with the following conditions:

- 1. Secure staff approval of landscaping in accordance with Section 154.027 and site restoration per Resolution No. 150610-A.
- 2. Secure Fire Department approval of access and sprinkling system.
- 3. Secure EGLE Critical Dune permitting requirements, as applicable.

CITY COUNCIL CITY OF SAUGATUCK <u>ALLEGAN COUNTY, MICHIGAN</u>

At a special meeting of the City Council for the City of Saugatuck held at the City offices

on June 10, 2015 at 4:00 p.m., Council Member Peterson offered the following resolution and

moved its adoption, seconded by Council Member Trester:

RESOLUTION NO. 150610-A

A RESOLUTION APPROVING A PLANNED UNIT DEVELOPMENT FOR THE PROPERTY COMMONLY KNOWN AS 631 PERRYMAN (APPLICATION NO. 15-008), WITH CONDITIONS, ON THE RECOMMENDATION OF THE SAUGATUCK PLANNING COMMISSION

WHEREAS, on or about March 11, 2013, the City of Saugatuck ("City") first received an application for special land use approval to develop twelve single family lots on a portion of the former Presbyterian Camp property commonly known as 631 Perryman ("Property"); and

WHEREAS, on December 3, 2013, following a series of public hearings and meetings at which the special land use application was discussed, the Planning Commission for the City of Saugatuck (the "Planning Commission") approved a resolution (Resolution No. 131203-A) pursuant to the City of Saugatuck Zoning Ordinance ("Zoning Ordinance") granting special land use and site plan approval for eight single-family lots on a portion of the Property; and

WHEREAS, on or about November 1, 2014, the applicant Dune Ridge SA, LP ("Dune Ridge") filed a planned unit development ("PUD") application, as amended, on January 23, 2015 and March 12, 2015, for the development of an additional portion of the Property, which provided for the development of 14 single-family residential lots (of which one lot was included in the original eight lots approved in Planning Commission Resolution No. 131203-A), which if approved would allow for a total of 21 single-family residential lots on the entire Property; and

WHEREAS, the City referred the PUD application to the Planning Commission, which held a public hearing on the application on April 16, 2015 and thereafter recommended approval of the PUD application and site plan to the City Council; and

WHEREAS, on June 1, 2015, the City Council and Planning Commission held public hearings related to the Property, at which they received further public comment regarding the PUD application; and

WHEREAS, the City Council on June 1, 2015 tentatively approved the PUD application and site plan subject to several express conditions, and subject to review and approval of a resolution setting forth those conditions of approval;

NOW, THEREFORE, IT IS RESOLVED AS FOLLOWS:

1. The City Council hereby approves Planned Unit Development Application No. 15-008 and its site plan for the property commonly known as 631 Perryman, subject to the following conditions:

- a. A public water system is installed in the general location shown on the approved site plan, specifically the plan labeled C-102A, and as further provided on watermain plans provided to the City and the Michigan Department of Environmental Quality ("MDEQ") for permit dated May 26, 2015, subject to approval by the City of Saugatuck Engineer, the Kalamazoo Lake Water and Sewer Authority or its designee, the Michigan Department of Environmental Quality, the Saugatuck Township Fire District Chief, and any other governmental agency or office from which an approval is required.
- b. Dune Ridge shall provide utility easement agreement(s) that are in a form acceptable to the City and the Kalamazoo Lake Water and Sewer Authority, before any connection to the public water system.
- c. Individual site plans for each principal and accessory structure remain subject to review and approval by the Zoning Administrator and Planning Commission.
- d. Dune Ridge shall obtain approval from Allegan County and any other necessary governmental agencies or officials for the location of the septic tanks and fields.
- e. Dune Ridge shall install the required landscaping in accordance with the standards set forth in Section 154.027 of the City Code of Ordinances and all applicable MDEQ requirements.
- f. The Saugatuck Township Fire District Chief shall approve the location and width of the private roads to ensure adequate emergency access and all roads shall meet applicable engineering standards.
- g. Each principal and accessory structure shall be equipped with a year-round operational sprinkler system approved by the Saugatuck Township Fire District Chief.
- h. Dune Ridge shall comply with all applicable MDEQ critical dune requirements, as determined by the MDEQ.
- i. Restoration review may be conducted administratively.
- j. Dune Ridge shall submit documentation satisfactory to the City Attorney guaranteeing that all open space portions of the PUD will be maintained in the manner approved, which documents shall (1) bind all successors and future owners in fee title to maintenance commitments made as a part of the approval of open space; and (2) provide for maintenance to be undertaken by the City in the event that the dedicated open space is inadequately maintained, or is determined by the City to be a public nuisance, with the assessment of costs upon the property owners.
- k. Dune Ridge shall comply with all escrow requirements of the City.

1. Dune Ridge shall abide by verbal representations made at the June 1, 2015 City Council meeting, including but not exclusively that it will within a reasonable time convey a non-motorized trail to the City for use by the public, with ingress/egress easements, generally located south of Perryman Street, all in the locations shown on the approved site plan labeled C-102A.

2. The PUD approval, and development of the PUD property legally described in the site plan, is contingent upon Dune Ridge's compliance with the above the conditions.

3. In approving the PUD application, the City Council has reviewed and relied upon the findings of City staff, as set forth in staff's April 10, 2015 memorandum, and upon the recommendation of the City Planning Commission, and finds that, with the above conditions, the application meets all of the applicable standards in the Zoning Ordinance, including the standards set forth in Sections 154.060 *et seq.* (Site Plan Review) and 154.110 *et seq.* (Planned Unit Development) and Section 154.027 (Conservation, Recreation and Camp District).

4. All resolutions and parts of resolutions insofar as they conflict with the provisions of this Resolution are rescinded.

YEAS: Members: Peterson, Trester, Spangler, Bekken, Verplank & Hess

NAYS: Members: None

ABSENT: Members: Johnson

RESOLUTION NO. 150610-A DECLARED ADOPTED.

William Hess, Mayor

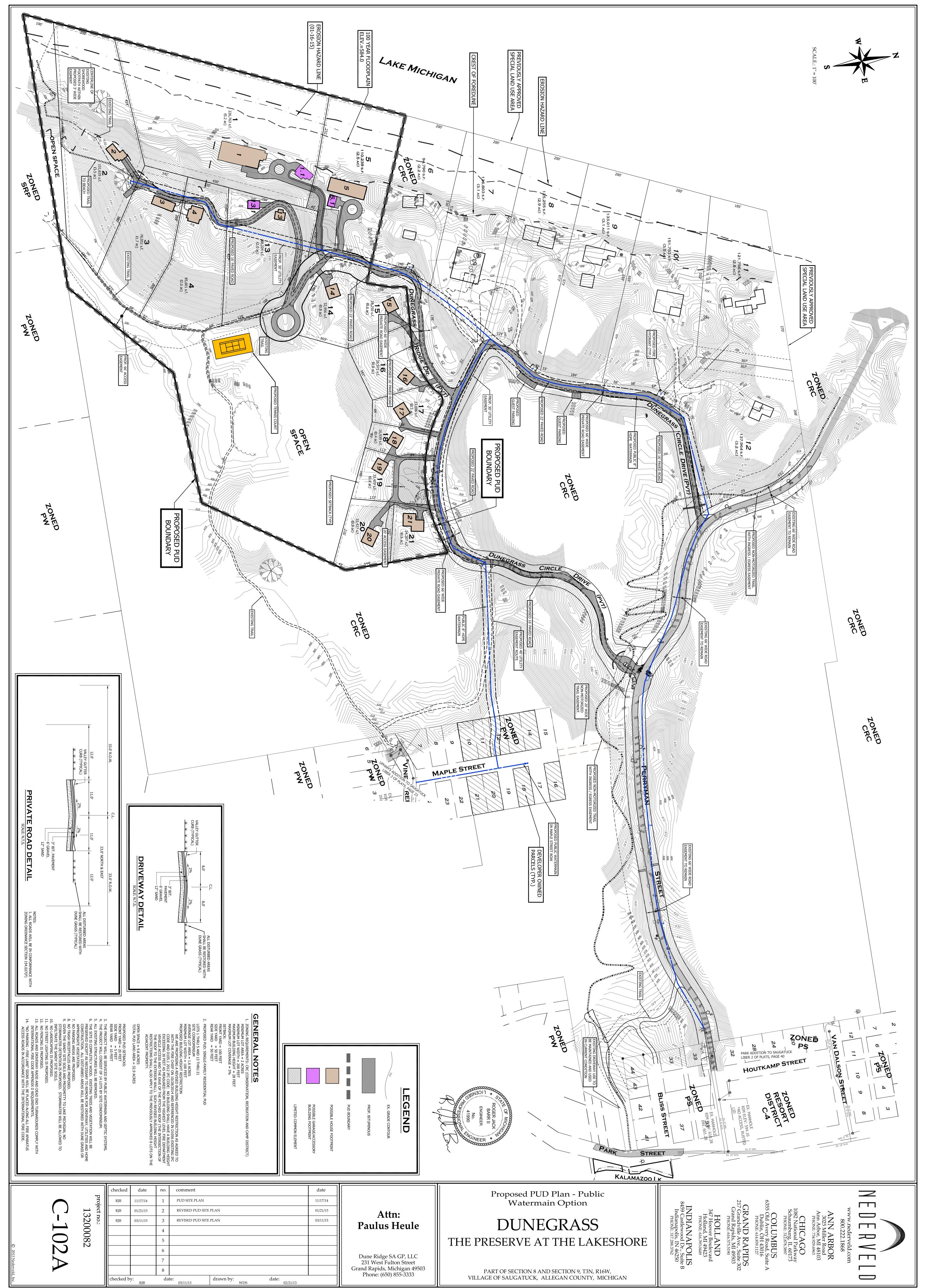
Monica Nagel, Clerk

CERTIFICATION

I hereby certify that that the above is a true copy of the Resolution adopted by the City of Saugatuck City Council at the time, date, and place specified above pursuant to the required statutory procedures.

Respectfully submitted,

By Monica Nagel City of Saugatuck Clerk





Site Plan Review Application

Parcel Number 03:57-077-019-00 Box 2031 Lolue Treil Dr Zip 49453 Phone 6/6 566 0337 E-Mail Deconstruction Date 10-9-02 SS / PO Box 10406 S Scaley Zip 60643 Phone 2/2 545 6975 application for proposed work as my agent and we agree to conform City of Smightuck staff or authorized representatives thereof access a completed Date 10/10/22 ED WORTH IN TO BE DOME BY THE PROPERTY OVINERS It Name Ded ic Scangebuck 0337 Fax
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107 Butler Street + P.O. Box 86 + Saunatuck, MI 49453



Site Plan Review Application

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102 Butler Street * P.O. Box 86 • Saugatuck, MI 49453 Phone: 26g-857-2603 * Website: www.saugatuckcity.com



Site Plan Review Application

Application #

SITE PLAN REQUIREMENTS (SECTION 154.061)

A) Applications for preliminary site plan approval shall consist of the following information unless waived by the Zoning Administrator.

Υ,	N	NA	
Ø			Property dimensions
	Ø		Significant vegetation
		ø	Water courses and water bodies, including human-made surface drainage ways
		Ø	Existing public right-of-way, pavements and/or private easements
		ø	Existing and proposed uses, buildings, structures and parking areas
		Ø	Zoning classification of abutting properties
¢			The name, address and telephone number of the person and firm who prepared the site plan, and the date on which it was prepared
-1			

☑ □ □ A north arrow

B) Applications for final site plan approval shall consist of the following information unless waived by the Zoning Administrator. Twelve reproducible copies of a final site plan, at a scale of not less than one inch equals ten feet, shall include:

		Dimensions of property of the total site area, Contours at 2-foot intervals
Ξ.		
		Locations of all buildings
	Ø	Other structures on adjacent properties within 100 feet of the property, including those located across the street from the property
		Parking areas
		Driveways
		Required and proposed building setbacks
		Location of abutting streets and proposed alignment of streets, drives and easements serving the development, including existing rights-of-way and pavement widths;
	Q	Location, screening, dimensions and heights of proposed buildings and structures, such as trash receptacles, utility pads and the like, including accessory buildings and uses, and the intended uses thereof. Rooftop or outdoor appurtenances should also be indicated, including proposed methods of screening the equipment, where appropriate;
	ø	Location and dimensions of parking areas, including computations of parking requirements, typical parking space dimensions, including handicapped spaces, and aisle widths;
		Proposed water supply and wastewater systems locations and sizes;
		Proposed finished grades and site drainage patterns, including necessary drainage structure. Where applicable, indicate the location and elevation of the 100-year floodplain;
	ø	Proposed common open spaces and recreational facilities, if applicable;
Ø		Proposed landscaping, including quantity, size at planting and botanical and common names of plant materials;
۵	ø	Signs, Including type, locations and sizes;

C.	erijater	S	ite Plan Review Application Application #
ø	۵		Location and dimensions of all access drives, including driveway dimensions, pavement markings, traffic-control signs or devices, and service drives;
	Ø		Exterior lighting showing area of illumination and indicating the type of fixture to be used.
ø			Elevations of proposed buildings drawn to an appropriate scale shall include:
			1. Front, side and rear views;
			Heights at street level, basement floor level, top of main floor, top of building, and if applicable, height above water level; and
			Exterior materials and colors to be used.
		ø	Location, if any, of any views from public places to public places across the property;
		1	Location, height and type of fencing; and
é			The name and address of the person and firm who drafted the plan, the seal of the professional responsible for the accuracy of the plan (licensed in the state) and the date on which the plan was prepared.

STANDARDS FOR APPROVAL (SECTION 154.062)

Please respond to each of the following questions by explaining how the proposed development will meet the standards for site plan approval:

*note: not all questions will apply for all requests.

(1) How will the elements of the site plan shall be harmoniously and efficiently organized in relation to topography, the size and type of lot, the character of adjoining property and the type and size of the buildings? Will the site will be so developed as not to impede the normal and orderly development or improvement of surrounding property for uses permitted in this chapter? <u>The house will be</u>

pasitioned in a poteral sand bowl	with the excisting	Venetation	Surrainlin
This is inline with the neighboring	LOUISES J	0	0.00
0 0			

(2) How will the landscape be preserved in its natural state, insofar as practical, by removing only those areas of vegetation or making those alterations to the topography which are reasonably necessary to develop the site in accordance with the requirements of this chapter? The site will only be charged for the house location pace, construction is complete police.

- plants will be planted in the build some. Excisting treed will be protected.

- (3) How will the site plan provide reasonable visual and sound privacy for all dwelling units located therein? How will fences, walks, barriers and landscaping shall be used, as appropriate, be used to accomplish these purposes? As mentioned above the house is located to o notwork sound have giving the house a bidgen field. The tree line is proved softic perimeter other than the drive.
- (4) How will all buildings or groups of buildings be arranged so as to permit necessary emergency vehicle access as required by the Fire Department? <u>There is a sheet driveway</u> with a slight band materia access using each.
- (5) How will there be provided a pedestrian circulation system which is separated from the vehicular circulation system. In order to ensure public safety, special pedestrian measures, such as crosswalks, crossing signals and other such facilities may be required in the vicinity of schools, playgrounds, local shopping areas and other uses which generate a considerable amount of pedestrian traffic? (All federal, state and local barrier free requirements shall be met.) ____/A



the

the

Site Plan Review Application

Application # _____

(6) How will the arrangement of public or common ways for vehicular and pedestrian circulation be connected to existing or planned streets and pedestrian or bicycle pathways in the area? Will streets and drives which are part of an existing or planned street pattern serving adjacent development be of a width appropriate to the traffic volume they will carry and shall have a dedicated right-of-way equal to that specified in the City's land use plan?

(7) How will all streets be developed in accordance with city specifications, unless developed as a private road?

(8) How will appropriate measures be taken to ensure that removal of surface waters will not adversely affect neighboring properties or the public storm drainage system? Will provisions be made to accommodate storm water, prevent erosion and the formation of dust? The use of detention/retention ponds may be required. Surface water on all paved areas shall be collected at intervals so that it will not obstruct the flow of vehicular or pedestrian traffic, create puddles in paved areas or create erosion problems. The house will hous a full drainage system including down sports. The will be function a least beside (please see allo phone).

(9) How will all loading and unloading areas and outside storage areas, including areas for the storage of trash, which face or are visible from residential districts or public thoroughfares, shall be screened by an opaque wall or landscaped screen not less than six feet in height? (See §§ <u>154.142</u> through <u>154.144</u>).

(10) How will exterior lighting be arranged so that it is deflected away from adjacent properties and so that it does not impede the vision of traffic along adjacent streets? Flashing or intermittent lights shall not be permitted.
The exterior lighting will be up / plowo / protect at the escere.

OFFICE USE ONLY: Application Complete Date Paid Paid Notice Sent Resident Notification Hearing Date Notes:



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A8.01	EXTERIOR DETAILS - GREAT ROOM PLAN DETAILS
A8.02	EXTERIOR DETAILS - GREAT ROOM SECTION DETAILS
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A9.00	INTERIOR DETAILS
STRUCTURAL	
F-1	FOUNDATION PLAN
FD-1	FOUNDATION DETAILS
FD-2	FOUNDATION DETAILS
FD-3	FOUNDATION DETAILS
S-1	MAIN FLOOR FRAMING PLAN
S-2	SECOND FLOOR FRAMING PLAN
S-3	ROOF FRAMING PLAN
SD-1	FRAMING DETAILS
SD-2	FRAMING DETALS
SN-1	STRUCTURAL NOTES AND LOADING
•	

DUN 383 DU SAUGA

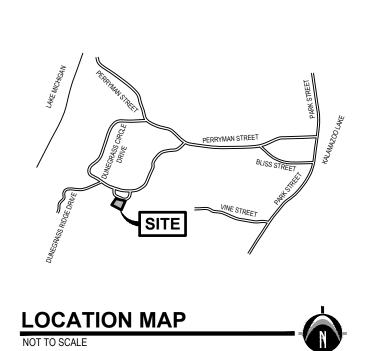
CONSTRUCTION DOCUMENTS 05.20.2022

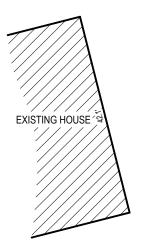


RENDERING IS FOR VISUAL PURPOSES ONLY

DUNEGRASS RESIDENCE

383 DUNEGRASS CIRCLE SAUGATUCK, MI 49453





DEED DESCRIPTION

Land situated in the City of Saugatuck, County of Allegan, State of Michigan.

Unit 19, Dunegrass Site Condominiu, according to the Master Deed recorded in Liber 3959, Page 655, and any amendments thereto, and designated as Allegan County Condominium Subdivision Plan No. 293, together with rights in the General Common Elements and the Limited Common Elements as set forth in said Master Deed and as described in Act 59 of the Public Acts of 1978, as amended.

(Warranty Deed recorded in Liber 4510, Page 160, dated September 15, 2020, Allegan County Register of Deeds Office)

SURVEYOR'S NOTES

1) Flood Zone Classification: An examination of the National Flood Insurance Program's Flood Insurance Rate Map for Community Number 260305, Panel Number 0001C, with an Effective Date of 2/1/1980, shows this parcel to be located in Zone C (area of minimal flooding)

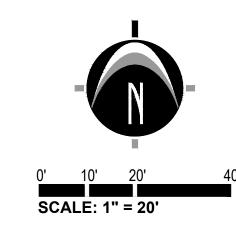
- 2) Source information from plans and markings has been combined with observed evidence of utilities to develop a view of the underground utilities. However, lacking excavation, the exact location of underground features cannot be accurately, completely, and reliably depicted. In addition, in some jurisdictions, 811 or other similar utility locate requests from surveyors may be ignored or result in an incomplete response. Where additional or more detailed information is required, the client is advised that excavation and/or a private utility locate request may be necessary. These locations should not be interpreted to be exact locations nor should it be assumed that they are the only utilities in this area.
- 3) NOTE TO CONTRACTORS: 3 (THREE) WORKING DAYS BEFORE YOU DIG, CALL MISS DIG AT TOLL FREE 1-800-482-7171 FOR UTILITY LOCATIONS ON THE GROUND.

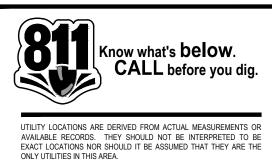
BENCHMARKS

BENCHMARK # 5001 ELEV. = 630.44 (IGLD85)

Flange bolt (1.2 feet above ground level) under "MADE" on hydrant located ±12 feet North of Dunegrass Circle Drive, across from drainfield area between 375 Dunegrass Circle Drive and 395 Dunegrass Circle Drive.

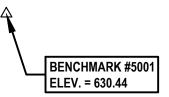
BENCHMARK # 5109 ELEV. = 622.21 (IGLD85) (OFFSITE) Flange bolt (1.3 feet above ground level) under "MADE" on hydrant located on the West side of the intersection of Dunegrass Circle Drive and Dunegrass Ridge.





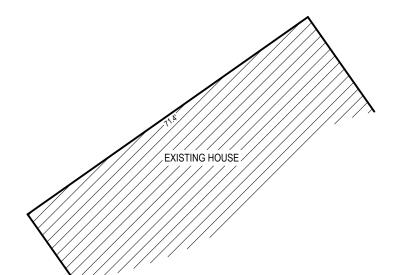
NOTE: EXISTING UTILITIES AND SERVICE LINES IDENTIFIED AS "(PLAN)" WERE OBTAINED FROM AVAILABLE CITY AS-BUILT RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY THE LOCATION, DEPTH AND STATUS OF ALL UTILITIES AND SERVICE LINES PRIOR TO NEW CONNECTIONS.

LEGEND \triangle Benchmark Iron - Set 0 Iron - Found G Miss Dig Flag - Gas Underground Gas Marker GAS — G — Gas $-- \times --- \times --$ Fence Asphalt Concrete Existing Building \times Greater than 33% Slope





800 HC 34 Hoi Phor ANN CH COI GRAN INDIA ST PREPAR	nederveld.com D.222.1868 DLLAND 7 Hoover Blvd. Iland, MI 49423 ne: 616.393.0449 NARBOR HICAGO LUMBUS ND RAPID NAPOLIS	S
383 Di	inegrass Circle uck, MI 49453	9 }
CREATE		
Drawn: HM		Date: 12-2-20
REVISION Rev: Drawn:		Date:
383 Dunegrass Circle	Topographic Survey	LOT 19, DUNEGRASS SITE CONDOMINIUMS, SECTION 8&9, T3N, R16W, CITY OF SAUGATUCK, ALLEGAN COUNTY, MICHIGAN
	Scott A Hendges cense No. 01047953	00000000000000000000000000000000000000
PROJECT	Г NO:)202103	
SHEET N		
SHEET:	1 OF ²	1
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ABBREVIATIONS

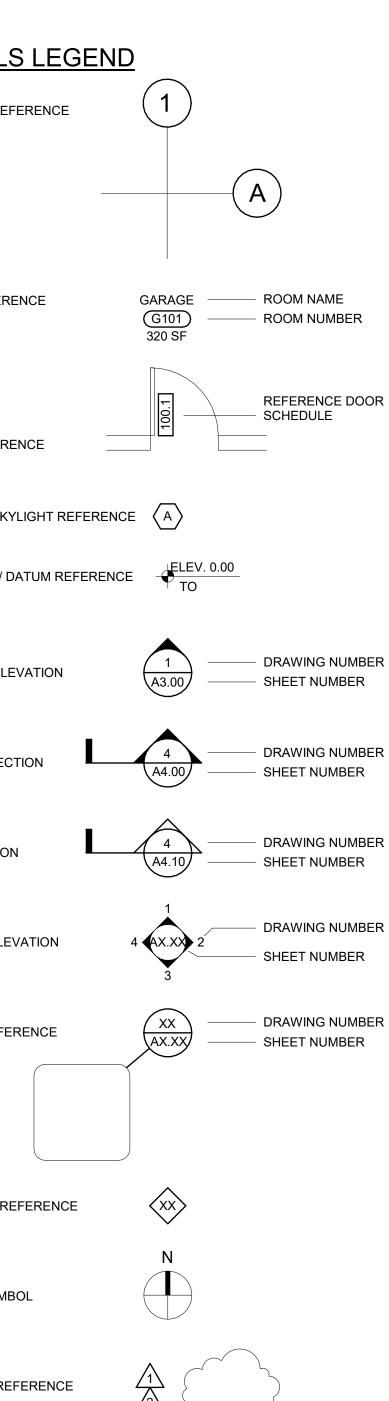
S	Y	N	Λ	R	Ο	()
		1	/ 1			•

<u>ABB</u>	REVIATIONS
@ € ₽ 0 # (E) (N)	AT CENTERLINE PROPERTY LINE DIAMETER POUND OR NUMBER EXISTING NEW
ABV ACC ACOUS ACP ACS ACT AD ADA ADJ AFF AGGR AIB ALT ALUM APPROX ARCH ASPH	ANCHOR BOLT ABOVE ACCESS ACOUSTICAL ASPHALT CONCRETE PAVING ACCESS PANEL ACOUSTICAL TILE ACOUSTICAL TILE AREA DRAIN AMERICANS with DISABILITIES ADJUSTABLE ABOVE FINISHED FLOOR AGGREGATE AIR INFILTRATION BARRIER ALTERNATE ALUMINUM APPROXIMATE ARCHITECTURAL ASPHALT AUTOMATIC
BITUM BLDG BLKG BM BO BOT BRG BSMT BUR CAB CB CER CIP CJ CLG CLG CLK CLO CLR CNTR COL CONC CONN	
DBL DEMO DET DIA DIM DL DN DR DR DR DR DS DSP DT DW DWG	DOUBLE DEMOLITION DETAIL DIAMETER DIMENSION DEAD LOAD DOWN DOOR OPNG DOOR OPENING DOWNSPOUT DRY STANDPIPE DRAIN TILE DISHWASHER DRAWING
EL ELEC ELEV ENCL EQ EQUIP EST EW EXH FN EXIST	EAST EACH EXPANSION JOINT ELEVATION ELECTRICAL ELEVATOR ENCLOSURE EQUAL EQUIPMENT ESTIMATE EACH WAY EXHAUST FAN EXHAUST FAN EXISTING EXPANDED; EXPANSION EXPANSION BOLT EXPOSED EXTERIOR
FB FD FE FEC FF EL FH FHC FIN FF FIN FLASH FLASH FLUOR FOC FOF FOIC FOM FOS FP	FIRE ALARM FLAT BAR FLOOR DRAIN FIRE EXTINGUISHER FIRE EXTINGUISHER CABINET FIRE EXTINGUISHER CABINET FIRE HYDRANT FIRE HOSE CABINET FIRE HOSE CABINET FLR FINISH FLOOR FINISH TO FINISH FLASHING FLOOR; FLOORING FLOOR; FLOORING FLOORESCENT FACE OF CONCRETE FACE OF FINISH FURNISHED BY CONTRACTOR FACE OF MASONRY FACE OF STUDS FIREPROOF FIREPLACE FRAME FOOR OR FEET FOOTING FUTURE FULL WIDTH
GA GALV GC GL GLAM GR GWB GYP	GAUGE GALVANIZED GENERAL CONTRACTOR GLASS GLUE-LAMINATED GRADE GYPSUM WALL BOARD GYPSUM

HB HC HDO HDR HDWD HM HORIZ HP HR HT HVAC HW HWT ID IN INCL INSUL INT INV JB JF JT	HIGH POINT HOUR HEIGHT HEATING/VENTILATING/AIR CONDITIONING HOT WATER HOT WATER HOT WATER TANK INSIDE DIAMETER INCH INCLUDED	T T&G TEL TER TG THK TO TOB TOC TOF TOP TOP TOP TOPO TOS TOW TS TSTAT TYP UNO VB VEN VEN VEST VG VIF	TYPICAL UNLESS VINYL BA VENEER VERTICA VESTIBUI VERTICA
KIT KO LAM LAV LBS LF LH LL LOC LP LT MAS MATL MAX	KITCHEN KNOCKOUT LAMINATE, LAMINATED LAVATORY POUNDS LINEAR FOOT (FEET) LEFT HAND LIVE LOAD LOCATION LOW POINT LIGHT MASONRY MATERIAL MAXIMUM	VIF VT W/O WO WD WF WF BM WG WH WL WLD WP WPM	WIRED G
MB MC MDF MDO MECH MEMB MEZZ MFR MIN MIR MISC MO MTD MTL MUL	MACHINE BOLT MEDICINE CABINET MEDIUM DENSITY FIBERBOARD MEDIUM DENSITY OVERLAY MECHANICAL MEMBRANE MEZZANINE MANUFACTURER MINIMUM MIRROR MISCELLANEOUS MASONRY OPENING MOUNTED METAL MULLION	WR WSCT WSG WTR WWF WWM WT	WATER F WAINSCO WIRE SAI WATER WELDED
N N/A NO NOM NR NTS	NORTH NOT APPLICABLE NOT IN CONTRACT NUMBER NOMINAL NOISE REDUCTION NOT TO SCALE		
OA OC OD OFF OH OHWM OPNG OPP OSB	OVERALL ON CENTER OUTSIDE DIAMETER OVERFLOW DRAIN OFFICE OVERHEAD ORDINARY HIGH WATER MARK OPENING OPPOSITE ORIENTED STRAND BOARD		
PERP PL PLAM PLAS PLWD PNL PNT PR PRCST PSF PSI	PAIR PRECAST POUNDS PER CUBIC FOOT POUNDS PER SQUARE INCH PRESERVATIVE TREATED PARTITION		
rd Ref Refr Reg Reinf Rem Req Resil	ROOM ROUGH OPENING		
SD SECT SG SHV SHR SHT MTL SHTG SIM SOG SPEC SQ FT SQ IN SSD SST STD STL ST STOR	SOLID CORE SCHEDULE SMOKE DETECTOR SECTION SAFETY GLASS SHELF; SHELVING SHOWER SHEET SHEET METAL SHEATHING SIMILAR SLAB ON GRADE SPECIFICATION SQUARE FOOT (FEET) SQUARE INCH(ES) SEE STRUCTURAL DRAWINGS STAINLESS STEEL STANDARD STEEL STONE STORAGE STRUCTURAL		

READ DNGUE AND GROOVE	1. GRID LINE REFE
ELEPHONE ERRAZZO	
EMPERED GLASS HICK	
DP OF DP OF BEAM	
DP OF CONCRETE; CURB DP OF FLOOR; FOOTING; FRAME	
OP OF MASONRY OP OF PARAPET; PAVEMENT	
DPOGRAPHY	
DP OF SLAB; STEEL DP OF WALL	2. ROOM REFEREN
JBE STEEL IERMOSTAT	
PICAL	
NLESS NOTED OTHERWISE	
NYL BASE ENEER	
ERTICAL	
ESTIBULE ERTICAL GRAIN	3. DOOR REFEREN
ERIFY IN FIELD NYLT TILE	
EST	4. WINDOW / SKYL
ITH ITHOUT	
ATER CLOSET OOD	
INDOW	5. ELEVATION / DA
IDE FLANGE IDE FLANGE BEAM	
IRED GLASS ATER HEATER	
ATER LINE ELDED	6. EXTERIOR ELEV
ATERPROOF ATERPROOF MEMBRANE	
ATER RESISTANT	
AINSCOT IRE SAFETY GLASS	
ATER ELDED WIRE FABRIC	7. BUILDING SECTI
ELDED WIRE MESH EIGHT	
	8. WALL SECTION
	9. INTERIOR ELEVA
	5. INTERIOR LEEV
	10. DETAIL REFER
	11. ASSEMBLY REF
	12. NORTH SYMBC
	13. REVISION REFE
	MATERIAL
	woo
	FINIS
	$\chi \chi \chi \chi$
	ВАТТ
	MINE
	L

WOOD BLOCKING SHIM	WOOD FRAMING (CONTINUOUS)
FINISHED WOOD	PLYWOOD
BATT INSULATION	RIGID INSULATION
MINERAL INSULATION	FOAMED IN PLACE INSULATION
GRAVEL	EARTH
STEEL	ALUMINUM
CMU	BRICK
STONE	CONCRETE



REFERENCE CONSTRUCTION MEMO ISSUING REVISION. ONLY MOST RECENT REVISION SHOWN CLOUDED. REFERENCE FOR PREVIOUS REVISIONS REMAIN. DATE OF **REVISIONS INDICATED AT RIGHT MARGINS.**

LS LEGEND

ZONING / BUILDING CODE SUMMARY

PROJECT ADDRESS: 383 DUNEGRASS CIRCLE SAUGATUCK, MI 49453

ASSESSOR'S PARCEL NUMBER: N/A LEGAL DESCRIPTION: N/A

APPLICABLE CODES: MICHIGAN 2015 RESIDENTIAL CODE MICHIGAN 2015 ENERGY CODE

AUTHORITY HAVING JURISDICTION: CITY OF SAUGATUCK

PHYSICAL ADDRESS: 102 BUTLER ST PO BOX 6 SAUGATUCK, MI 49453

BUILDING: 269 857 2603 (EXT 2)

ELECTRONIC MAIL: CINDY@SAUGATUCKCITY.COM

LOT SIZE: .4 ACRES (18,705 SF) LAND USE DESIGNATION: PUD OVERLAY OVER CRC

PROJECT DESCRIPTION: CONSTRUCTION OF A NEW TWO-STORY WOOD FRAMED

STRUCTURE HEIGHT: ALLOWED: 30' FROM HIGHEST LEVEL VEHICLE ACCESS TO

EAVE OF PITCHED ROOF

YARD SETBACKS: SIDE: 5' FRONT: 20' REAR: 10'

ENERGY CODE COMPLIANCE: MICHIGAN 2015 ENERGY CODE

ZONE: 5A

VERTICAL GLAZING U-FACTOR: 0.32 HORIZONTAL GLAZING U-FACTOR: 0.55 DOOR U-FACTOR: 0.32

CEILING: R-38 WOOD FRAME WALL ABOVE GRADE: 13+5 MASS WALL: 13/17 WALL BELOW GRADE: 10/13 FLOOR: 30 SLAB ON GRADE: 10, 2FT

GENERAL NOTES

1. CODES: ALL WORK SHALL CONFORM APPLICABLE LAND USE AND BUILDING CODES AS AMENDED BY AUTHORITIES HAVING JURISDICTION.

2. DO NOT SCALE DIMENSIONS FROM DRAWINGS. USE CALCULATED DIMENSIONS ONLY. NOTIFY THE ARCHITECT IMMEDIATELY IF ANY CONFLICTS EXIST.

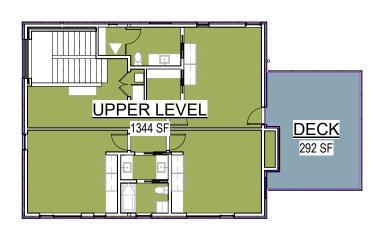
3. CONTRACTOR SHALL VERIFY ALL CONDITIONS PRIOR TO INITIATING THE WORK. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.

4. VERIFY ALL ROUGH-IN DIMENSIONS FOR EQUIPMENT. PROVIDE ALL BUCK-OUT, BLOCKING, BACKING, AND JACKS REQUIRED FOR INSTALLATIONS.

5. DIMENSIONS ARE TO EXTERIOR FACE OF CONCRETE / WOOD FRAMING UNLESS OTHERWISE NOTED.

AREA SCHEDULE							
NAME AREA							
MAIN LEVEL	1392 SF						
SP	289 SF						
LOWER LEVEL	848 SF						
GARAGE	697 SF						
PATIO	185 SF						
UPPER LEVEL	1344 SF						
DECK	292 SF						

TOTAL CONDITIONED FLOOR AREA: 3,584 SF



MAIN LEVEL 1392 SF PATIO 185 SF

VICINITY MAP NOT TO SCALE

SITE -

SITE



LOCATION MAP



PROJECT DIRECTORY

<u>SITE ADDRESS:</u> 383 DUNEGRASS CIRCLE SAUGATUCK, MI 49453

OWNER: NOT DISCLOSED

ARCHITECT: NORTH HOUSE ARCHITECTS 41 WASHINGTON AVE STE 395 GRAND HAVEN, MICHIGAN 49417 T: 616.405.2224 PRINCIPAL ARCHITECT: JOE FILIPPELLI joe@northhouse.design

STRUCTURAL ENGINEER: ENGINEERED STRUCTURES LLC 632 BARRY STREET SW GRANDVILLE, MI T: 616.667.9650 CONTACT: ROGER KELLY es2@comcast.net

CONTRACTOR JPD CONSTRUCTION T: 616-566-0337 CONTACT: JASON DEDIC jason@jpdconstruction.com



41 WASHINGTON AVE STE 395 GRAND HAVEN, MI 49417 USA +1 616 405 2224 INFO@NORTHHOUSE.DESIGN WWW.NORTHHOUSE.DESIGN

project: DUNEGRASS RESIDENCE 383 DUNEGRASS CIRCLE SAUGATUCK, MI 49453

S. JOSEF FILIPP ARCHIT ARCHIT 130106	ELLI *
principal architect	JLF
drawn by_	JLF
_	MB
job no	20.012

date 05.20.2022

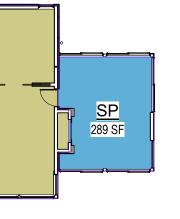
revisions:

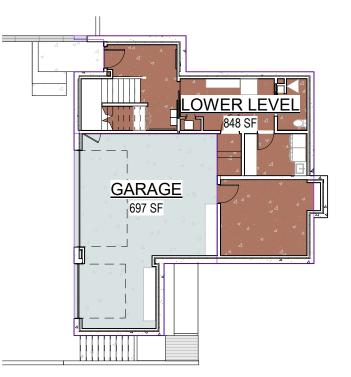
no. date

CONSTRUCTION DOCUMENTS 05.20.2022

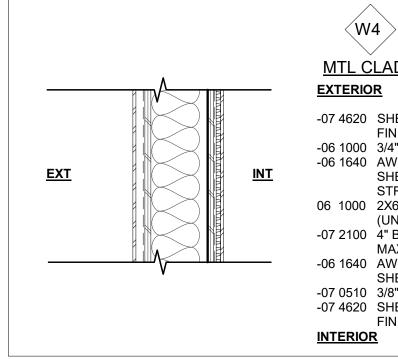
GENERAL INFORMATION

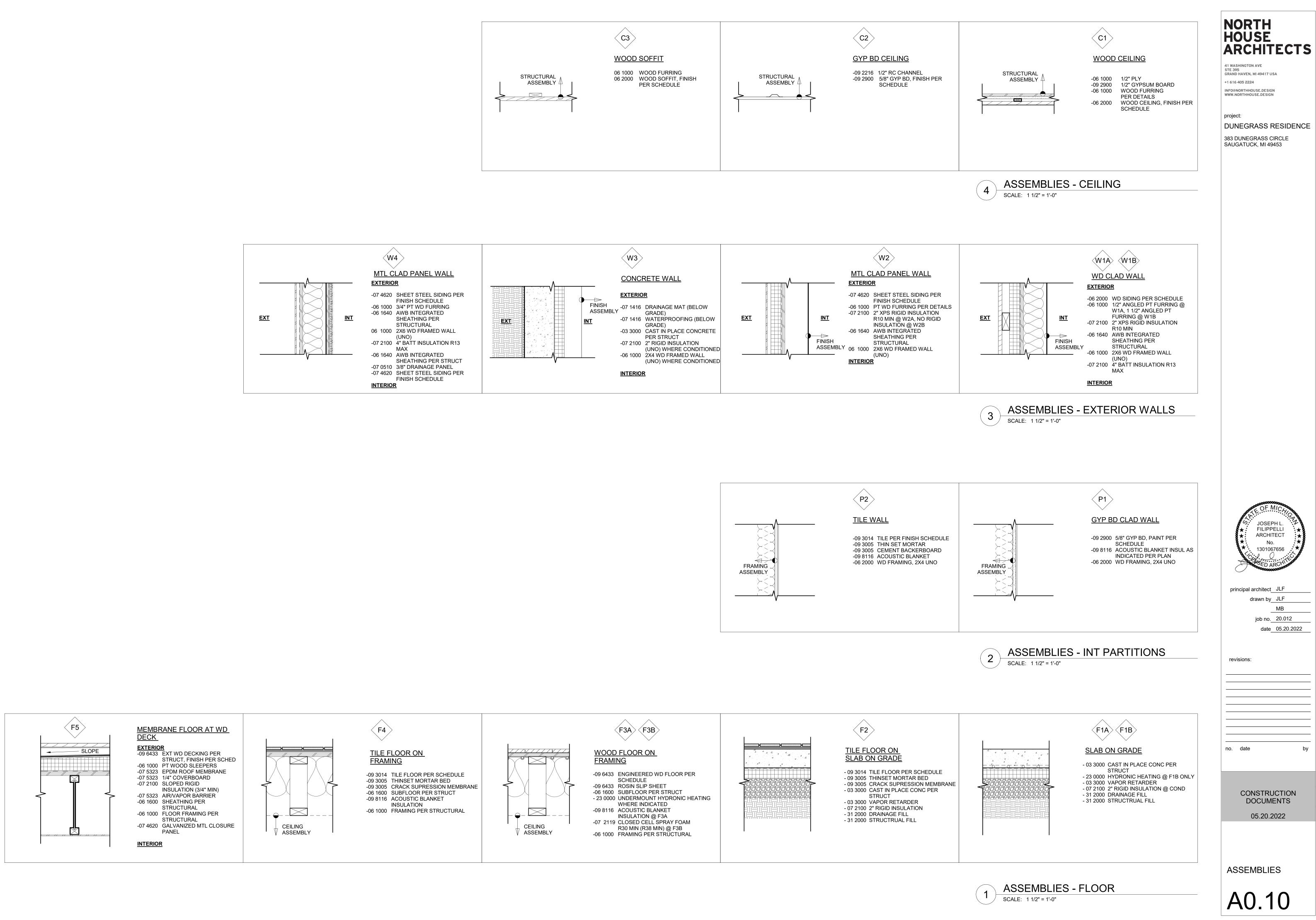
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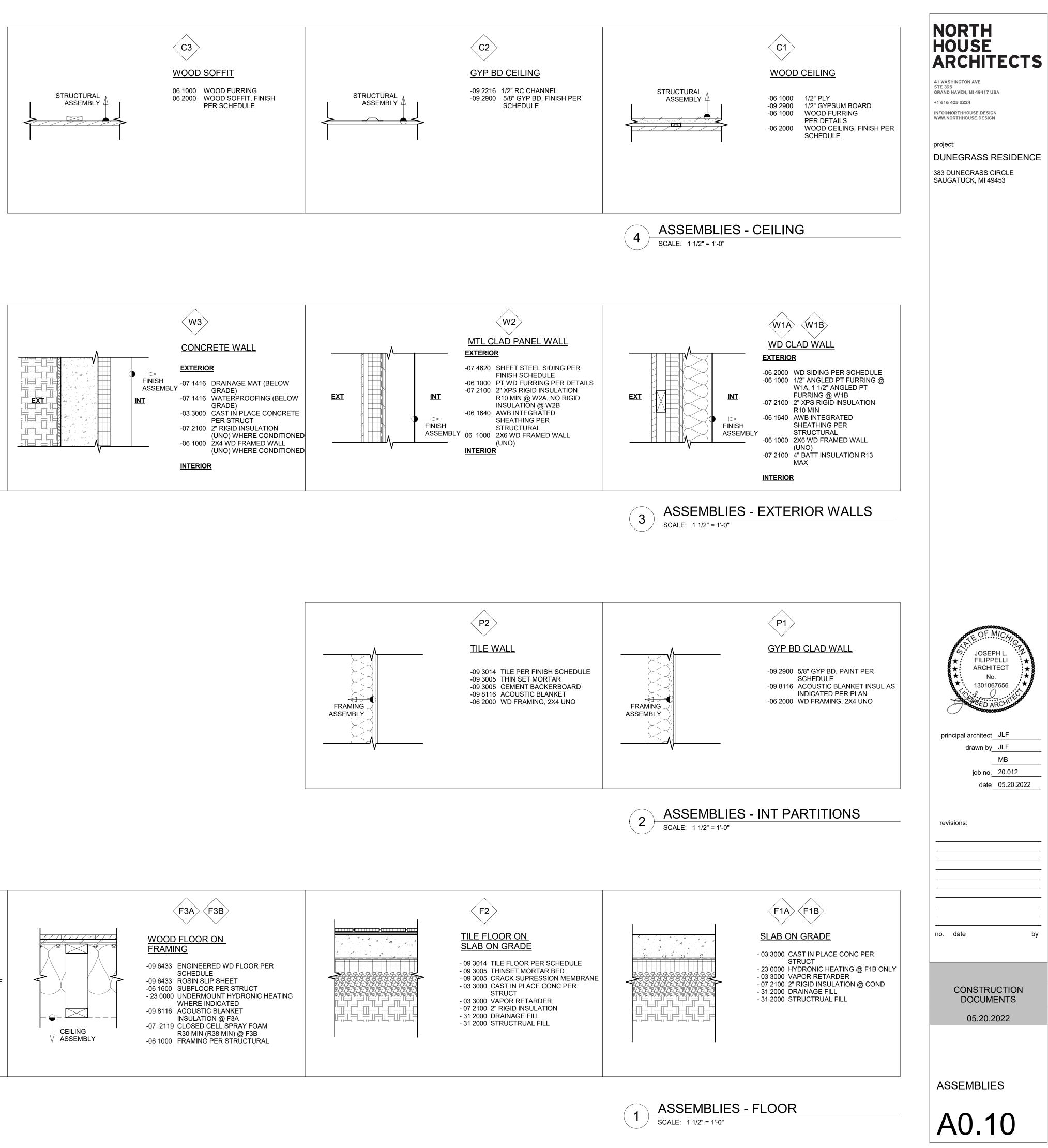


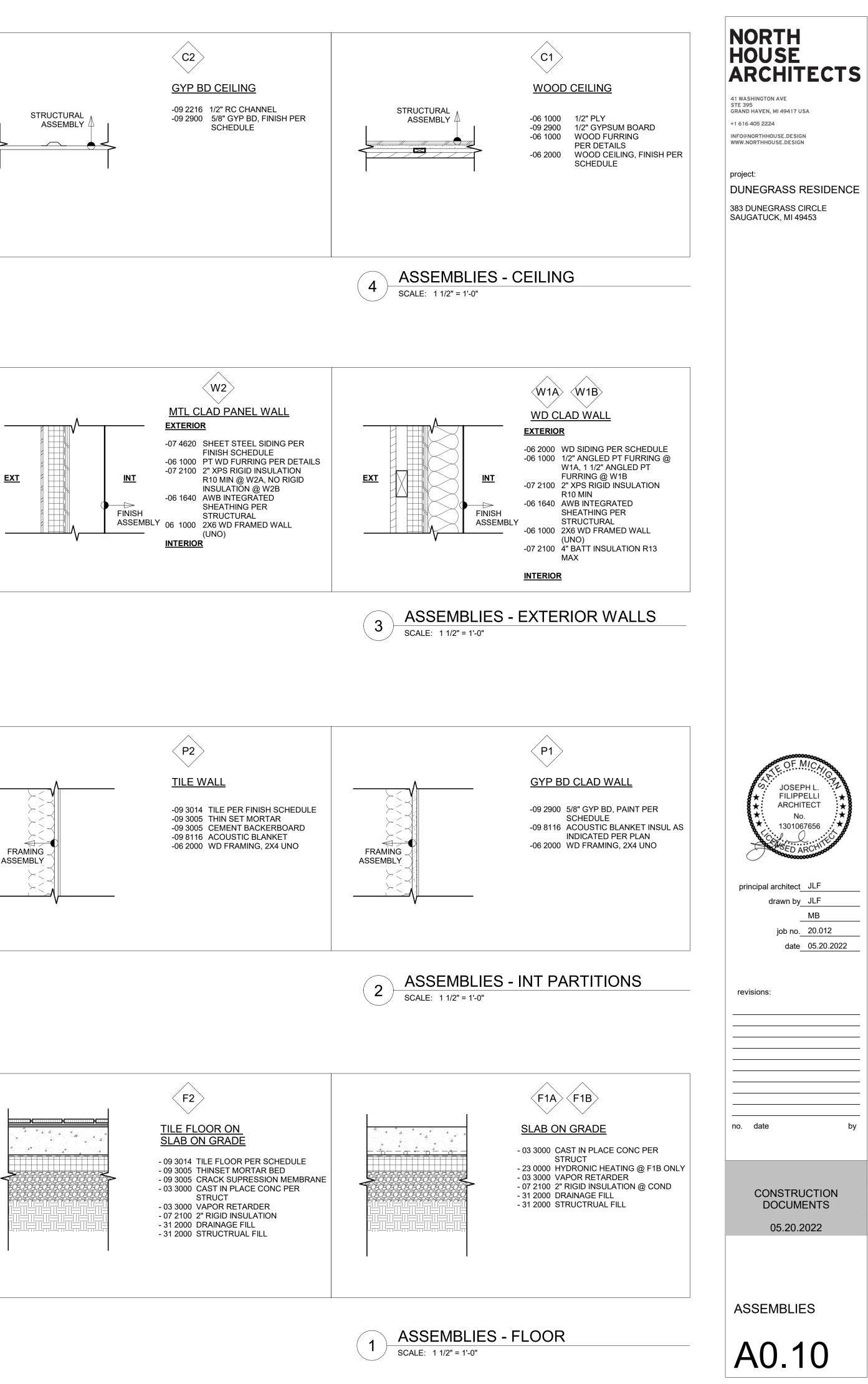


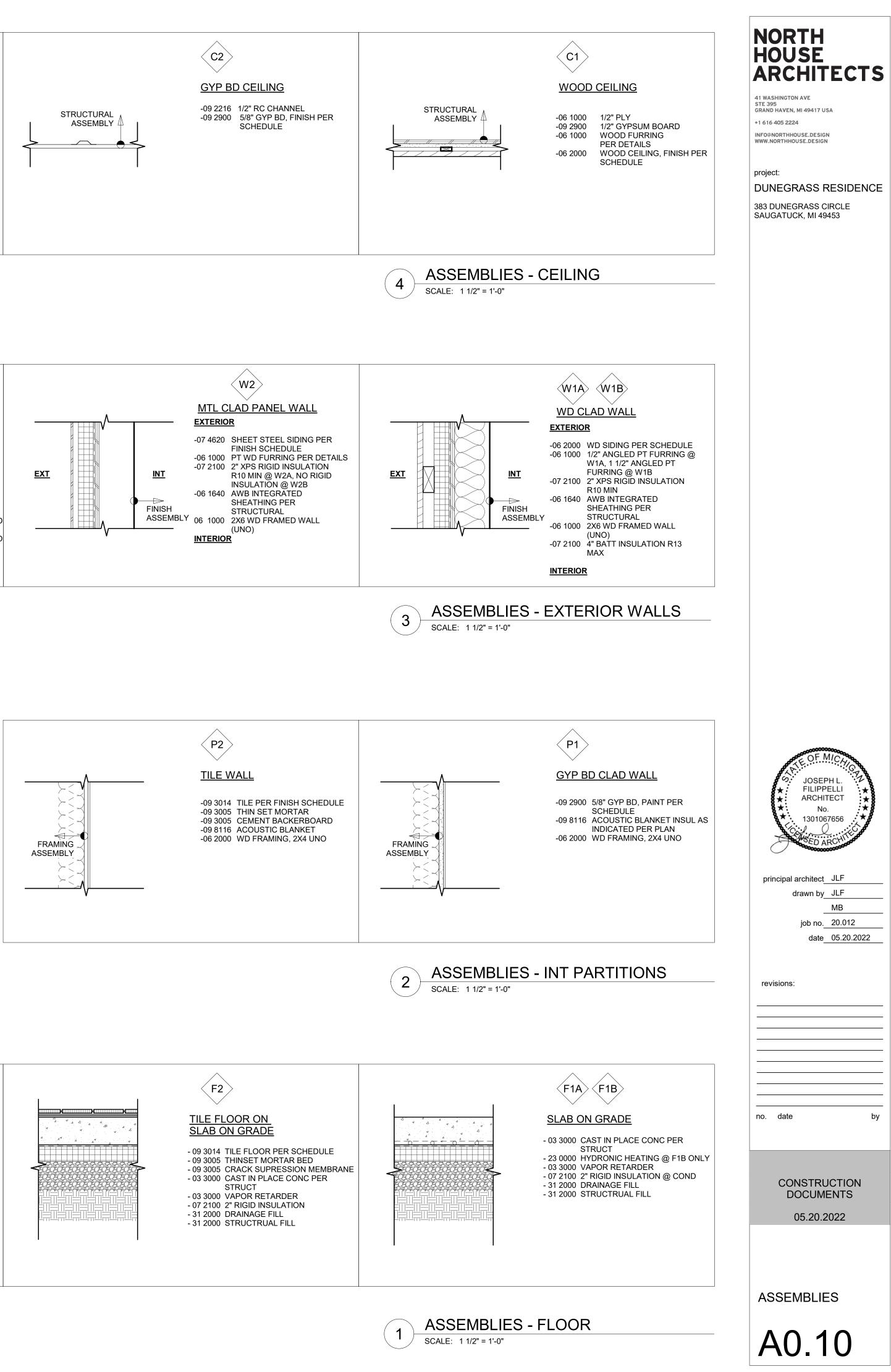
LOWER LEVEL AREA PLAN SCALE: 1/16" = 1'-0"

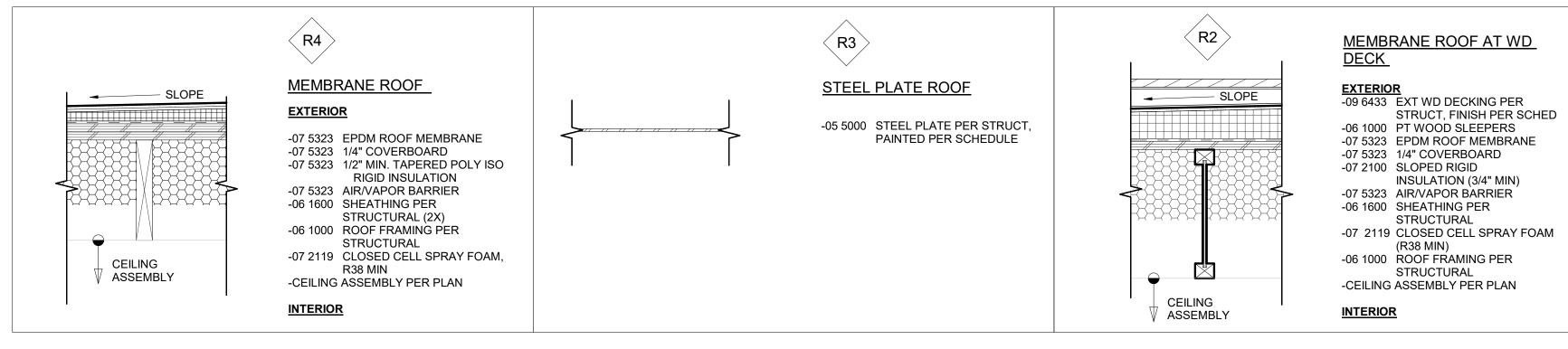














41 WASHINGTON AVE STE 395 GRAND HAVEN, MI 49417 USA +1 616 405 2224 INFO@NORTHHOUSE.DESIGN WWW.NORTHHOUSE.DESIGN

project: DUNEGRASS RESIDENCE 383 DUNEGRASS CIRCLE SAUGATUCK, MI 49453



principal architect JLF drawn by__JLF MB job no. 20.012 date__05.20.2022

revisions:

no. date

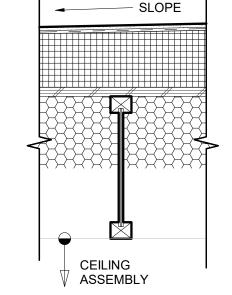
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CONSTRUCTION DOCUMENTS 05.20.2022

ASSEMBLIES



SLOPE $- \bigcirc -$ CEILING ▼ ASSEMBLY



-07 5323 EPDM ROOF MEMBRANE -07 5323 1/4" COVERBOARD -07 5323 4" MIN. TAPERED POLY ISO RIGID INSULATION R20 MIN -07 5323 AIR/VAPOR BARRIER -06 1000 ROOF FRAMING PER STRUCTURAL -07 2119 OPEN CELL SPRAY FOAM, R20 MAX -CEILING ASSEMBLY PER PLAN INTERIOR

R1

EXTERIOR

MEMBRANE ROOF

ASSEMBLIES - ROOF SCALE: 1 1/2" = 1'-0"



								GLAZING SCH	HEDULE		
		FRAME OFFSET FROM		FRAME OFFSET FRO	M	DIMEN	SIONS (ACTUAL FRAM	ИE)			
MARK	BASE SUBFLOOR	BASE SUBFLOOR	TOP PLATE	TOP PLATE	OPERATION	WIDTH	HEIGHT	AREA	MANUFACTURER	MODEL	
O FDN WALL											
1	TO FDN WALL	3/4"	Up to level: TO ML PLATE	-3/8"	CORNER GLASS FIXED (1)	4' - 10 1/2"	11' - 4 1/4"	55.347 SF	FLEETWOOD	3800-T	BLACK ANODIZED, SEE DETAILS FOR FROM OFFSETS
2	TO FDN WALL	3/4"	Up to level: TO ML PLATE	-3/8"	FIXED (1) AWNING (1)	12' - 9 1/2"	11' - 4 1/4"	145.214 SF	FLEETWOOD	3800-T	BLACK ANODIZED, AWNING HEIGHT 2'-0". SEE DETAIL
3	TO FDN WALL	3/4"	Up to level: TO ML PLATE	-3/8"	CORNER GLASS FIXED (1)	4' - 10 1/2"	11' - 4 1/4"	55.347 SF	FLEETWOOD	3800-T	BLACK ANODIZED, SEE DETAILS FOR FRAME OFFSET
O ML SUBFL	OOR	1					1				
4	TO ML SUBFLOOR	6' - 0 3/4"	Up to level: TO ML PLATE	-1' - 11 3/8"	AWNING (1)	2' - 1"	2' - 1"	4.340 SF	PELLA	RESERVE CONTEMPORARY	IRON ORE CLADDING, DOUG. FIR INTERIOR FINISH, 3/
5	TO ML SUBFLOOR	2' - 2"	Up to level: TO ML PLATE	-1 1/4"	FIXED (1), CASEMENT (1)	2' - 8"	7' - 9 7/8"	20.861 SF	PELLA	RESERVE CONTEMPORARY	IRON ORE CLADDING, DOUG. FIR INTERIOR FINISH, 3/
3	TO ML SUBFLOOR	6' - 2 3/4"	Up to level: TO ML PLATE	-1' - 11 3/8"	AWNING (1)	3' - 10"	1' - 11"	7.347 SF	PELLA	RESERVE CONTEMPORARY	IRON ORE CLADDING, DOUG. FIR INTERIOR FINISH, 3/
7	TO ML SUBFLOOR	3/4"	Up to level: TO ML PLATE	-2' - 0 7/8"	SWING DOOR	3' - 0"	7' - 11 1/2"	23.875 SF	PELLA	RESERVE CONTEMPORARY	IRON ORE CLADDING, DOUG. FIR INTERIOR FINISH, 3/
8	TO ML SUBFLOOR	3/4"	Up to level: TO ML PLATE	-1 1/4"	FIXED (2)	3' - 5 3/4"	9' - 11 1/8"	34.538 SF	PELLA	RESERVE CONTEMPORARY	IRON ORE CLADDING, DOUG. FIR INTERIOR FINISH, 3/
Э	TO ML SUBFLOOR	3/4"	Up to level: TO ML PLATE	-1 1/4"	FIXED (1), AWNING (1)	5' - 9"	9' - 11 1/8"	57.081 SF	PELLA	RESERVE CONTEMPORARY	IRON ORE CLADDING, DOUG. FIR INTERIOR FINISH, 3/
C	TO ML SUBFLOOR	3/4"	Up to level: TO ML PLATE	-1 1/4"	FIXED (1), AWNING (1)	5' - 9"	9' - 11 1/8"	57.081 SF	PELLA	RESERVE CONTEMPORARY	IRON ORE CLADDING, DOUG. FIR INTERIOR FINISH, 3/
1	TO ML SUBFLOOR	3/4"	Up to level: TO ML PLATE	-1 1/4"	FIXED (2)	5' - 9"	9' - 11 1/8"	57.081 SF	PELLA	RESERVE CONTEMPORARY	IRON ORE CLADDING, DOUG. FIR INTERIOR FINISH, 3/
2	TO ML SUBFLOOR	3/4"	Up to level: TO ML PLATE	-1 1/4"	FIXED (2)	5' - 9"	9' - 11 1/8"	57.081 SF	PELLA	RESERVE CONTEMPORARY	IRON ORE CLADDING, DOUG. FIR INTERIOR FINISH, 3/
3	TO ML SUBFLOOR	3/4"	Up to level: TO ML PLATE	-1 1/4"	OXXO SLIDER	14' - 0 1/2"	9' - 11 1/8"	139.393 SF	PELLA	RESERVE CONTEMPORARY	IRON ORE CLADDING, DOUG. FIR INTERIOR FINISH, 3/
4	TO ML SUBFLOOR	3/4"	Up to level: TO ML PLATE	-1 1/4"	FIXED (1), AWNING (1)	4' - 1 1/2"	9' - 11 1/8"	40.949 SF	PELLA	RESERVE CONTEMPORARY	IRON ORE CLADDING, DOUG. FIR INTERIOR FINISH, 3/
5	TO ML SUBFLOOR	3' - 0 3/4"	Up to level: TO ML PLATE	-1 1/4"	FIXED (1), AWNING (1)	3' - 5"	6' - 11 1/8"	23.668 SF	PELLA	RESERVE CONTEMPORARY	IRON ORE CLADDING, DOUG. FIR INTERIOR FINISH, 3/
C1	TO ML SUBFLOOR	-1/2"	Up to level: TO ML PLATE	-9 3/8"	XO SLIDER	7' - 5 3/4"	9' - 2 1/4"	68.695 SF	PELLA	IMPERVIA	BLACK FRAME, CUSTOM SLIDER SIZE
C2	TO ML SUBFLOOR	-1/2"	Up to level: TO ML PLATE	-9 3/8"	XO SLIDER	7' - 4 1/8"	9' - 4 1/4"	68.695 SF	PELLA	IMPERVIA	BLACK FRAME, CUSTOM SLIDER SIZE
C3	TO ML SUBFLOOR	-1/2"	Up to level: TO ML PLATE	-9 3/8"	XO SLIDER	9' - 3 1/4"	9' - 4 1/4"	86.721 SF	PELLA	IMPERVIA	BLACK FRAME, CUSTOM SLIDER SIZE
C4	TO ML SUBFLOOR	-1/2"	Up to level: TO ML PLATE	-9 3/8"	O SLIDER FIXED PANEL	4' - 7 3/8"	9' - 4 1/4"	43.166 SF	PELLA	IMPERVIA	BLACK FRAME, CUSTOM SLIDER SIZE, FIXED WINDOV
C5	TO ML SUBFLOOR	-1/2"	Up to level: TO ML PLATE	-9 3/8"	XO SLIDER	7' - 4 1/8"	9' - 4 1/4"	68.695 SF	PELLA	IMPERVIA	BLACK FRAME, CUSTOM SLIDER SIZE
C6	TO ML SUBFLOOR	-1/2"	Up to level: TO ML PLATE	-9 3/8"	XO SLIDER	7' - 5 3/4"	9' - 2"	68.597 SF	PELLA	IMPERVIA	BLACK FRAME, CUSTOM SLIDER SIZE
OUL SUBFLO	DOR										
6	TO UL SUBFLOOR	6' - 2 3/4"	Up to level: TO UL PLATE	-1' - 1 3/8"	AWNING (1)	1' - 9"	1' - 9"	3.063 SF	PELLA	RESERVE CONTEMPORARY	IRON ORE CLADDING, DOUG. FIR INTERIOR FINISH, 3/
7	TO UL SUBFLOOR	6' - 2 3/4"	Up to level: TO UL PLATE	-1' - 1 3/8"	AWNING (1)	3' - 11"	1' - 9"	6.854 SF	PELLA	RESERVE CONTEMPORARY	IRON ORE CLADDING, DOUG. FIR INTERIOR FINISH, 3/
3	TO UL SUBFLOOR	2' - 0 3/4"	Up to level: TO UL PLATE	-1' - 1 3/8"	CASEMENT (1)	2' - 1"	5' - 11"	12.326 SF	PELLA	RESERVE CONTEMPORARY	IRON ORE CLADDING, DOUG. FIR INTERIOR FINISH, 3/
9	TO UL SUBFLOOR	2 3/4"	Up to level: TO UL PLATE	-1' - 1 3/8"	FIXED (1), CASEMENT (1)	2' - 8"	7' - 9"	20.667 SF	PELLA	RESERVE CONTEMPORARY	IRON ORE CLADDING, DOUG. FIR INTERIOR FINISH, 3/
C	TO UL SUBFLOOR	3/4"	Up to level: TO UL PLATE	-1' - 0 7/8"	SWING DOOR	3' - 0"	7' - 11 1/2"	23.875 SF	PELLA	RESERVE CONTEMPORARY	IRON ORE CLADDING, DOUG. FIR INTERIOR FINISH, 3/
1	TO UL SUBFLOOR	6' - 2 3/4"	Up to level: TO UL PLATE	-1' - 1 3/8"	AWNING (1)	3' - 10"	1' - 9"	6.708 SF	PELLA		IRON ORE CLADDING, DOUG. FIR INTERIOR FINISH, 3/
2	TO UL SUBFLOOR	2' - 6"	Up to level: TO UL PLATE	-1' - 8 1/8"	FIXED (1), CASEMENT (1)	8' - 0"	4' - 11"	39.333 SF	PELLA	RESERVE CONTEMPORARY	IRON ORE CLADDING, DOUG. FIR INTERIOR FINISH, 3/
3	TO UL SUBFLOOR	2' - 6"	Up to level: TO UL PLATE	-1' - 8 1/8"	CASEMENT (1)	2' - 8"	4' - 11"	13.111 SF	PELLA	RESERVE CONTEMPORARY	IRON ORE CLADDING, DOUG. FIR INTERIOR FINISH, 3/
1	TO UL SUBFLOOR		Up to level: TO UL PLATE	-3' - 8 3/8"	FIXED (1)	2' - 0"	2' - 0"	4.000 SF	PELLA		IRON ORE CLADDING, DOUG. FIR INTERIOR FINISH, 3/
5	TO UL SUBFLOOR		Up to level: TO UL PLATE	-1' - 8 1/8"	FIXED (1), CASEMENT (1)	7' - 0"	4' - 11"	34.417 SF	PELLA		IRON ORE CLADDING, DOUG. FIR INTERIOR FINISH, 3/
6	TO UL SUBFLOOR		Up to level: TO UL PLATE	-1' - 1 3/8"	FIXED (1), CASEMENT (1)	2' - 8"	7' - 9"	20.667 SF	PELLA		IRON ORE CLADDING, DOUG. FIR INTERIOR FINISH, 3/
7	TO UL SUBFLOOR		Up to level: TO UL PLATE	-1' - 1 3/8"	FIXED (1)	6' - 6"	7' - 9"	50.375 SF	PELLA		IRON ORE CLADDING, DOUG. FIR INTERIOR FINISH, 3/
3						-	-	1419.165 SF			,,

GENERAL NOTES:

MARK	WIDTH	LENGTH	MODEL	DESCRIPTION
L1	2' - 0"	2' - 0"	FCM	FIXED CURB MOUNTED
		REMARKS		
S FOR FROM OF	FSETS			
	DETAILS FOR FRAME OF	FSETS		
S FOR FRAME OF	FFSETS			
	ISH, 3/4" DOUG FIR JAM			
			DARD CASEMENT SIZE, CA	SEMENT HEIGHT 5'-11"
	ISH, 3/4" DOUG FIR JAM		DARD AWNING SIZE	
	ISH, 3/4" DOUG FIR JAM			
	ISH, 3/4" DOUG FIR JAM			
			OM AWNING SIZE, AWNING	
			OM AWNING SIZE, AWNING	HEIGHT 2'-0"
	ISH, 3/4" DOUG FIR JAM			
	ISH, 3/4" DOUG FIR JAM			
	ISH, 3/4" DOUG FIR JAM			
			OM AWNING SIZE, AWNING	
	ISH, 3/4" DOUG FIR JAM	BEXTENSIONS, CUST	OM AWNING SIZE, AWNING	HEIGHT 2'-0"
	INDOW IN SLIDER FRAM			
R SIZE				
IR INTERIOR FIN	ISH, 3/4" DOUG FIR JAM	B EXTENSIONS, STAN	DARD AWNING SIZE, WET L	OCATION-SEAL WOOD
IR INTERIOR FIN	ISH, 3/4" DOUG FIR JAM	B EXTENSIONS, STAN	DARD AWNING SIZE	
IR INTERIOR FIN	ISH, 3/4" DOUG FIR JAM	B EXTENSIONS, STAN	DARD CASEMENT SIZE	
IR INTERIOR FIN	ISH, 3/4" DOUG FIR JAM	B EXTENSIONS, STAN	DARD CASEMENT SIZE, CA	SEMENT HEIGHT 5'-5"
IR INTERIOR FIN	ISH, 3/4" DOUG FIR JAM	B EXTENSIONS, STAN	DARD DOOR SIZE	
IR INTERIOR FIN	ISH, 3/4" DOUG FIR JAM	B EXTENSIONS, STAN	DARD AWNING SIZE	
IR INTERIOR FIN	ISH, 3/4" DOUG FIR JAM	B EXTENSIONS, STAN	DARD CASEMENT SIZE, PR	CE AS 3 EQ CASEMENTS AS ALTERNATE
IR INTERIOR FIN	ISH, 3/4" DOUG FIR JAM	B EXTENSIONS, STAN	DARD CASEMENT SIZE	
R INTERIOR FIN	ISH, 3/4" DOUG FIR JAM	B EXTENSIONS		
				CE AS 3 EQ CASEMENTS AS ALTERNATE
IR INTERIOR FIN	ISH, 3/4" DOUG FIR JAM	BETTENSIONS STAN	DARD CASEMENT SIZE CA	SEMENT HEIGHT 5'-5"
		DEATENSIONS, STANL	DARD OAGEMENT OIZE, OA	

NORTH HOUSE ARCHITECTS
41 WASHINGTON AVE STE 395 GRAND HAVEN, MI 49417 USA

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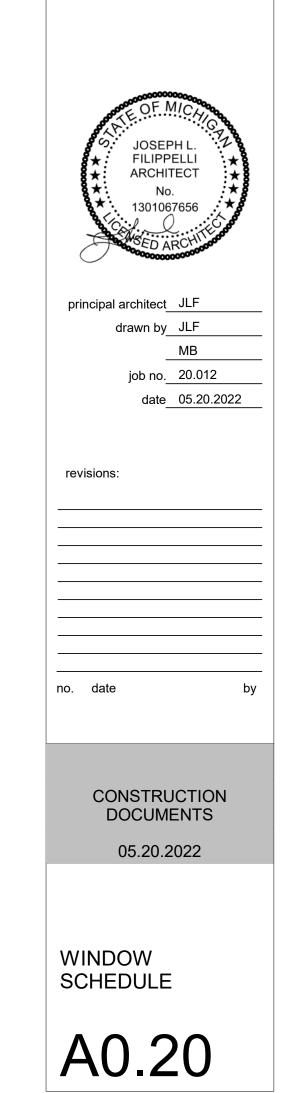
project: DUNEGRASS RESIDENCE 383 DUNEGRASS CIRCLE SAUGATUCK, MI 49453

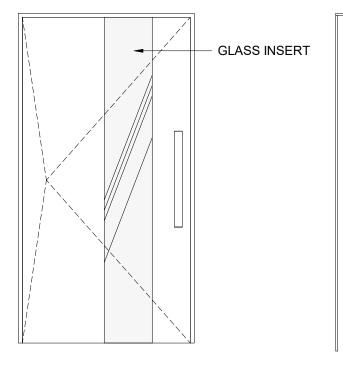
1: FIELD VERIFY ALL ROUGH OPENINGS IN CONGRUENCE WITH ARCHITECTURAL DRAWINGS.

2: ALL WINDOWS AND DOORS ARE SIZED TO 1" LESS IN WIDTH THAN ROUGH OPENING. (RO IS 1/2" PER SIDE)

3: SEE SKYLIGHT SCHEDULE FOR ALL SKYLIGHT DIMENSIONS.

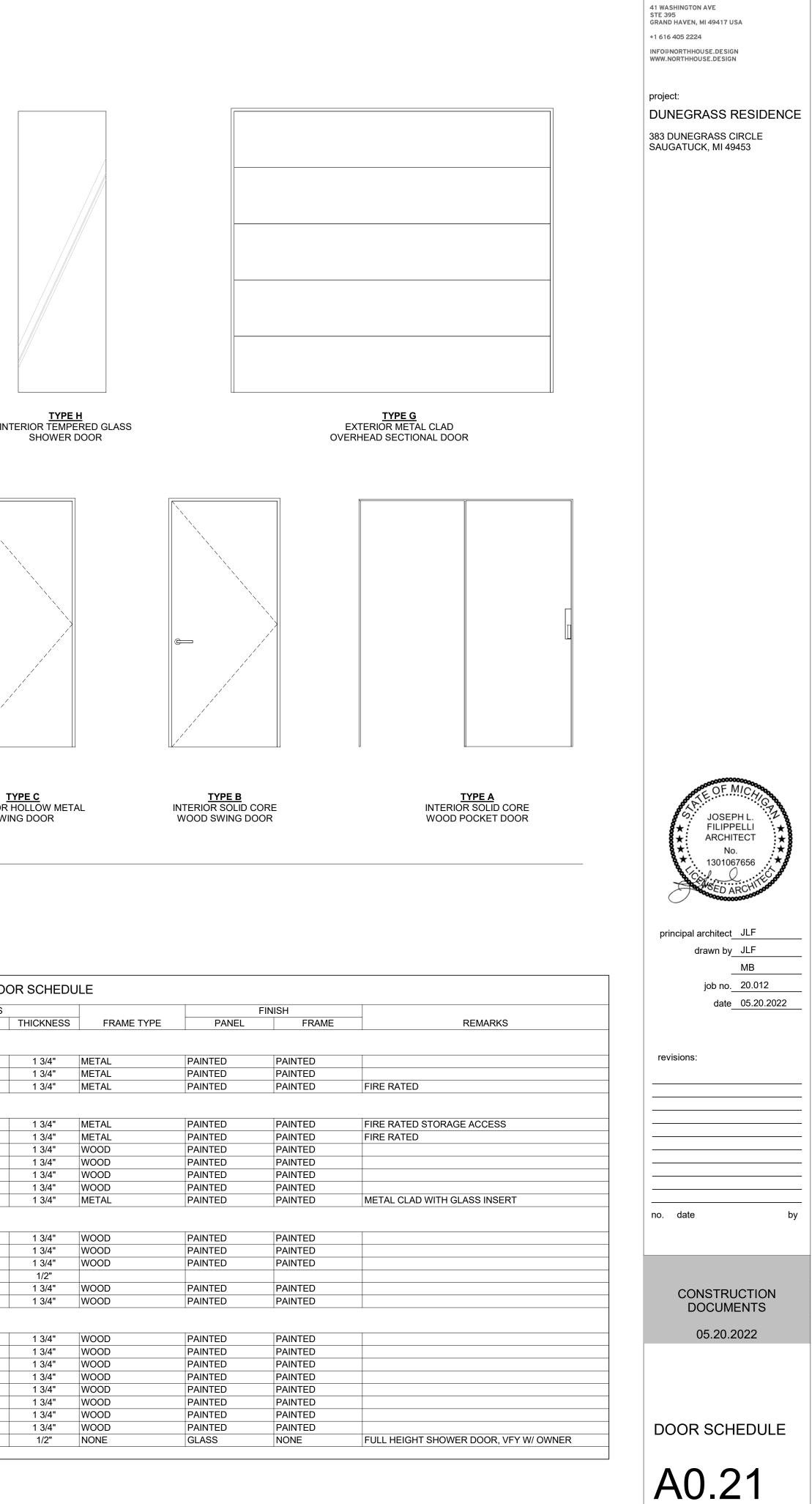
4: ALL U-VALUES TO MEET AND EXCEED U-VALUE CODE

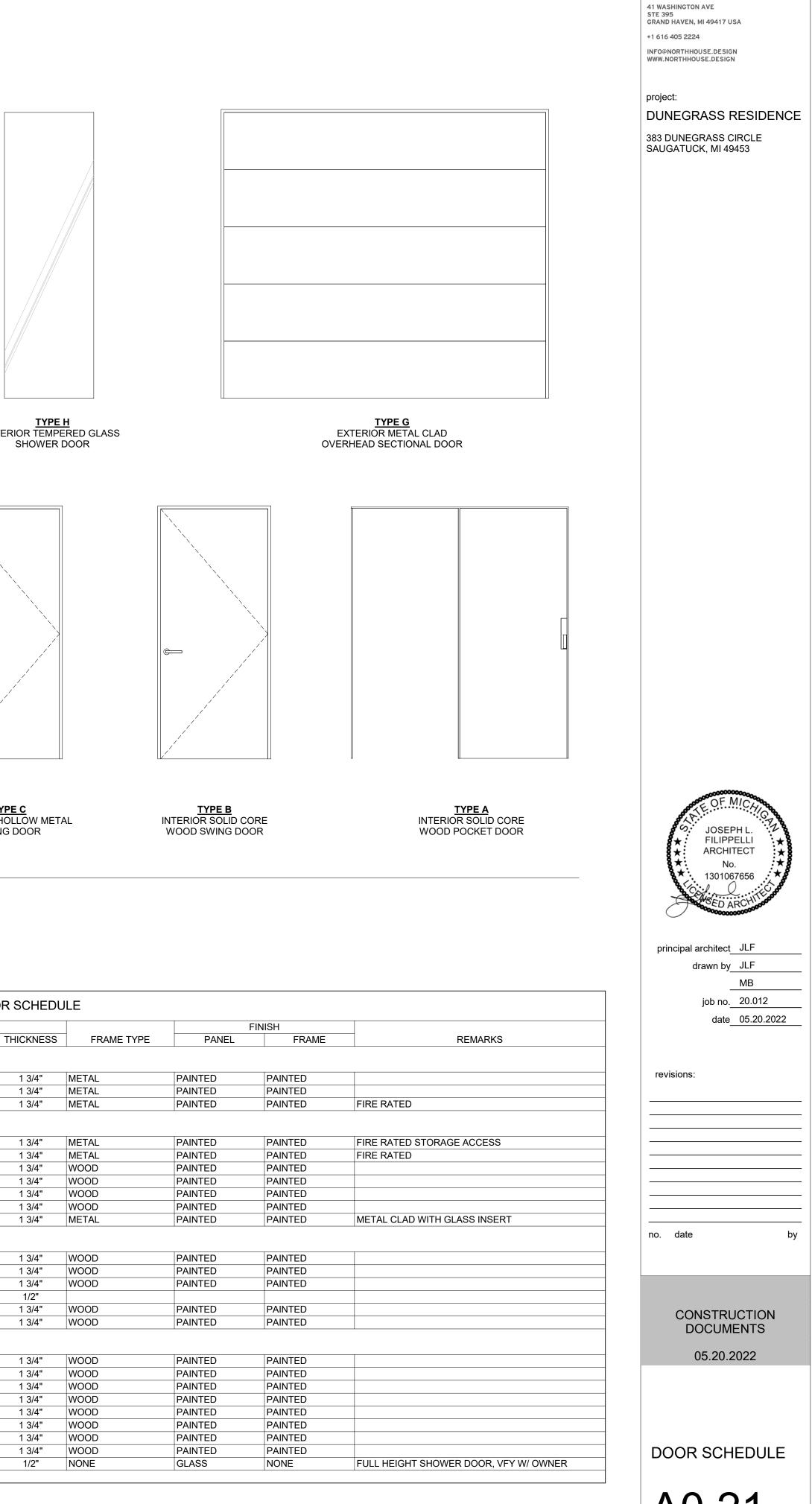


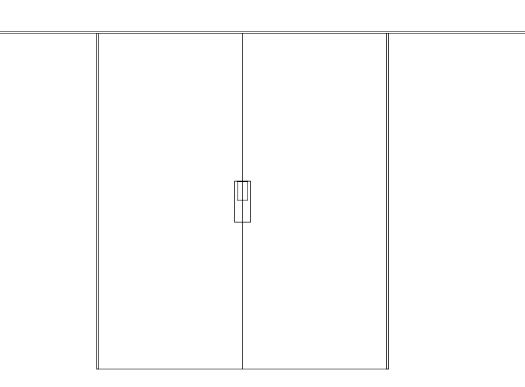


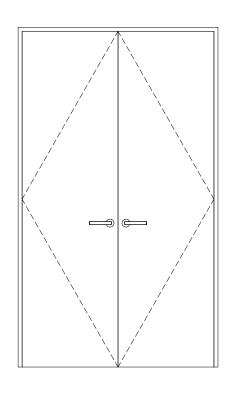
<u>**TYPE F**</u> EXTERIOR METAL PIVOT DOOR

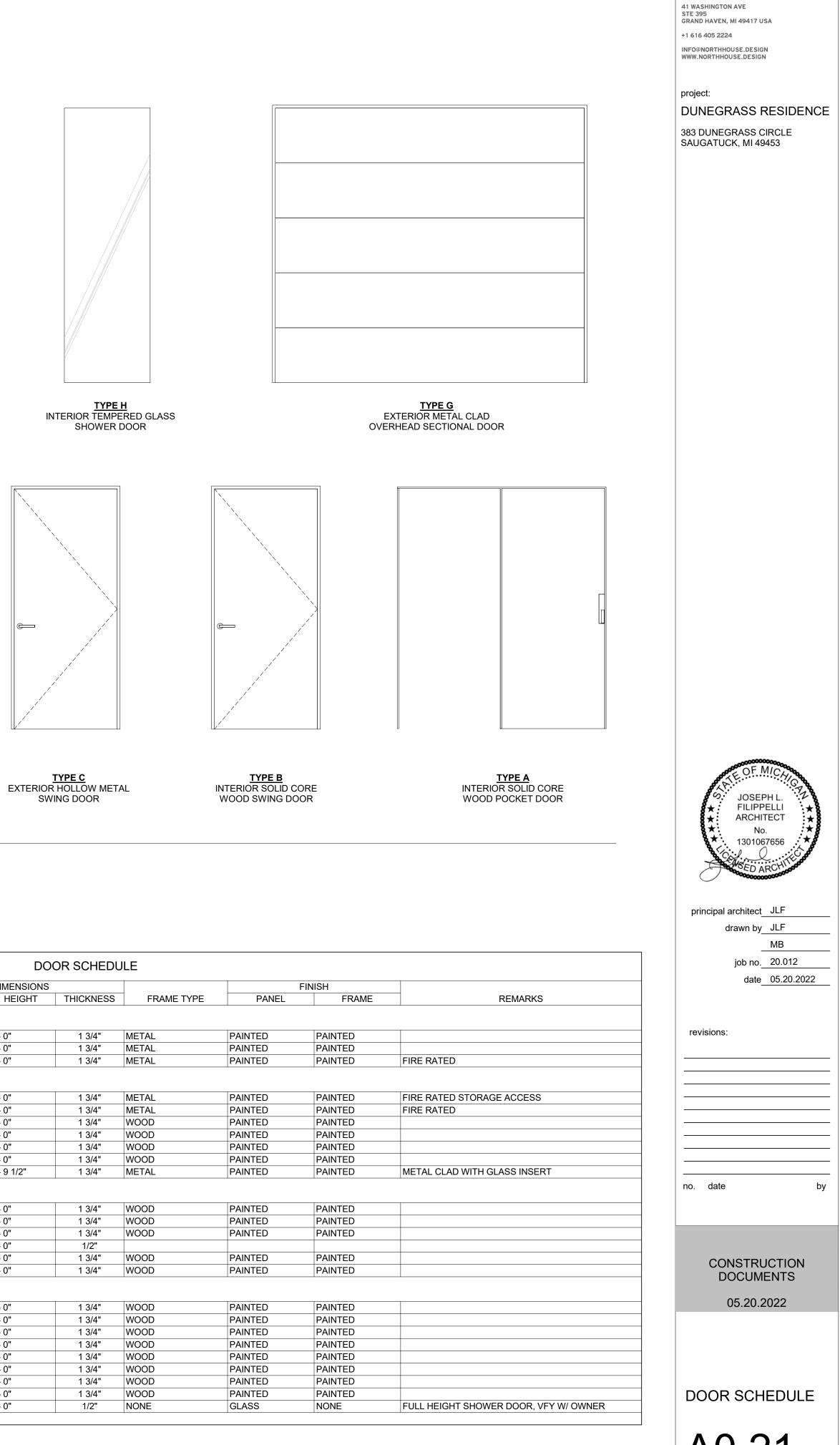
DOOR TYPES SCALE: 1/2" = 1'-0"











<u>TYPE E</u> INTERIOR SOLID CORE DOUBLE WOOD POCKET DOOR

<u>TYPE D</u> INTERIOR SOLID CORE WOOD DOUBLE SWING DOOR

GENERAL HARDWARE NOTES:

1: SARGENT, GRAMERCY SERIES, MODEL REM, STAINLESS

2: EMTEK POCKET DOOR MORTISE - ROUND, BRUSHED NICKEL

3: CABINET HARDWARE: "MOCKETT" OR EQUAL, FULLY MORTISED.

					DIMENSIONS		Τ
MARK	LOCATION	OPERATION	TYPE	WIDTH	HEIGHT	THICKNESS	
GARAGE SLAB							
001.1	GARAGE	OVERHEAD	G	9' - 0"	8' - 0"	1 3/4"	
001.2	GARAGE	OVERHEAD	G	16' - 0"	8' - 0"	1 3/4"	Ţ
001.3	STORAGE / MECHANICAL	SWING	С	3' - 0"	8' - 0"	1 3/4"	
ENTRY SLAB							
001.4	GARAGE	SWING	С	3' - 0"	3' - 0"	1 3/4"	Ţ
004.1	MUDROOM	SWING	C	3' - 0"	8' - 0"	1 3/4"	1
004.2	LAUNDRY	SWING	B	2' - 8"	8' - 0"	1 3/4"	+
004.3	BATH 1	POCKET	A	2' - 8"	8' - 0"	1 3/4"	7
004.4	MUDROOM	SWING	В	1' - 6"	8' - 0"	1 3/4"	7
006.1	ENTRY FOYER	POCKET	А	3' - 0"	8' - 0"	1 3/4"	7
006.2	ENTRY FOYER	PIVOT	F	3' - 6"	6' - 9 1/2"	1 3/4"	T
MAIN LEVEL FF	STAIR FOYER	DOUBLE SWING	D	4' - 0"	8' - 0"	1 3/4"	,
105.1	DEN	DOUBLE SWING	E	6' - 0"	9' - 0"	1 3/4"	-,
105.2	DEN	POCKET	L	2' - 6"	8' - 0"	1 3/4"	+,
106.1	BATH 2	SWING	н	2'-6"	9' - 0"	1/2"	+
107.1	PWDR	POCKET	A	2'-6"	8' - 0"	1 3/4"	+,
107.2	PWDR	POCKET	A	2' - 6"	8' - 0"	1 3/4"	-,
107.2	TWDR	TOORET	~	2-0	0-0	1 3/4	
UPPER LEVEL	FF						
201.1	OFFICE	DOUBLE SWING	D	4' - 0"	8' - 0"	1 3/4"	,
202.1	BEDROOM 1	SWING	В	2' - 8"	8' - 0"	1 3/4"	1
203.1	OFFICE	POCKET	А	3' - 0"	8' - 0"	1 3/4"	1
203.2	BATH 3	POCKET	А	2' - 6"	8' - 0"	1 3/4"	,
204.1	BEDROOM 2	SWING	В	2' - 8"	8' - 0"	1 3/4"	,
205.1	MASTER BEDROOM	SWING	В	3' - 0"	8' - 0"	1 3/4"	1
206.1	MASTER BEDROOM	POCKET	А	2' - 6"	8' - 0"	1 3/4"	1
207.1	MASTER BEDROOM	POCKET	А	2' - 6"	8' - 0"	1 3/4"	1
207.3	MASTER BATH	SWING	Н	2' - 6"	9' - 0"	1/2"	1

NORTH HOUSE ARCHITECTS

				FINISH AND PRIMARY BUILDING MATERIAL SCHEDULE		
DIV 01 GEN	ERAL REQUIREMENTS					
	ADMINISTRATIVE REQUIREMENTS	CONDUCT PRE	ECONSTRUCTION CONFERENCE WITH ARCHIT	ECT BEFORE STARTING CONSTRUCTION; CONDUCT REGULAR PROGRESS MEETINGS; PREPARE SCHEDULE OF SUBMITTALS; RFIs - ALLOW SEVEN WORKING DAYS FOR ARCHITECT'S RESPONSE		
	SUBMITTAL PROCEDURES			N AND COORDINATE SUBMITTALS, AND STAMPED "REVIEWED" PRIOR TO SUBMISSION TO ARCHITECT; DO NOT ORDER MATERIALS, FABRICATE PRODUCTS, OR OTHERWISE COMMIT RESOURCES PRIOR TO ARCHITECT'S ACCEPTANCE OF SUBMITTALS		
	QUALITY REQUIREMENTS			HAVING JURISDICTION AND THOSE INDICATED; COMPLY WITH REFERENCED INDUSTRY AND REGULATORY STANDARDS; BUILD FULL-SCALE MOCKUPS WHERE INDICATED TO ESTABLISH THE STANDARD BY WHICH THE WORK WILL BE JUDGED		
	PRODUCT REQUIREMENTS			CCEPTANCE OF SUBMITTED PRODUCT DATA FOR PROPOSED SUBSTITUTION		
	EXECUTION		TECT OF OMISSIONS OR CONFLICTS AND REC	UEST CLARIFICATION BEFORE PROCEEDING; FOR PRICING PURPOSES, ASSUME THE MOST COSTLY OF CONFLICTING REQUIREMENTS; FOR OMISSIONS ASSUME A LEVEL OF QUALITY CONSISTENT WITH THE GENERAL QUALITY LEVEL OF THE PROJECT.		
KEY NAME	MATERIAL	SPEC SECTION	N	DESCRIPTION	SUBMITTAL	МОСКИР
DIV 03 CON					CODMITTAL	
	SITE CAST CONCRETE SLAB	03 3000	CAST-IN-PLACE CONSTRUCTION	NATURAL, NO INTEGRAL COLOR: COMPLY WITH STRUCTURAL DRAWINGS: UNDER SLAB VAPOR RETARDER TO BE CLASS A. MIN 15 MILS THICK. MAX 0.01 PERMS		
CONC-2	ARCHITECTURAL SITE CAST CONCRETE SLAB	03 3000	CAST-IN-PLACE CONSTRUCTION	HARD-TROWEL, MINIMIZE PATTERN & SAWCUT JOINTS; SEALER PER INSTALLER - MINIMIZE SHEEN; INTEGRAL COLOR TBD; UNDER SLAB VAPOR RETARDER TO BE CLASS A, MIN 15 MILS THICK, MAX 0.01 PERMS		30" SQUARE SLAB SECTION
CONC-3	ARCHITECTURAL SITE CAST CONCRETE WALL	03 3000	CAST-IN-PLACE CONSTRUCTION	NATURAL, NO INTEGRAL COLOR; COMPLY WITH STRUCTURAL DRAWINGS - COORDINATE JOINTS WITH ARCHITECT PRIOR TO ERECTING FORMWORK		PORTION OF EXPOSED WALL PRIOR TO FULL EXECUTION
DIV 05 MET	· · · · · · · · · · · · · · · · · · ·					
MTL-1	STRUCTURAL STEEL	05 1200	STRUCTURAL STEEL FRAMING	WHERE VISIBLE - SHERWIN WILLIAMS SHER-CRYL HPA, SEMI GLOSS, (OR EQUAL) PAINTED PER MFG RECOMMENDATIONS; COLOR TBD; COMPLY WITH STRUCTURAL DRAWINGS	SHOP DRAWINGS, FINISHED SAMPLES	
MTL-2	FABRICATED STEEL ITEMS	05 5000	METAL FABRICATIONS	WHERE VISIBLE - SHERWIN WILLIAMS PRO INDUSTRIAL DTM, SEMI GLOSS, (OR EQUAL) PAINTED PER MFG RECOMMENDATIONS; COLOR TBD; COMPLY WITH STRUCTURAL DRAWINGS WHERE REQ'D; EXPOSED FASTENING TO BE VERIFIED WITH ARCHITECT	SHOP DRAWINGS, FINISHED SAMPLES	
MTL-5	STEEL GUARDRAIL	05 5000	METAL FABRICATIONS	2" x 1/2" STEEL FLAT BAR W/ 5/8" WELDED STEEL ROD, FINISH TO MATCH MTL-2	SHOP DRAWINGS, FINISHED SAMPLES	S FABRICATED SECTION
DIV 06 WOO						
	ROUGH FRAMING, ENGINEERED WOOD PRODUCTS	06 1000	ROUGH CARPENTRY	COMPLY WITH STRUCTURAL DRAWINGS WHERE APPLICABLE	SHOP DRAWINGS WHERE APPLICABLE	
	WOOD SHEATHING	06 1600	SHEATHING	COMPLY WITH STRUCTURAL DRAWINGS WHERE AFFEICABLE	SHOP DRAWINGS WHERE AFFLICABLE	
	INTEGRATED AIR/WEATHER BARRIER SHEATHING PRODUCTS	<u> </u>	AIR/WEATHER BARRIER STRUCTURAL SHEA			
WD-1	EXTERIOR WOOD SIDING	06 2000	FINISH CARPENTRY	WESTERN RED CEDAR. "D" & BETTER CLEAR. 1X6 SHIPLAP: STAIN TBD	FINISHED SAMPLES	36" SQUARE SECTION IN RELATIONSHIP WITH WINDOW & EXTERIOR TRIM
WD-2	STAINED INTERIOR WOOD TRIM	06 2000	FINISH CARPENTRY	WOOD SPECIES & STAIN TO MATCH ADJACENT WINDOWS & DOORS; SEE DETAILS FOR PROFILES		PORTION OF INTERIOR FRAME PRIOR TO FULL EXECUTION, INCLUDE WALL BASE
WD-3	PAINTED INTERIOR WOOD TRIM	06 2000	FINISH CARPENTRY	POPLAR, PAINTED; MDF MAY BE SUITABLE FOR LARGER PANELS; SEE DETAILS FOR PROFILES		PORTION OF INTERIOR FRAME PRIOR TO FULL EXECUTION, INCLUDE WALL BASE
WD-4	WOOD DECKING	06 2000	FINISH CARPENTRY	IPE, NO STAIN; COMPLY WITH STRUCTURAL DRAWINGS	FINISHED SAMPLES	
WD-5	WOOD CEILING/ SOFFIT	06 2000	FINISH CARPENTRY	WESTERN RED CEDAR, "D" & BETTER CLEAR, 1X6 T&G, NICKEL GAP REVEAL; STAIN TBD	FINISHED SAMPLES	48" SQUARE MOUNTED TO CEILING
WD-6	STAINED CASEWORK AND FIXED PANELS TO MATCH	06 4000	ARCHITECTURAL WOODWORK	RIFT SAWN WHITE OAK VENEER, SEALED, MAPLE CASEWORK INTERIORS; STAIN TBD; VERIFY GRAIN ORIENTATION WITH ARCHITECT	SHOP DRAWINGS, FINISHED SAMPLES	
WD-7	PAINTED CASEWORK AND FIXED PANELS TO MATCH	06 4000	ARCHITECTURAL WOODWORK	PAINT GRADE WOOD; COLOR TBD	SHOP DRAWINGS, FINISHED SAMPLES	S
WD-9	EXTERIOR WOOD TRIM	06 4000	ARCHITECTURAL WOODWORK	MATCH WD-1 SIDING MATERIAL	FINISHED SAMPLES	
WD-10	GLUE-LAMINATED EXPOSED COLUMNS	06 1800	GLUE-LAMINATED CONSTRUCTION	VISUAL GRADE; COMPLY WITH STRUCTURAL DRAWINGS; FINISH TO MATCH METAL CLAD WOOD WINDOW FRAMES	FINISHED SAMPLES	
WD-11	INTERIOR WOOD FLOOR TREADS	06 2000	ARCHITECTURAL WOODWORK	SOLID WHITE OAK STAIR DREADS PER DETAILS; FINISH TO MATCH WD-8	FINISHED SAMPLES	ONE TREAD & RISER MOCKED UP PRIOR TO FULL EXECTUTION
	RMAL AND MOISTURE PROTECTION					
	EXTERIOR & INTERIOR INSULATION	07 2100	THERMAL INSULATION	REFERENCE ASSEMBLIES FOR TYPE & MINIMUM R-VALUES IN GENERAL LOCATIONS; SEE DETAILS FOR SPECIFIC INSTANCES		
	SPRAY FOAM INSULATION	07 2100	FOAMED-IN-PLACE INSULATION	SEE DETAILS FOR APPLICATIONS; REFERENCE ASSEMBLIES FOR MINIMUM R-VALUES		
MTI -4	EXTERIOR STEEL WALL PANEL	07 4620	SHEET STEEL SIDING	16 GAUGE, COLD ROLLED STEEL, PAINTED WITH SHERWIN WILLIAMS PRO INDUSTRIAL DTM, SEMI GLOSS (OR EQUAL); PAINTED PER MFG RECOMMENDATIONS; COLOR TBD; EXPOSED PAN HEAD FASTENERS TO BE VERIFIED WITH ARCHITECT	FINISHED SAMPLE	TYPICAL WALL PANEL, FASTENER AND JOINT CONDITION
MEMB-1	LOW SLOPE EPDM MEMBRANE ROOFING	07 5323	EPDM MEMBRANE ROOFING	60 MIL THICKNESS; POLY ISO BOARD INSULATION TO ACHIEVE ROOF SLOPES		
MTL-3	FLASHINGS, COPINGS, AND OTHER SHEET METAL ITEMS	07 6200	SHEET METAL FLASHING AND TRIM	22 GAUGE WHERE EXPOSED IN FINISHED CONSTRUCTION & 26 GAUGE WHERE FULLY CONCEALED; FINISH WITH FLUOROPOLYMER WHERE VISIBLE; COLOR TO MATCH WINDOW CLADDING	FINISHED SAMPLE	PORTION OF WINDOW AT WINDOW TO DEMONSTRATE AESTHETIC EFFECTS & SET QUALITY STANDARDS
SAF	SELF-ADHERING SHEET FLASHING	07 6526	SELF-ADHERING SHEET FLASHING	WHEN USING AN INTEGRATED AWB SHEATHING PRODUCT, USE MANUFACTURER'S RECOMMENDED FLASHING ACCESSORIES FOR A COMPLETE COMPATIBLE SYSTEM		
LAF	LIQUID-APPLIED FLASHING	07 6529	LIQUID-APPLIED FLASHING	WHEN USING AN INTEGRATED AWB SHEATHING PRODUCT, USE MANUFACTURER'S RECOMMENDED FLASHING ACCESSORIES FOR A COMPLETE COMPATIBLE SYSTEM OTHERWISE PROSOCO R-GUARD FASTFLASH OR EQUAL		
LAJ	LIQUID APPLIED JOINT & GAP FILLER	07 9126	JOINT FILLER	PROSCO R-GUARD JOINT & SEAM FILLER		
SEAL	SEALANTS FOR EXTERIOR AND INTERIOR JOINTS	07 9200	JOINT SEALANTS	EXT SEALANTS AND INT JOINTS (POROUS MATERIALS TO POROUS MATERIALS) - DOW CORNING 790 OR EQUAL; EXT SEALANTS AND INT JOINTS (NON-POROUS MATERIALS TO BOTH POROUS MATERIALS) - DOW CORNING 791 OR EQUAL		MOCK UP TO DEMONSTRATE AESTHETIC EFFECTS & SET QUALITY STANDARDS
DIV 08 OPE	NINGS (SEE GLAZING SCHEDULE FOR EXTERIOR WINDOW & DO					
DK-1	PAINT GRADE INTERIOR WOOD DOORS	08 1400	WOOD DOOR	SOLID CORE, POPLAR; PAINT TBD	FINISHED SAMPLE	
DIV 09 FINIS						
GYP-1	GYPSUM WALL BOARD	09 2900	GYPSUM BOARD	5/8" THICK BOARD; PAINT TBD	FINISHED SAMPLE	PORTION OF WALL TO DEMONSTRATE AESTHETIC EFFECTS & SET QUALITY STANDARDS
TIL F-1	CERAMIC FLOOR TILE	09 2900	CERAMIC AND STONE TILE	USE SETTING AND GROUTING MATERIALS RECOMMENDED BY MANUFACTURE FOR SPECIFIC APPLICATIONS REQUIRED; TILE TBD	FINISHED SAMPLE	PORTION OF FLOOR TO DEMONSTRATE AESTHETIC EFFECTS & SET QUALITY STANDARDS
TILE-2		09 3014	CERAMIC AND STONE TILE	USE SETTING AND GROUTING MATERIALS RECOMMENDED BY MANUFACTURE FOR SPECIFIC APPLICATIONS REQUIRED; THE TBD	FINISHED SAMPLE	PORTION OF WALL TO DEMONSTRATE AESTHETIC EFFECTS & SET QUALITY STANDARDS
WD-8	ENGINEERED WOOD FLOORING	09 6433	LAMINATED WOOD FLOORING	INTERIOR WOOD FLOORING, 3/4" ENGINEERED WHITE OAK, 8" BOARD WIDTH, SITE SANDED & FINISHED; OVER ROSIN SLIP SHEET; STAIN TBD	FINISHED SAMPLE	PORTION OF FLOOR TO DEMONSTRATE AESTHETIC EFFECTS & SET QUALITY STANDARDS
DIV 10 SPE			•		•	
GL-1	SHOWER GLASS & DOOR	10 2800	TOILET AND BATH ACCESSORIES	GLASS SHOWER DOORS/ PARTITIONS 1/2" CLEAR GLASS, TEMPERED. DOOR HARDWARE CR LAURENCE OR EQ. FINISH TO MATCH BATH FIXTURES		
DIV 12 FUR						
CNTR-1	MANUFACTURED COUNTER TOP	12 3530	RESIDENTIAL CASEWORK	TBD	FINISHED SAMPLE	

		PLUMBIN	IG SCHEDULE		
ROOM	ТҮРЕ	MANUFACTURER	MODEL	COLOR / FINISH	REMARKS
TO ENTRY SLAB					
BATH 1	SHOWER HEAD, ARM, VALVE TRIM	TBD	TBD	TBD	VERIFY WITH OWNER
BATH 1	SINGLE HOLE DECK MOUNT FAUCET - BATH	HANSGROHE	METRIS S 31163001	TBD	VERIFY WITH OWNER
BATH 1	FLOOR MOUNT TOILET	тото	AQUIA CST412 MB	TBD	VERIFY WITH OWNER
LAUNDRY	SINGLE HOLE DECK MOUNT FAUCET - BATH	HANSGROHE	METRIS S 31163001	TBD	VERIFY WITH OWNER
LAUNDRY	UNDERMOUNT SINK	KOHLER	KATHRYN 19.75" K-2330-0	TBD	VERIFY WITH OWNER
TO MAIN LEVEL FF					
BATH 2	SHOWER HEAD, ARM, VALVE TRIM	TBD	TBD	TBD	VERIFY WITH OWNER
BATH 2	SINGLE HOLE DECK MOUNT FAUCET - BATH	HANSGROHE	METRIS S 31163001	TBD	VERIFY WITH OWNER
BATH 2	UNDERMOUNT SINK	KOHLER	KATHRYN 19.75" K-2330-0	TBD	VERIFY WITH OWNER
KITCHEN	SINGLE HOLE DECK MOUNT FAUCET - KITCHEN	TBD	TBD	TBD	VERIFY WITH OWNER
KITCHEN	UNDERMOUNT SINK	JULIEN	003932 J7	STAINLESS	VERIFY WITH OWNER
PWDR	WALL MOUNT SINGLE HANDLE	HANSGROHE	METRIS S 31163001	TBD	VERIFY WITH OWNER
PWDR	UNDERMOUNT SINK	KOHLER	KATHRYN 19.75" K-2330-0	TBD	VERIFY WITH OWNER
PWDR	FLOOR MOUNT TOILET	тото	AQUIA CST412 MB	TBD	VERIFY WITH OWNER
TO UPPER LEVEL FF					
BATH 3	SHOWER HEAD, ARM, VALVE TRIM	TBD	TBD	TBD	VERIFY WITH OWNER
BATH 3	SINGLE HOLE DECK MOUNT FAUCET - BATH	HANSGROHE	METRIS S 31163001	TBD	VERIFY WITH OWNER
BATH 3	SINGLE HOLE DECK MOUNT FAUCET - BATH	HANSGROHE	METRIS S 31163001	TBD	VERIFY WITH OWNER
BATH 3	UNDERMOUNT SINK	KOHLER	KATHRYN 19.75" K-2330-0	TBD	VERIFY WITH OWNER
BATH 3	UNDERMOUNT SINK	KOHLER	KATHRYN 19.75" K-2330-0	TBD	VERIFY WITH OWNER
BATH 3	FLOOR MOUNT TOILET	тото	AQUIA CST412 MB	TBD	VERIFY WITH OWNER
BATH 3	TUB	TBD	TBD	TBD	VERIFY WITH OWNER
MASTER BATH	SINGLE HOLE DECK MOUNT FAUCET - BATH	HANSGROHE	METRIS S 31163001	TBD	VERIFY WITH OWNER
MASTER BATH	UNDERMOUNT SINK	KOHLER	KATHRYN 19.75" K-2330-0	TBD	VERIFY WITH OWNER
MASTER BATH	SHOWER HEAD, ARM, VALVE TRIM	TBD	TBD	TBD	VERIFY WITH OWNER
MASTER BATH	FLOOR MOUNT TOILET	тото	AQUIA CST412 MB	TBD	VERIFY WITH OWNER



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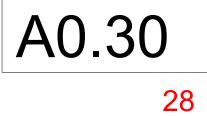
principal architect JLF drawn by__JLF MB job no. 20.012 date___05.20.2022

revisions:

no. date by

> CONSTRUCTION DOCUMENTS 05.20.2022

SCHEDULES



PROPOSED ASPHALT DRIVEWAY CL OF DRIVEWAY: LENGTH = 110', SLOPE < 10%, WATER RUNOFF TO GRAVEL LEACH BASING FOR GROUND RECHARGE WITHOUT IMPACT TO STEEP SLOPES

TEMPORARY SHORING TO PROTECT STEEP SLOPES, TYP

WATER, SEWER, POWER LINES

TEMPORARY STOCKPILE AREA

OPTIONAL GRAVEL SEATING AREA

EXPOSED CONC-3 CONCRETE LANDSCAPE **RETAINING WALL**

EXISTING GAS CONNECTION DRIVEWAY LEACH BASIN

PROPOSED STACKED STONE LANDSCAPE RETAINING WALLS. OPTION FOR RAILROAD TIE RETAINING, TYP



LIMIT OF DISTURBANCE, TYP

GRAVEL LEACH CONNECTED -TO CISTERN

CONC-1 STAIRS AND

FLATWORK

DRIVEWAY FIRE APPROVAL NOTES:

- DESIGN APPROVED PER REVIEW #1 02/10/2022:
- B: 16'-0" MIN. WIDTH
- C: MAX SLOPE = 10%
- F: CURB CUT PER CODE

GENERAL NOTES

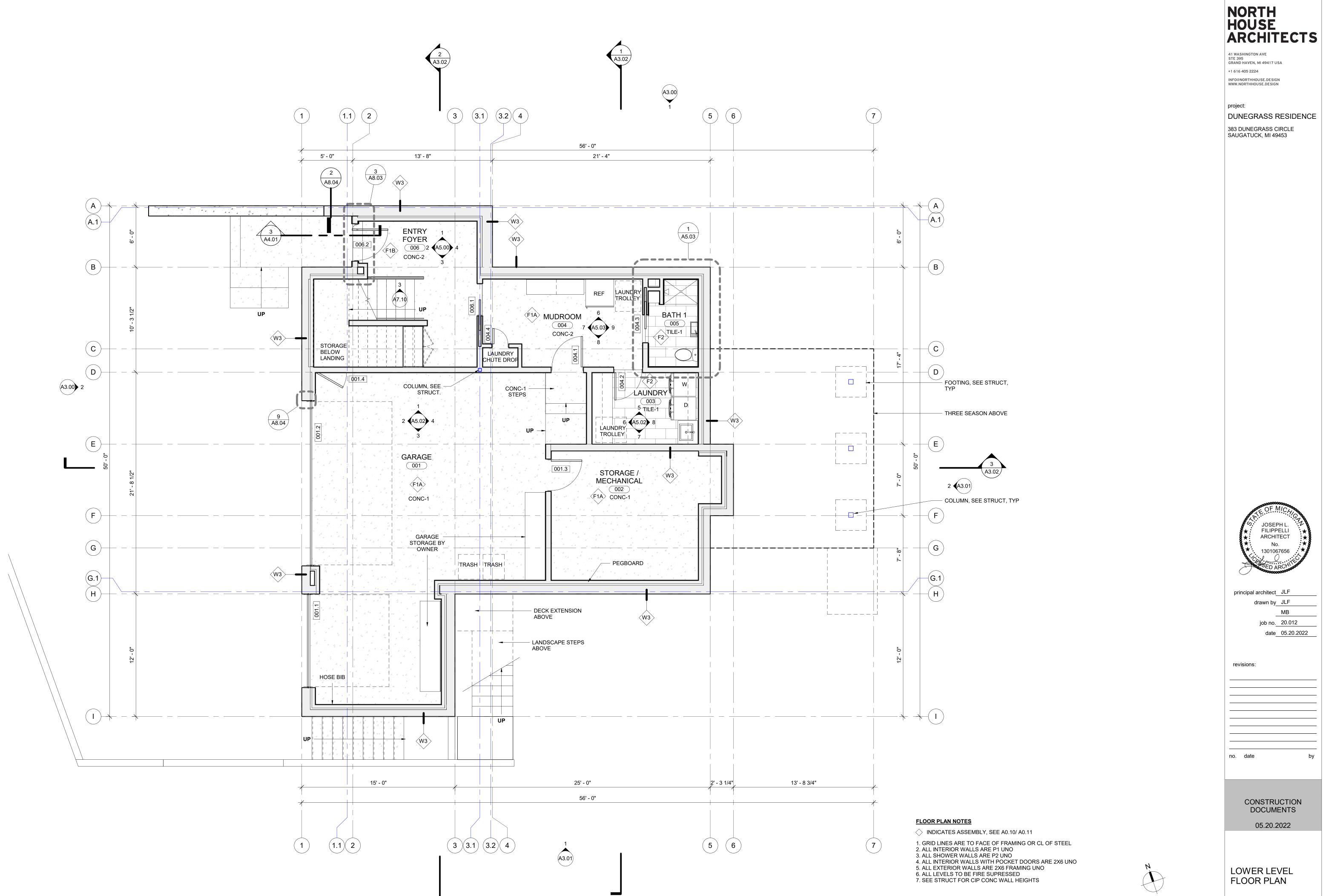
- A. THE SITE PLAN PROVIDES THE DISPOSAL OF STORM WATERS WITHOUT SERIOUS SOIL EROSION AND WITHOUT SEDIMENTATION OF ANY STREAM OR OTHER BODY OF WATER.
- B. DOWNSPOUTS TO COLLECT ALL WATER FROM ROOF TO DISPOSE OF STORM WATERS TO LEACH BAINS WITHOUT SERIOUS SOIL EROSION AND WITHOUT SEDIMENTATION OF ANY STREAM OR OTHER BODY OF WATER.

CONTOUR GRAPHIC LEGEND

---- EXISITING RE-GRADED CONTOURS ------ PROPOSED CONTOURS

SITE PLAN SCALE: 3/32" = 1'-0"

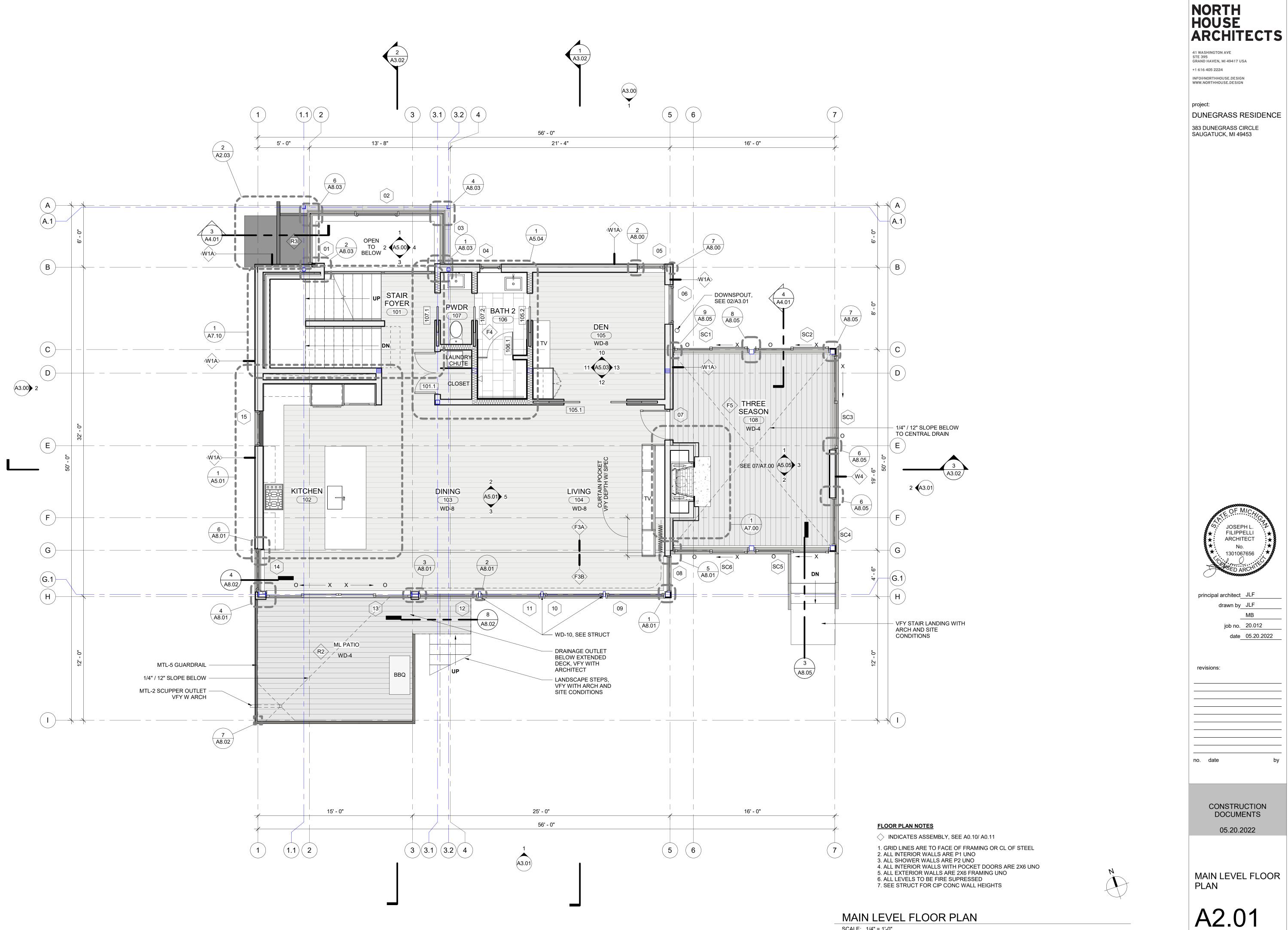
A1.00



LOWER LEVEL FLOOR PLAN

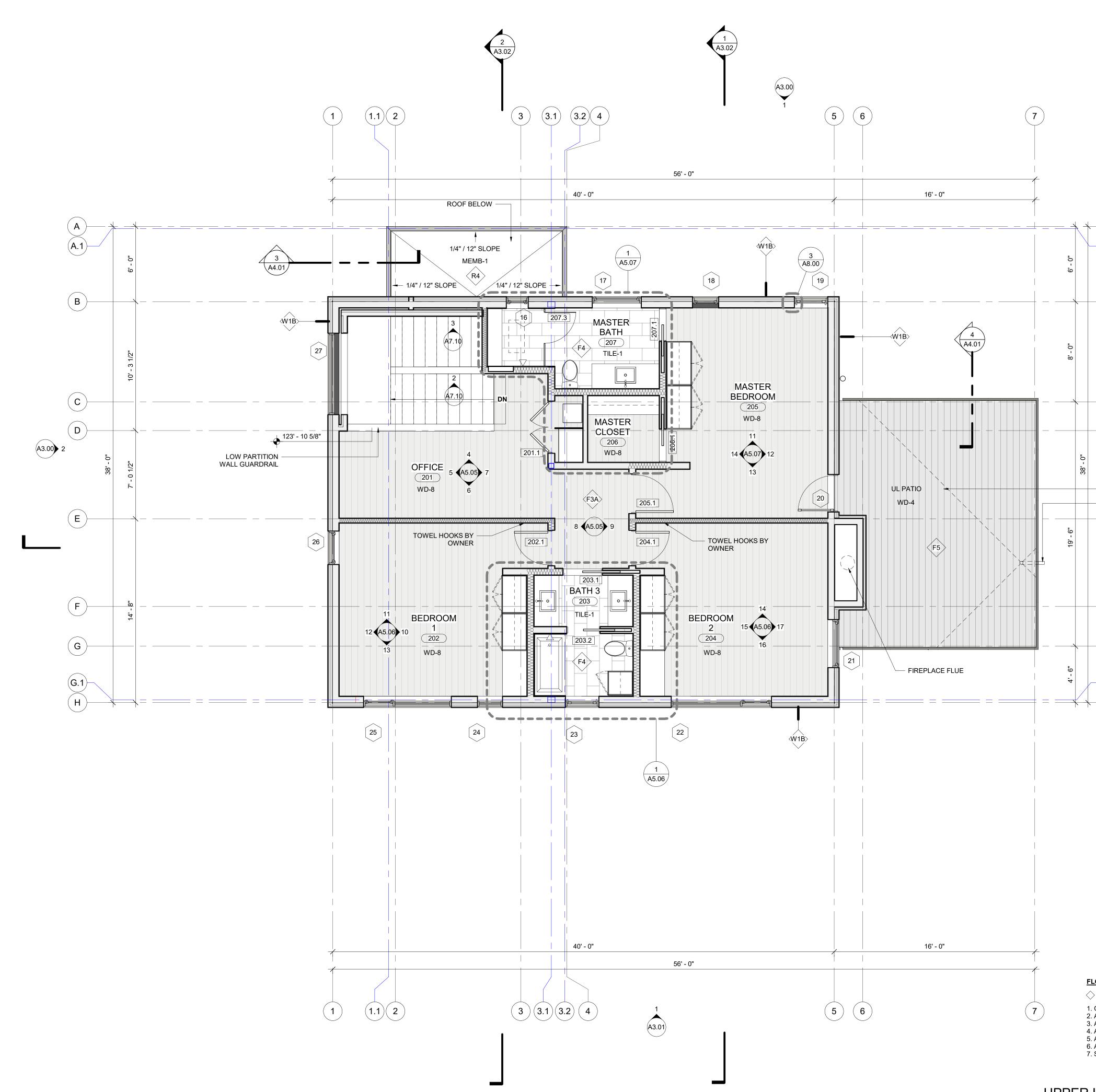
SCALE: 1/4" = 1'-0"

A2.00

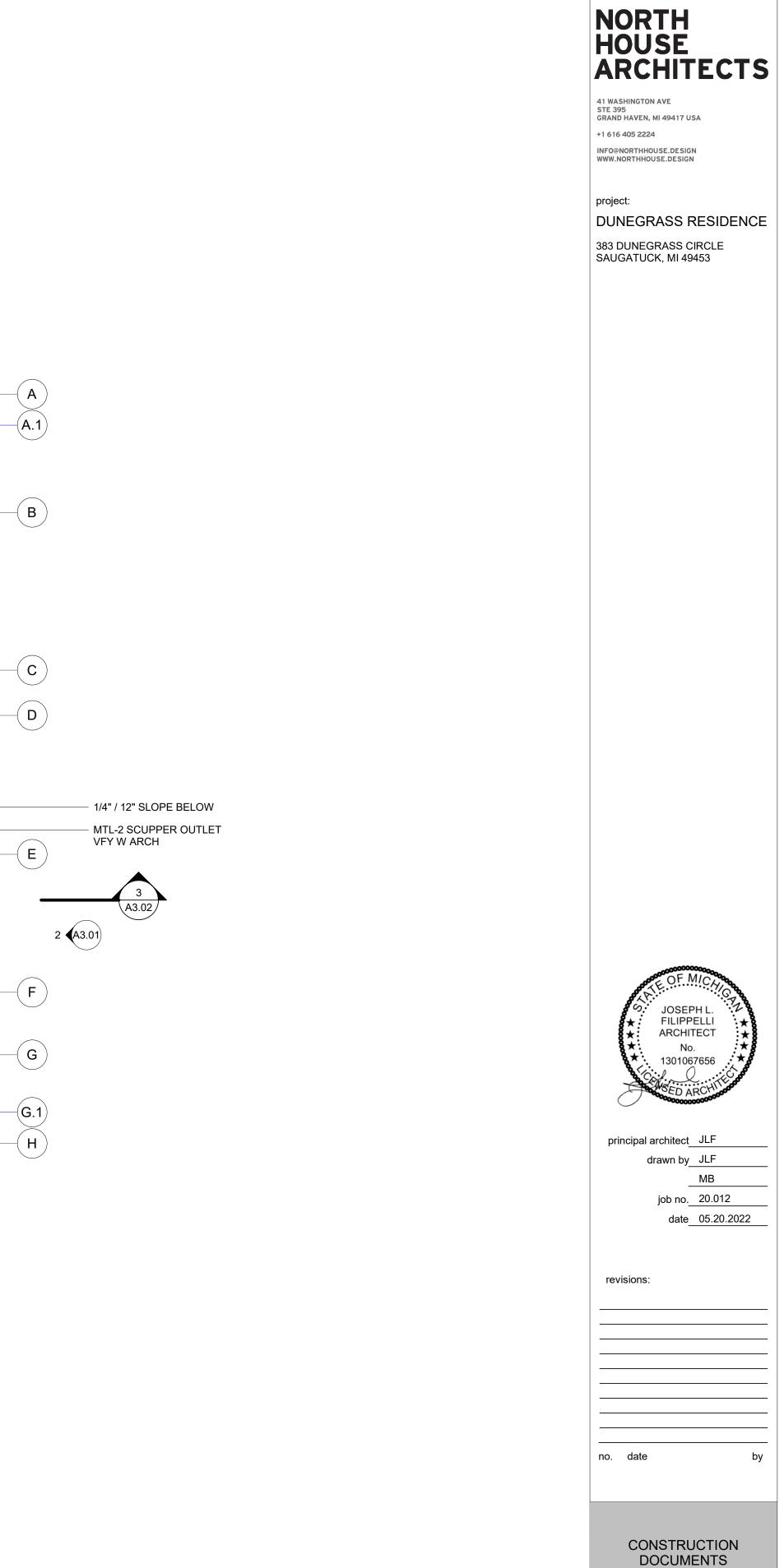


MAIN LEVEL FLOOR PLAN

SCALE: 1/4" = 1'-0"



SCALE: 1/4" = 1'-0"



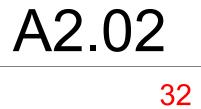
FLOOR PLAN NOTES

◇ INDICATES ASSEMBLY, SEE A0.10/ A0.11

1. GRID LINES ARE TO FACE OF FRAMING OR CL OF STEEL 2. ALL INTERIOR WALLS ARE P1 UNO

- ALL SHOWER WALLS ARE P2 UNO
 ALL INTERIOR WALLS WITH POCKET DOORS ARE 2X6 UNO
 ALL EXTERIOR WALLS ARE 2X6 FRAMING UNO
- 6. ALL LEVELS TO BE FIRE SUPRESSED
 7. SEE STRUCT FOR CIP CONC WALL HEIGHTS

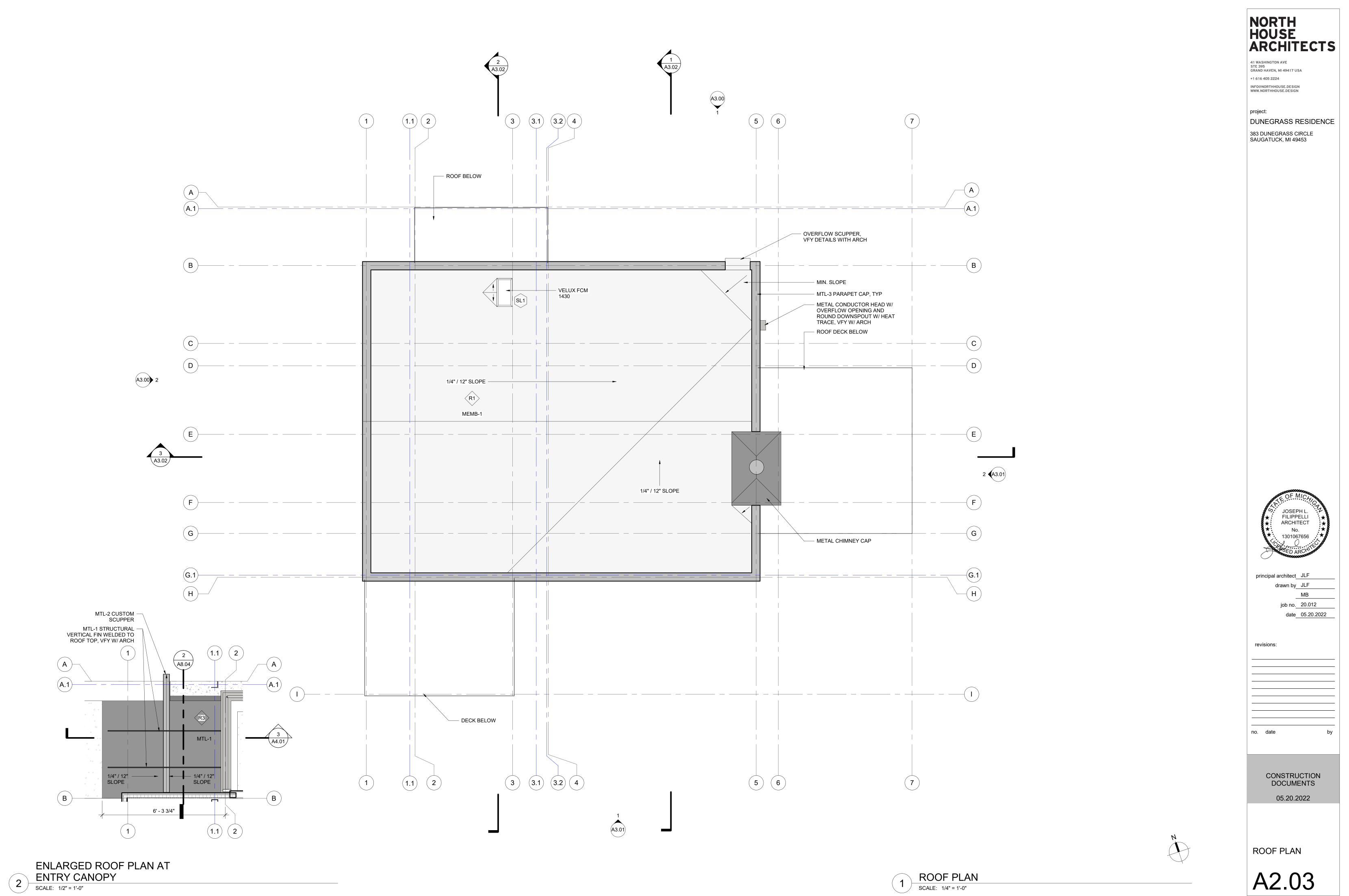


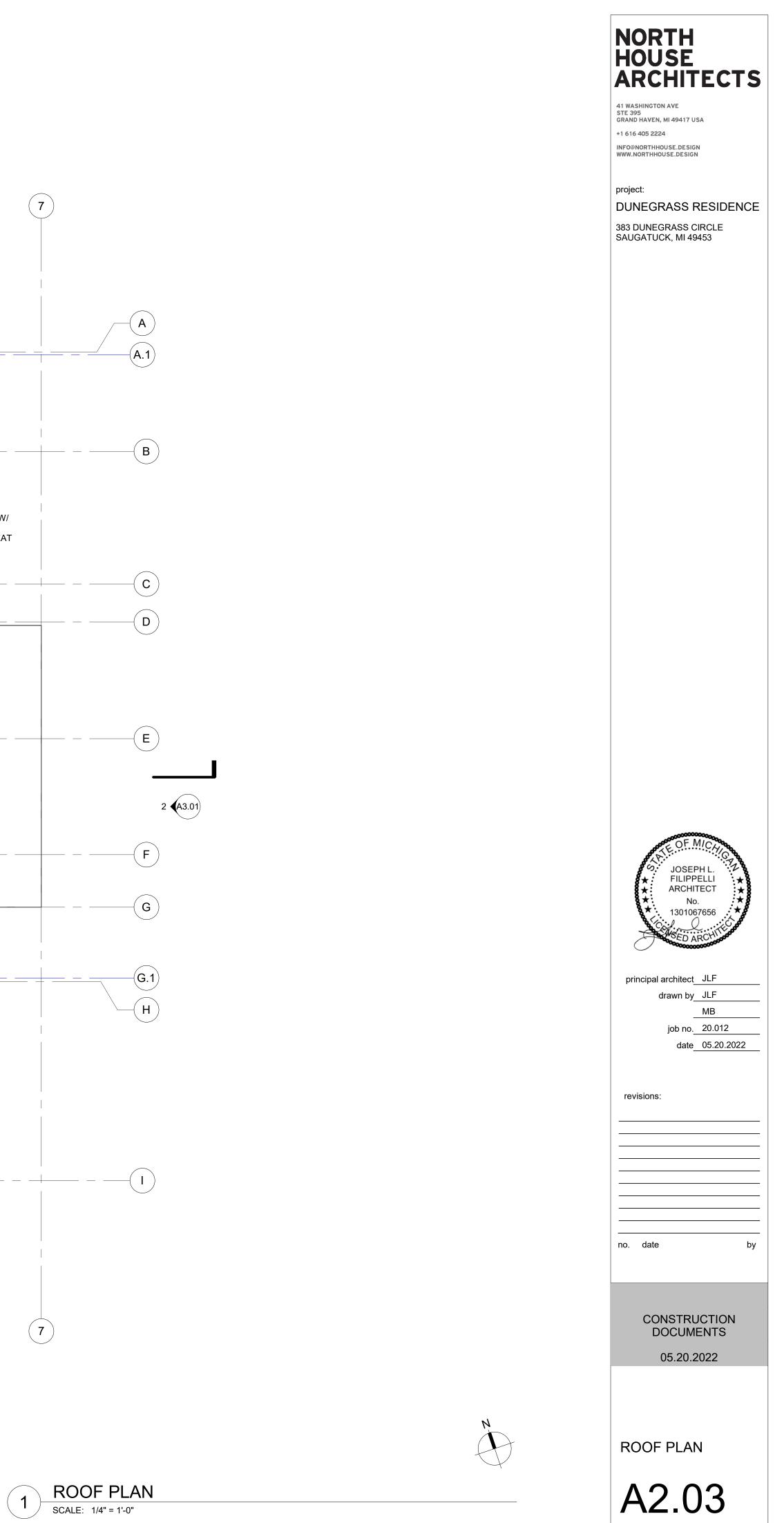


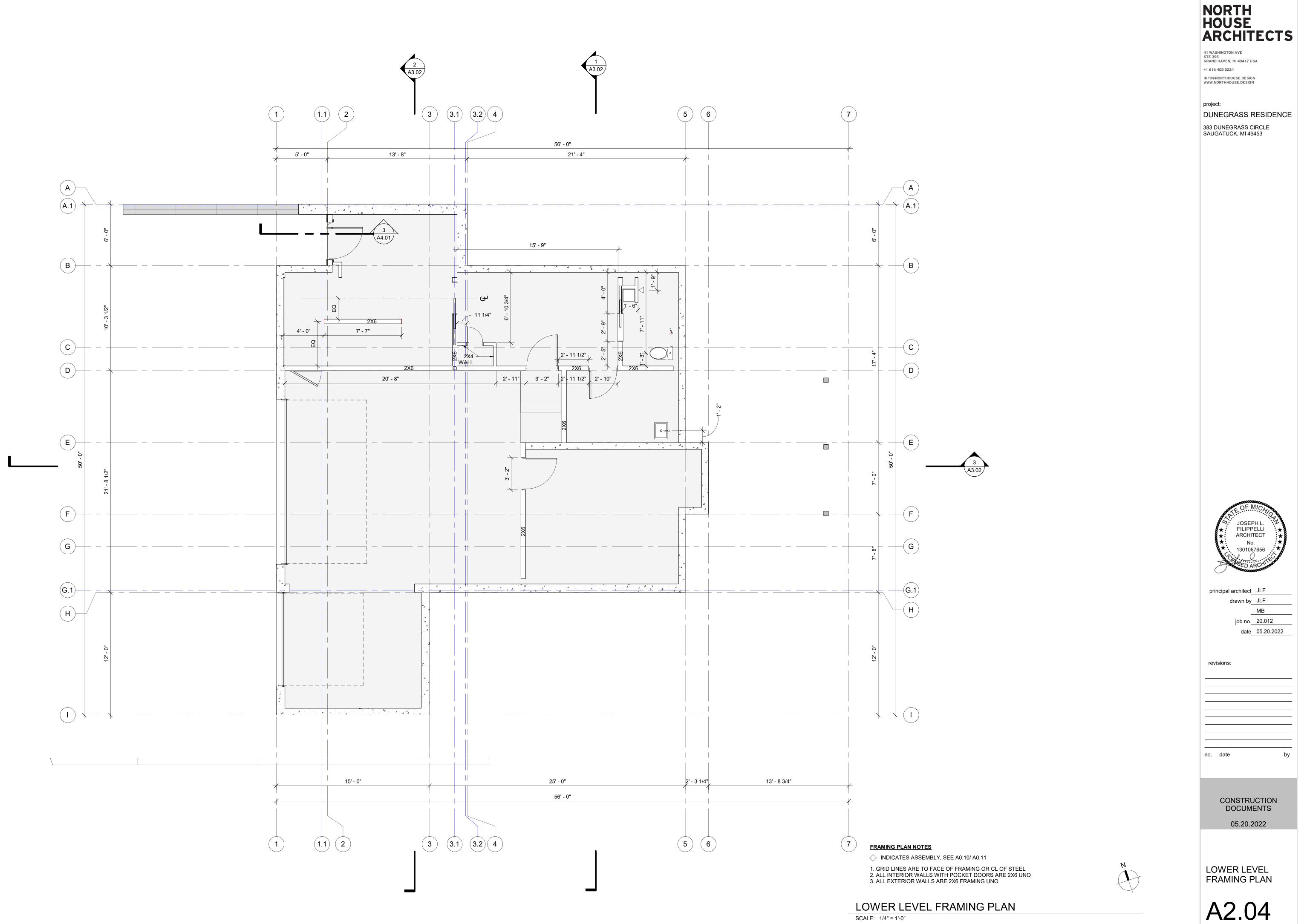
05.20.2022

UPPER LEVEL

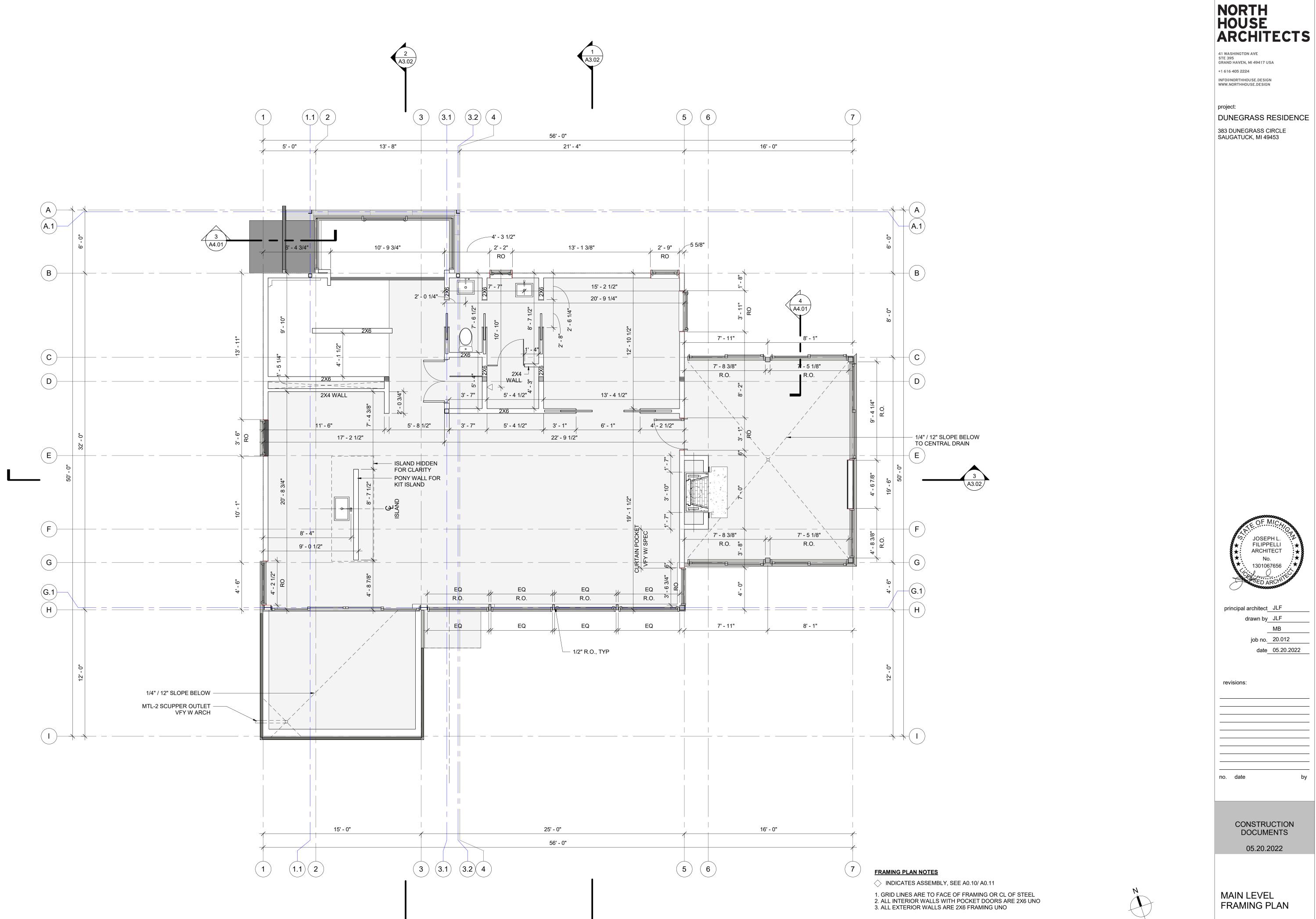
FLOOR PLAN



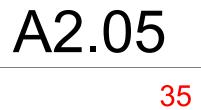


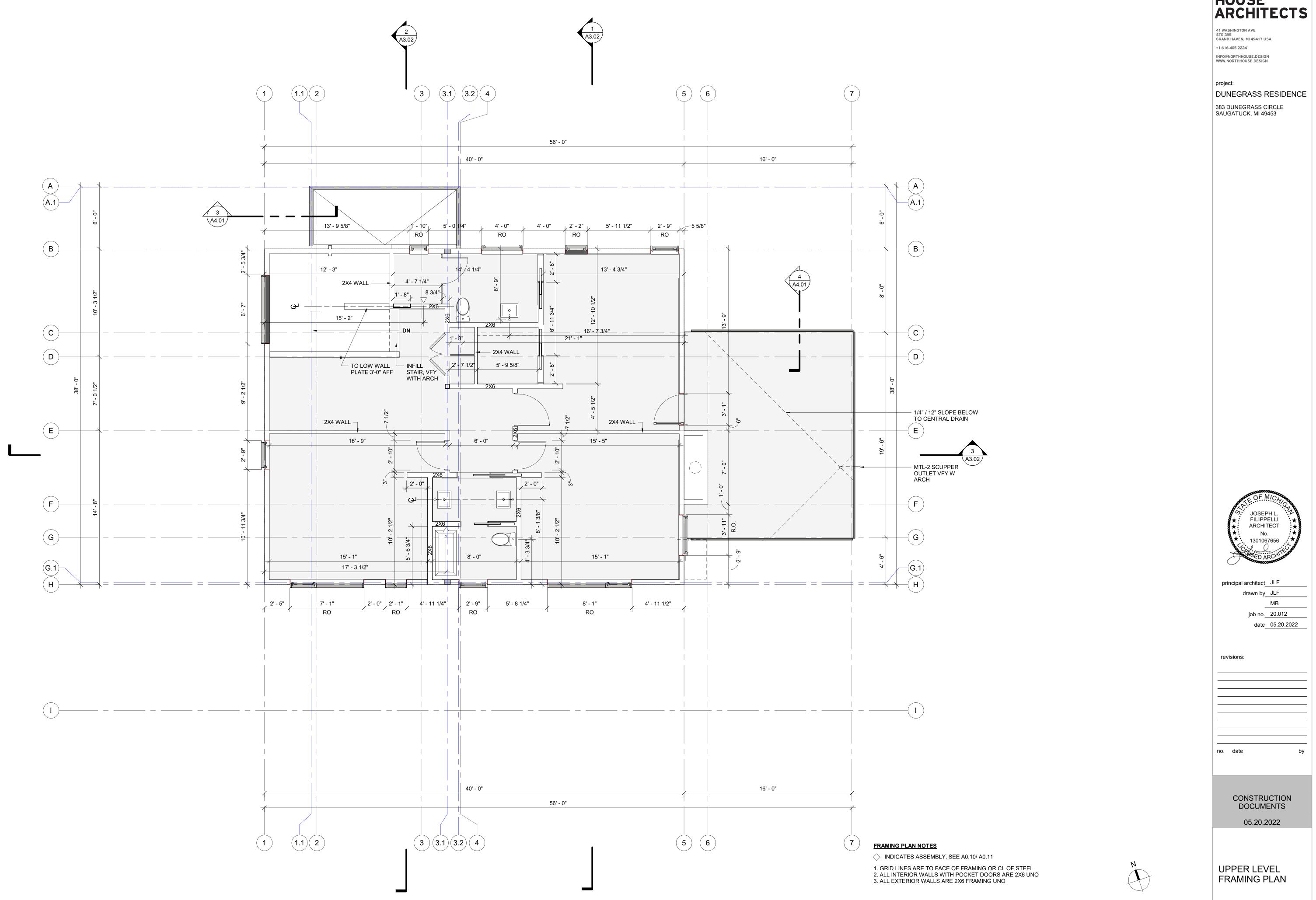


SCALE: 1/4" = 1'-0"



MAIN LEVEL FRAMING PLAN SCALE: 1/4" = 1'-0"

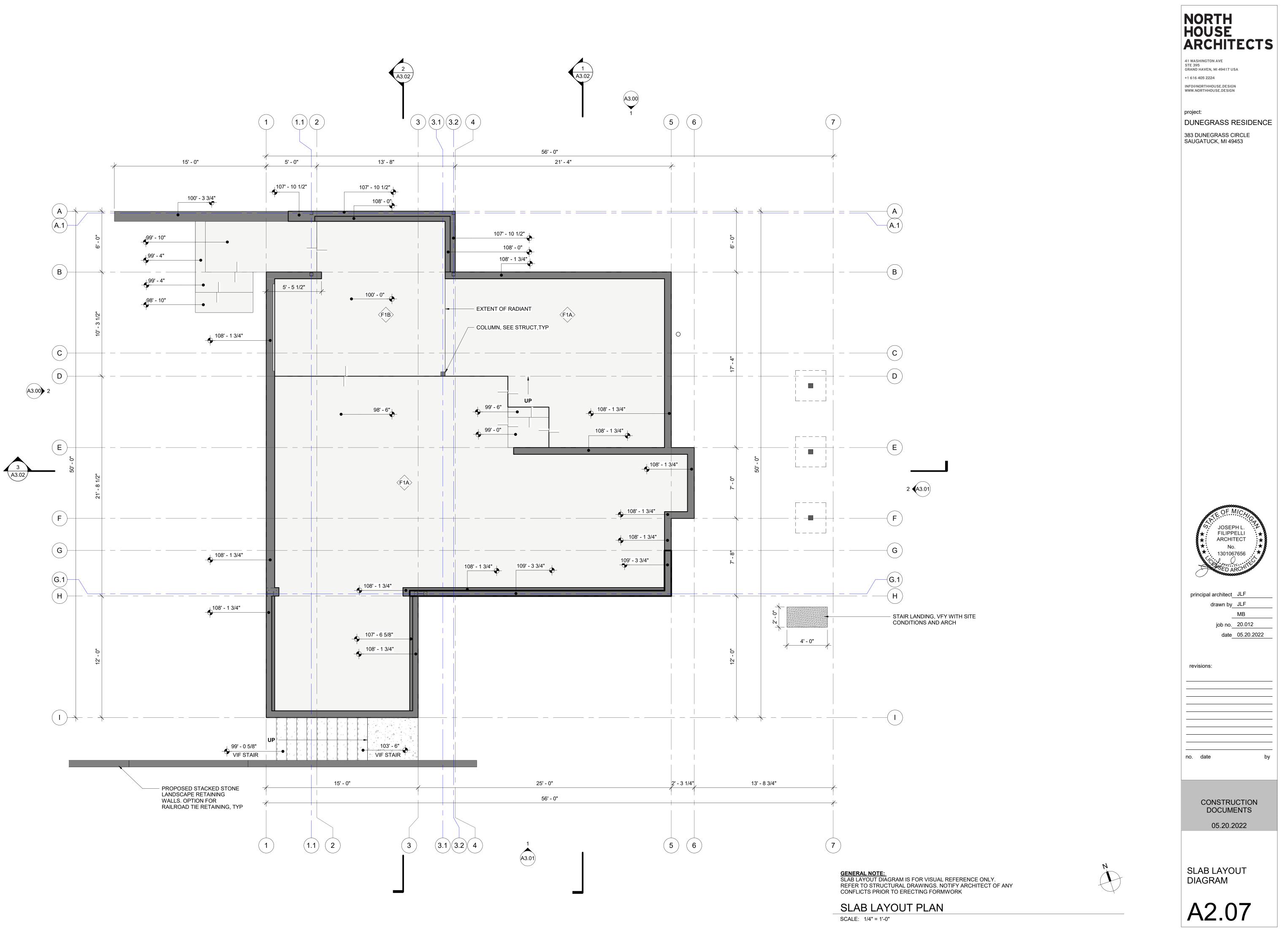


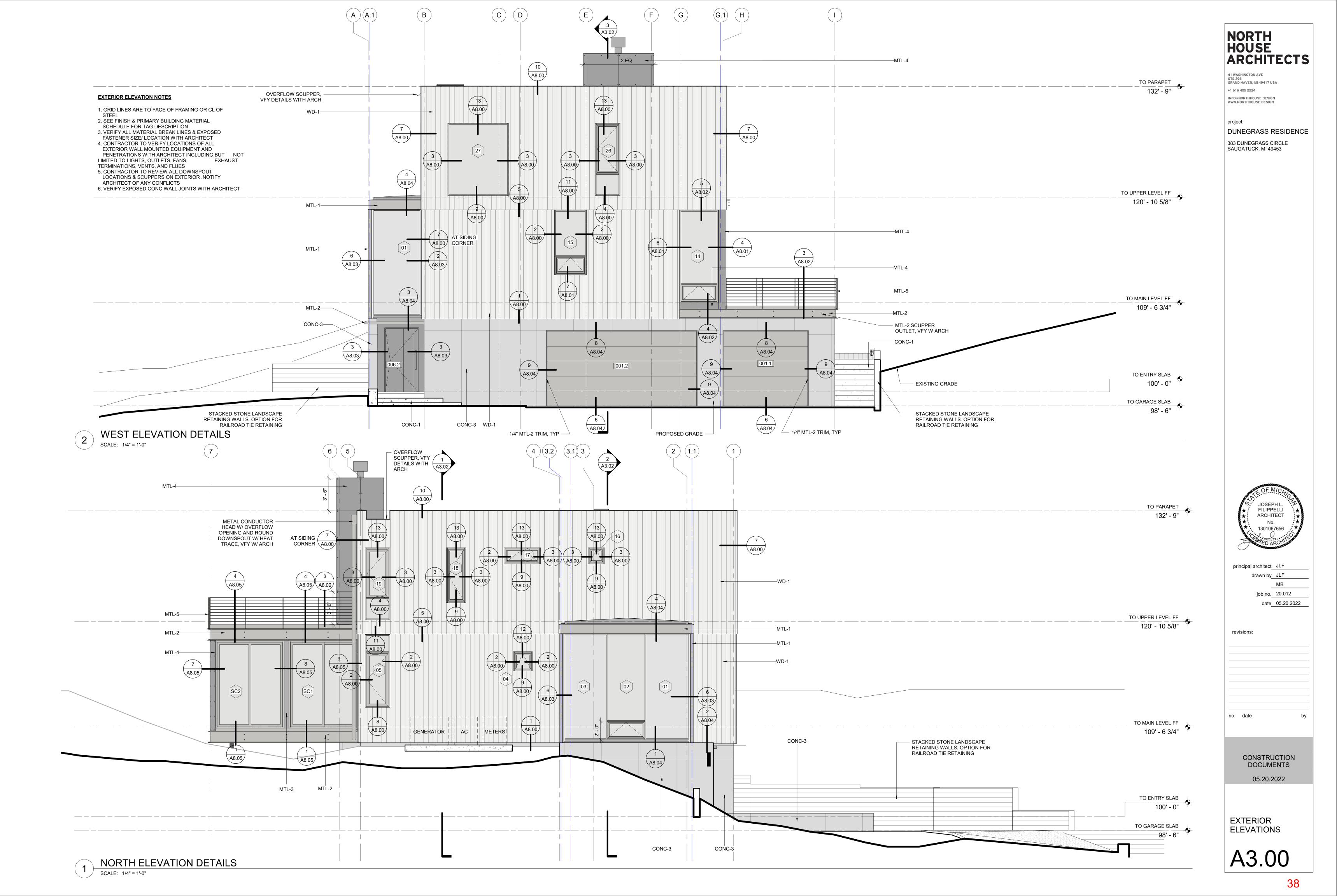


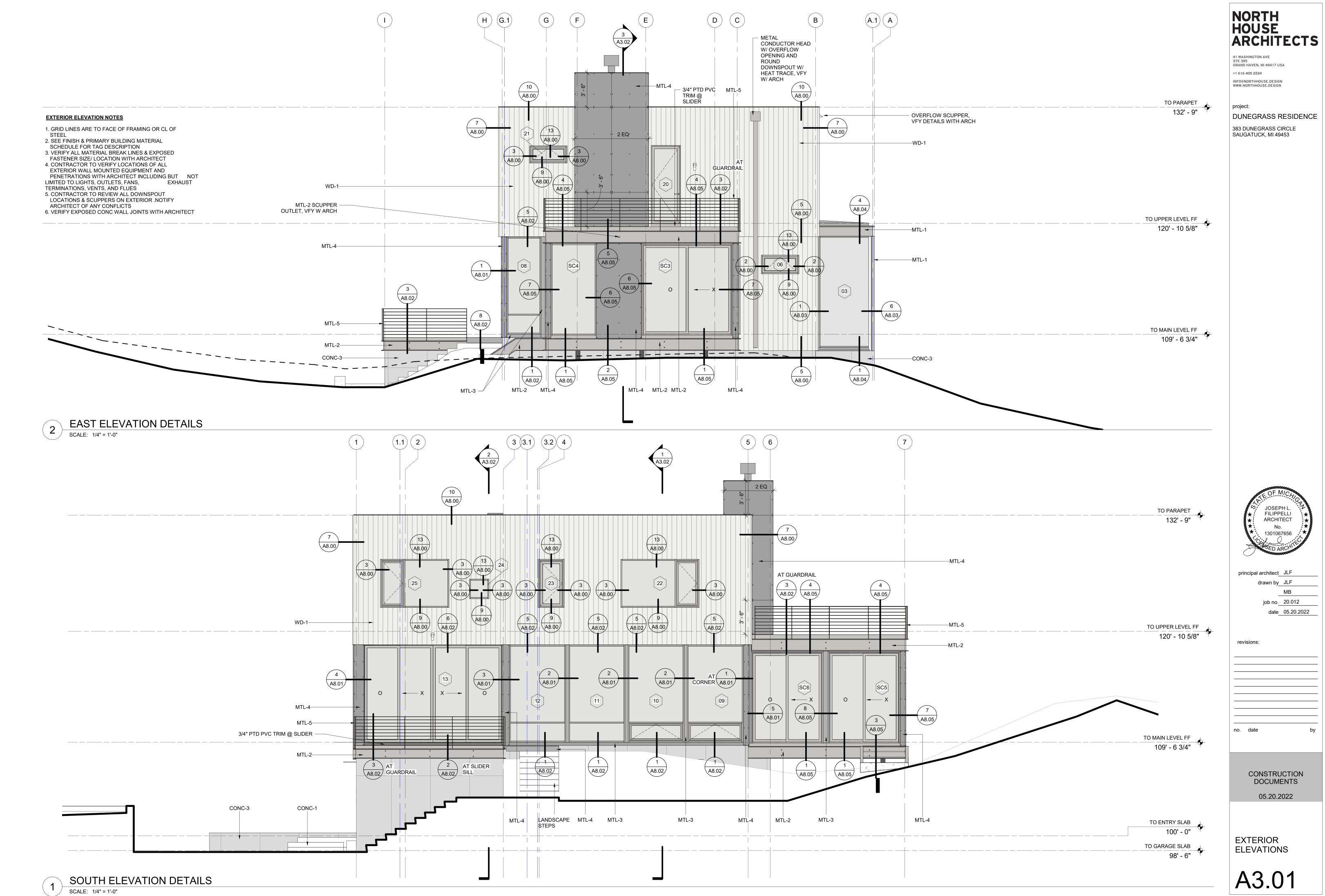
UPPER LEVEL FRAMING PLAN

A2.06

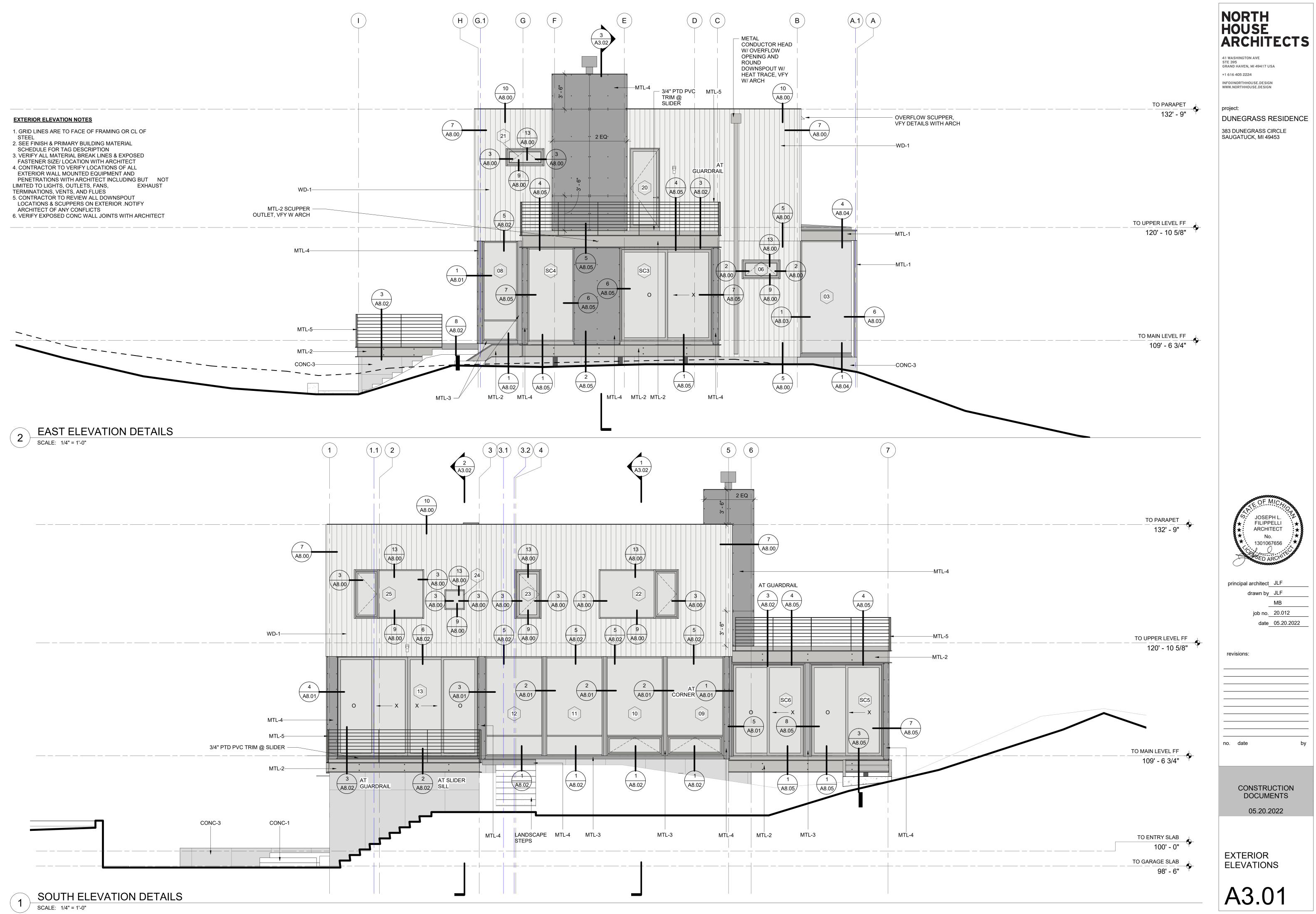


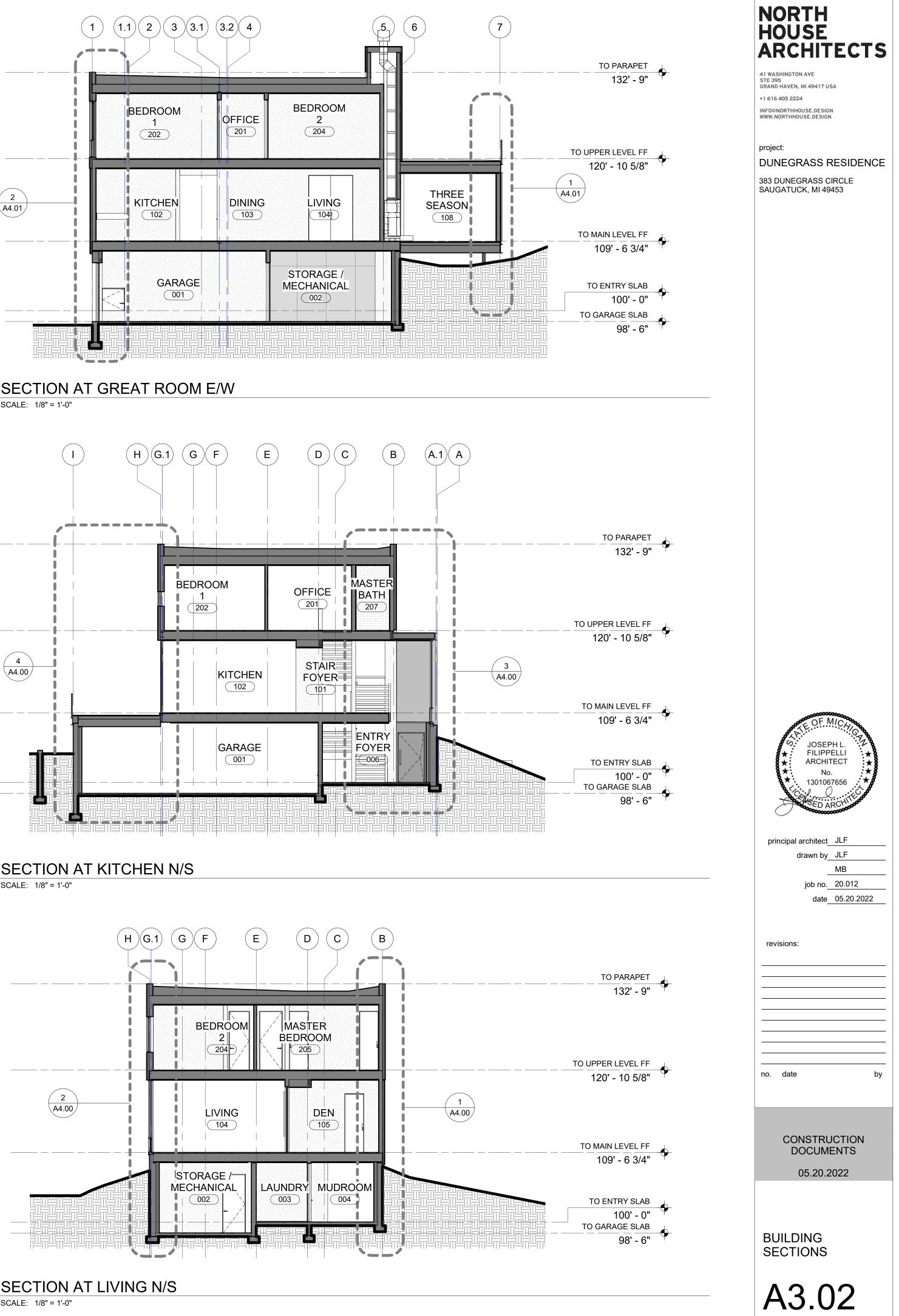


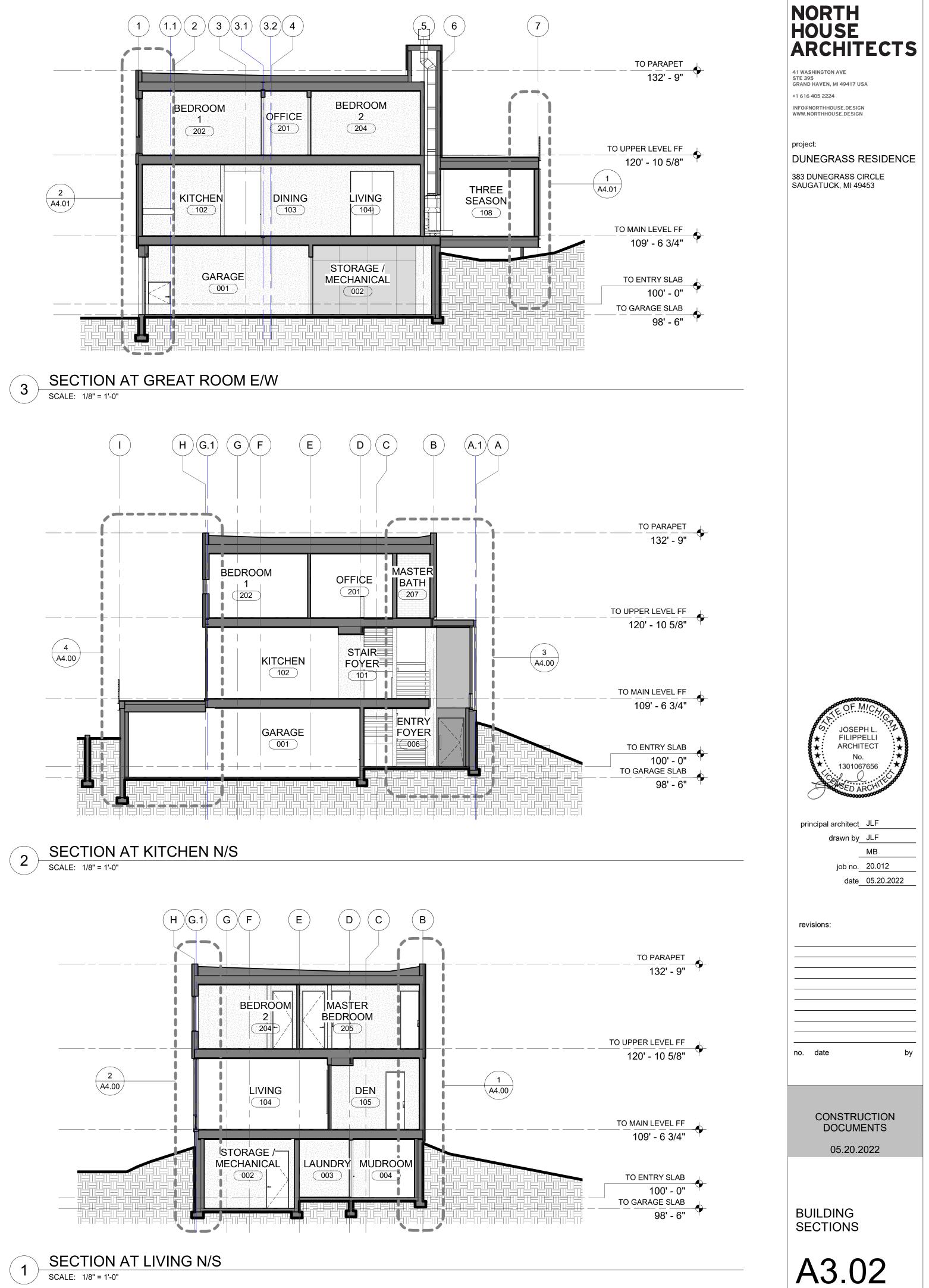


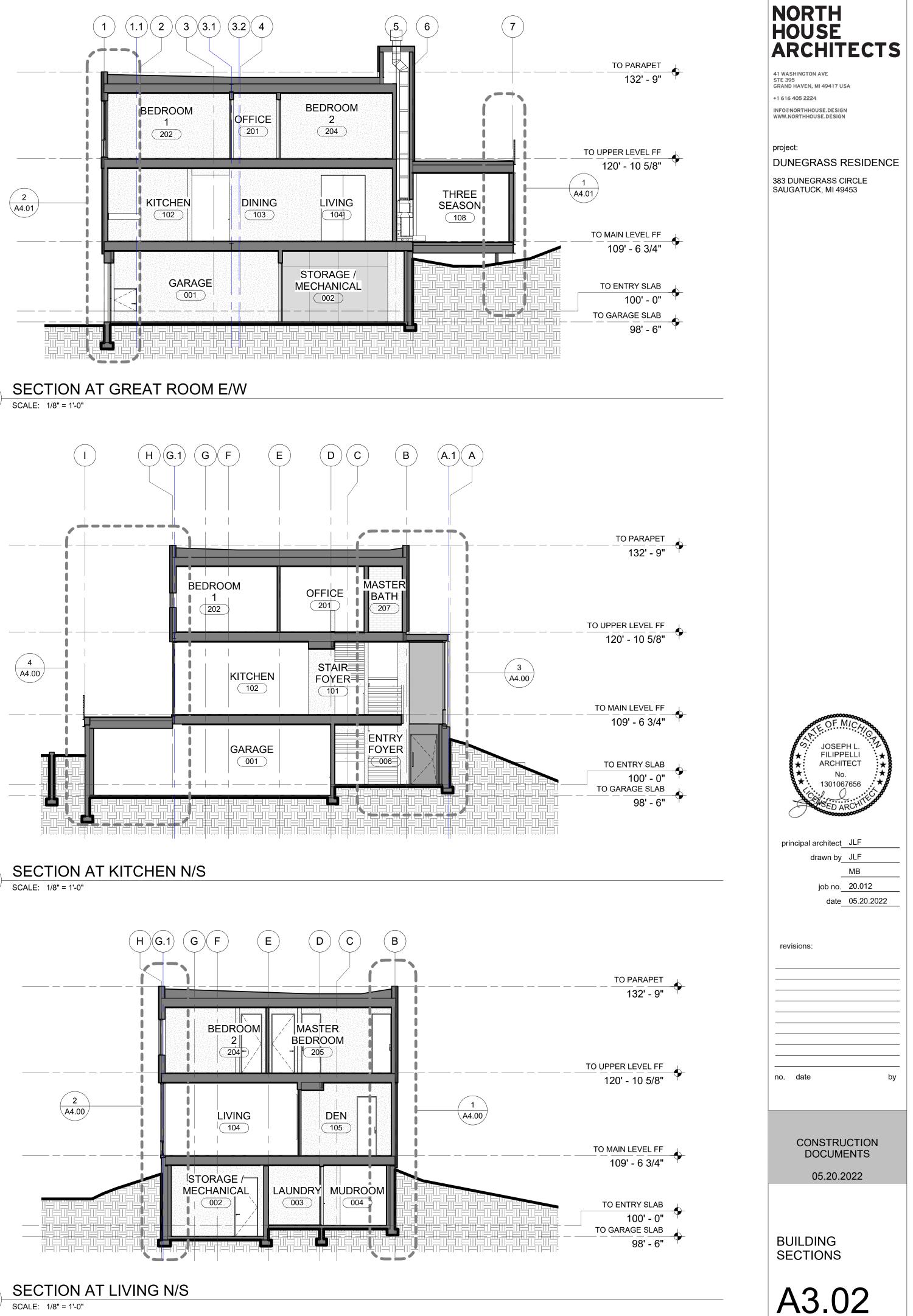






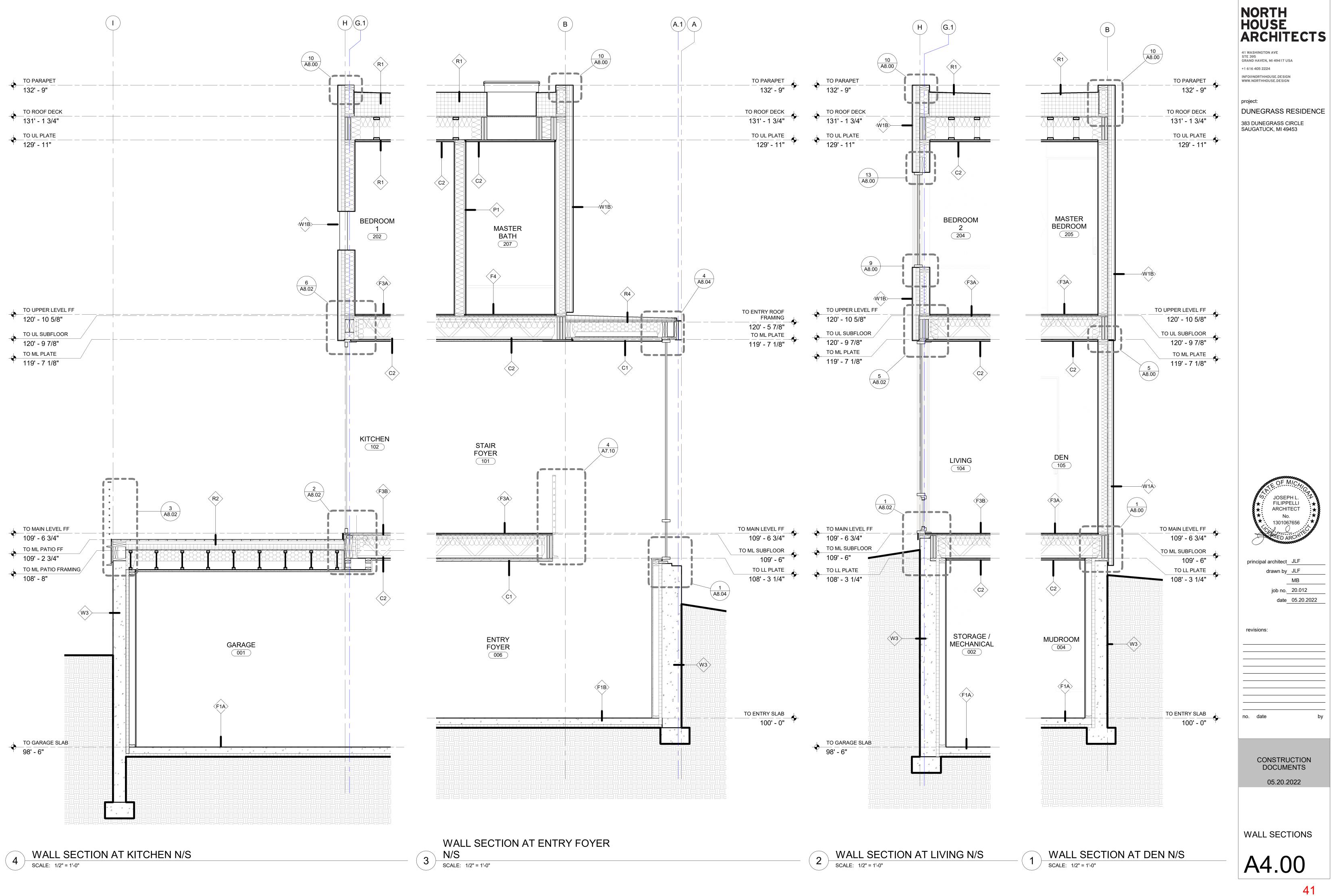


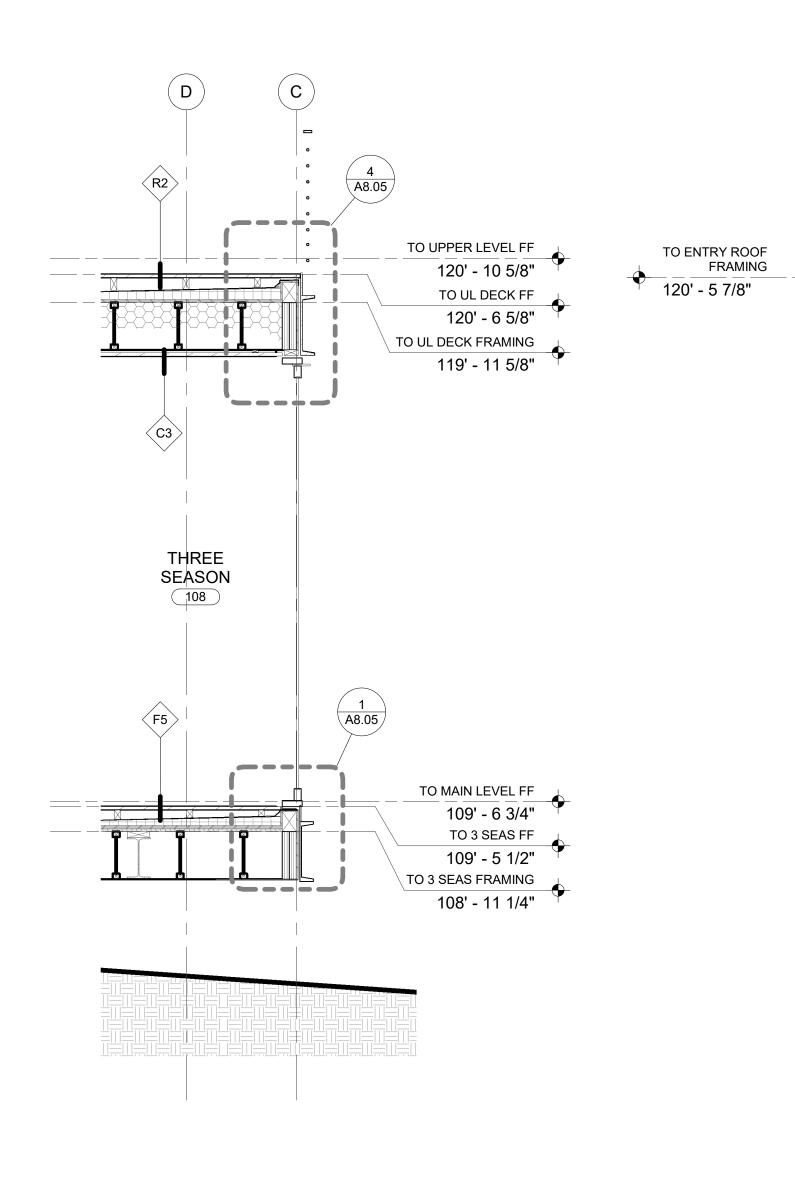








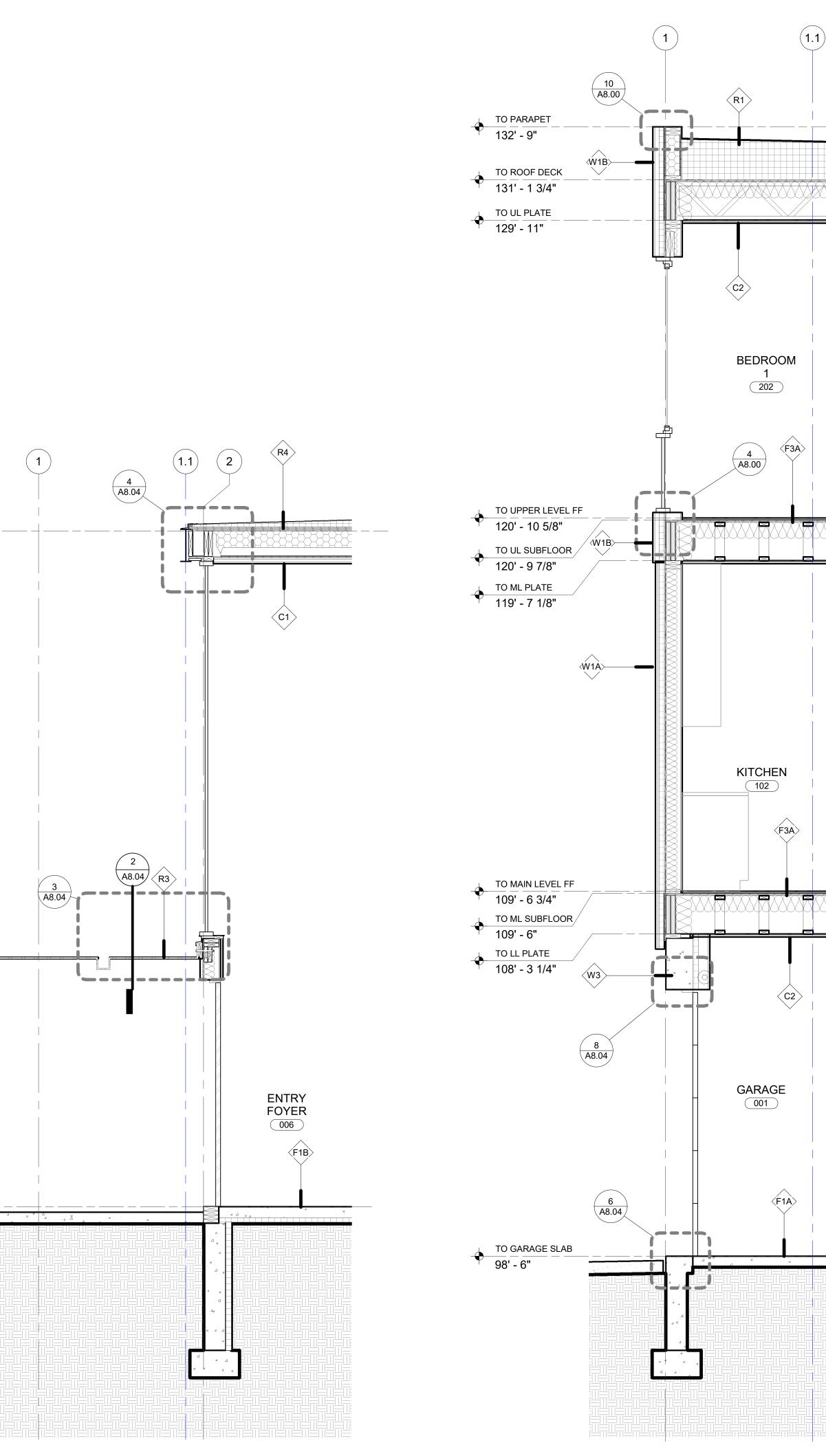




TO ENTRY SLAB • <u>100' - 0"</u> 99' - 10" -0







3 WALL SECTION AT ENTRY SCALE: 1/2" = 1'-0"

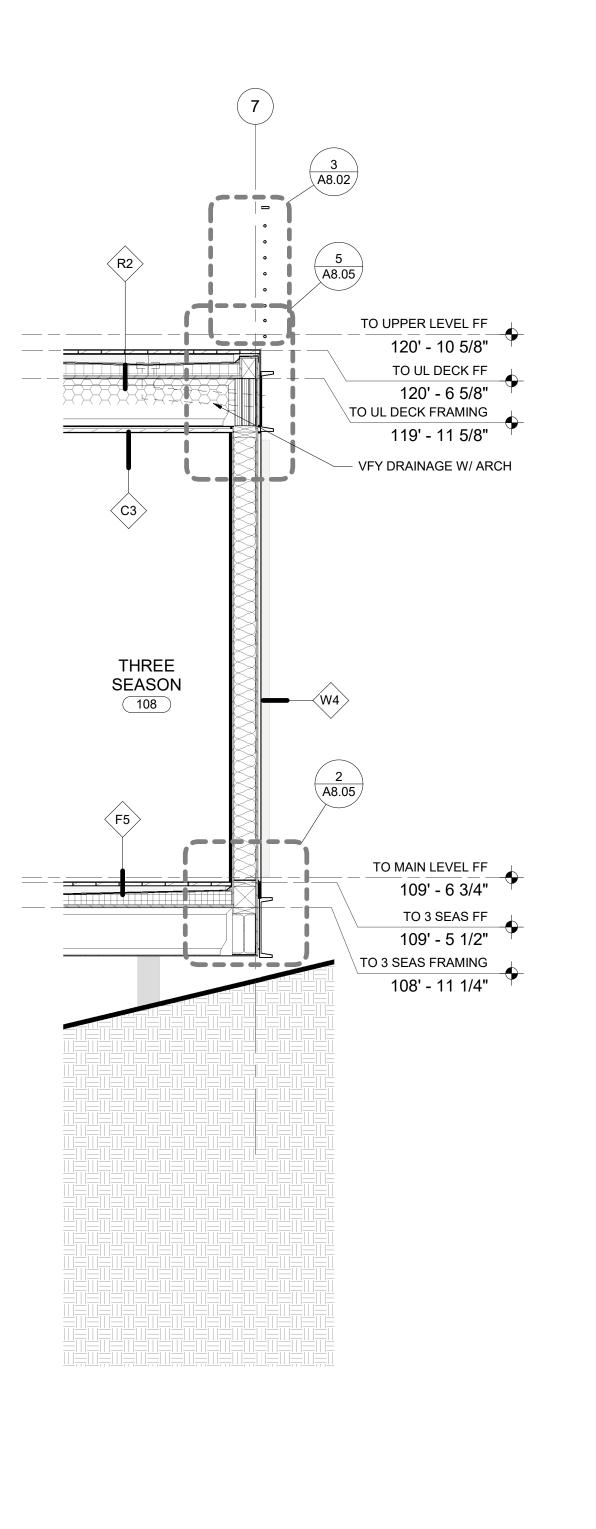


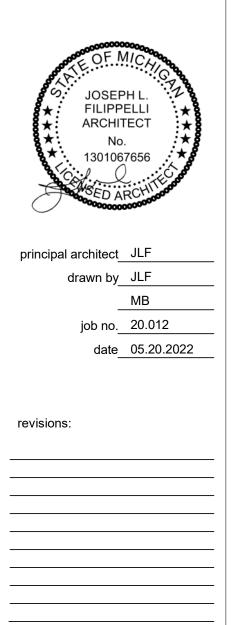
2 WALL SECTION AT KITCHEN E/W SCALE: 1/2" = 1'-0"



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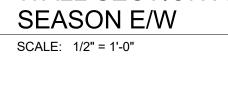


no. date

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WALL SECTIONS





WALL SECTION AT THREE







GENERAL NOTE: SEE A7.10 FOR STAIR, HANDRAIL, AND GUARDRAIL DETAILS

1 SCALE: 1/2" = 1'-0"

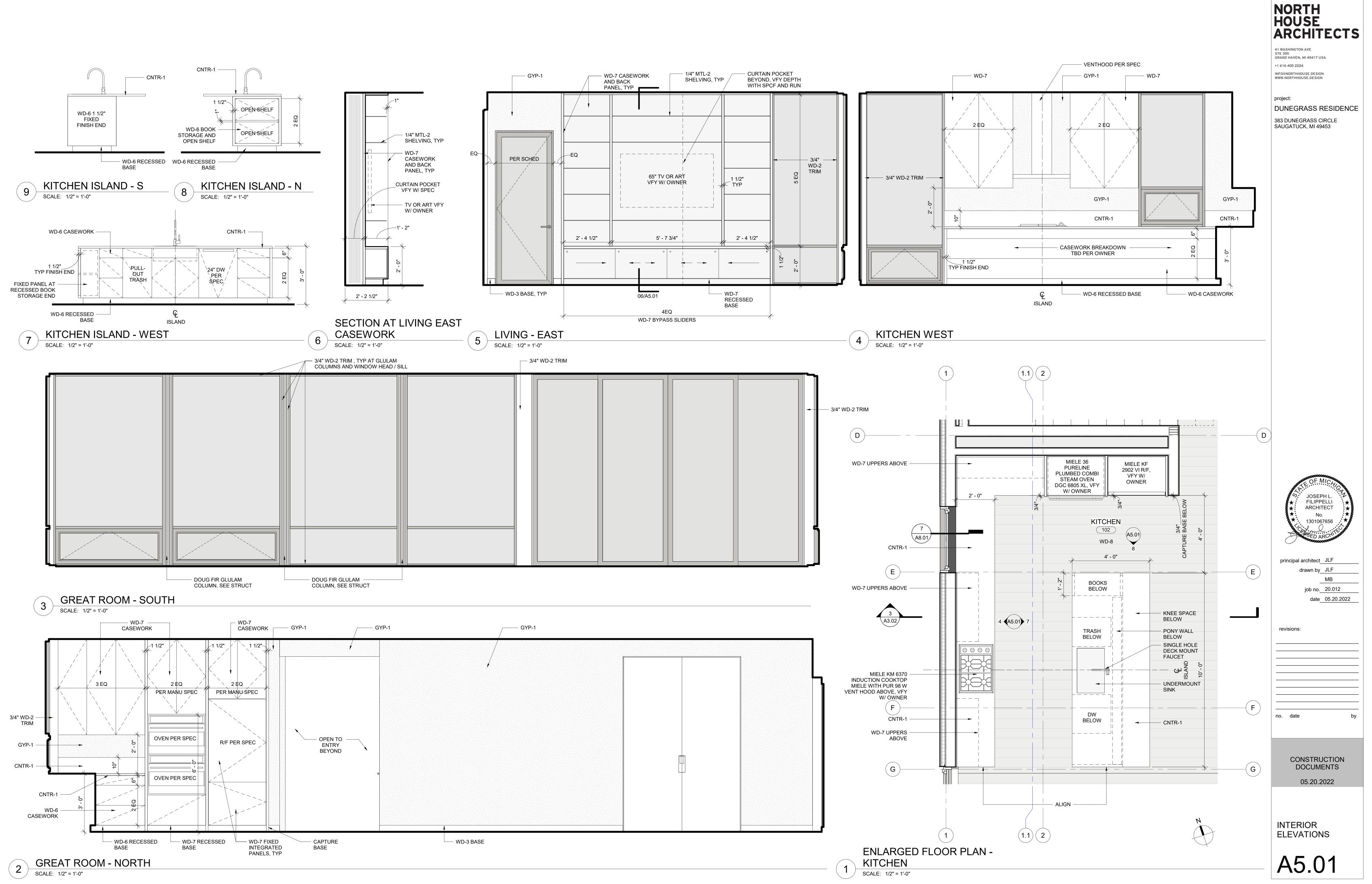
JOSEPH L. FILIPPELLI ARCHITECT No. 1301067656 principal architect_JLF drawn by__JLF MB job no. 20.012 date___05.20.2022 revisions: no. date by CONSTRUCTION DOCUMENTS 05.20.2022 INTERIOR ELEVATIONS A5.00 43

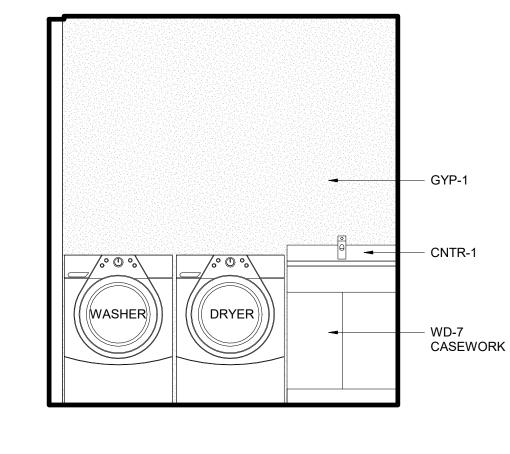


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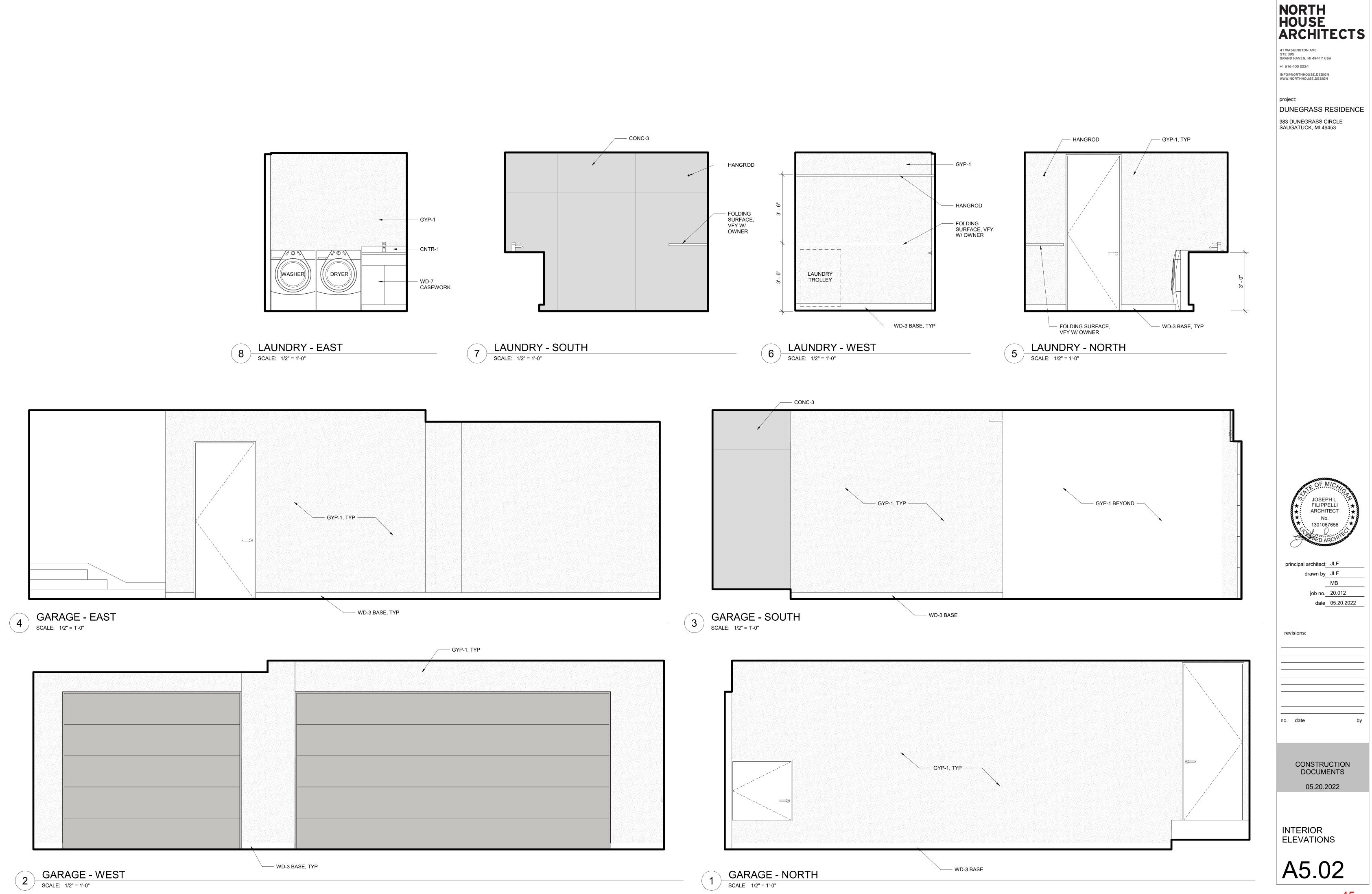
project: DUNEGRASS RESIDENCE 383 DUNEGRASS CIRCLE SAUGATUCK, MI 49453

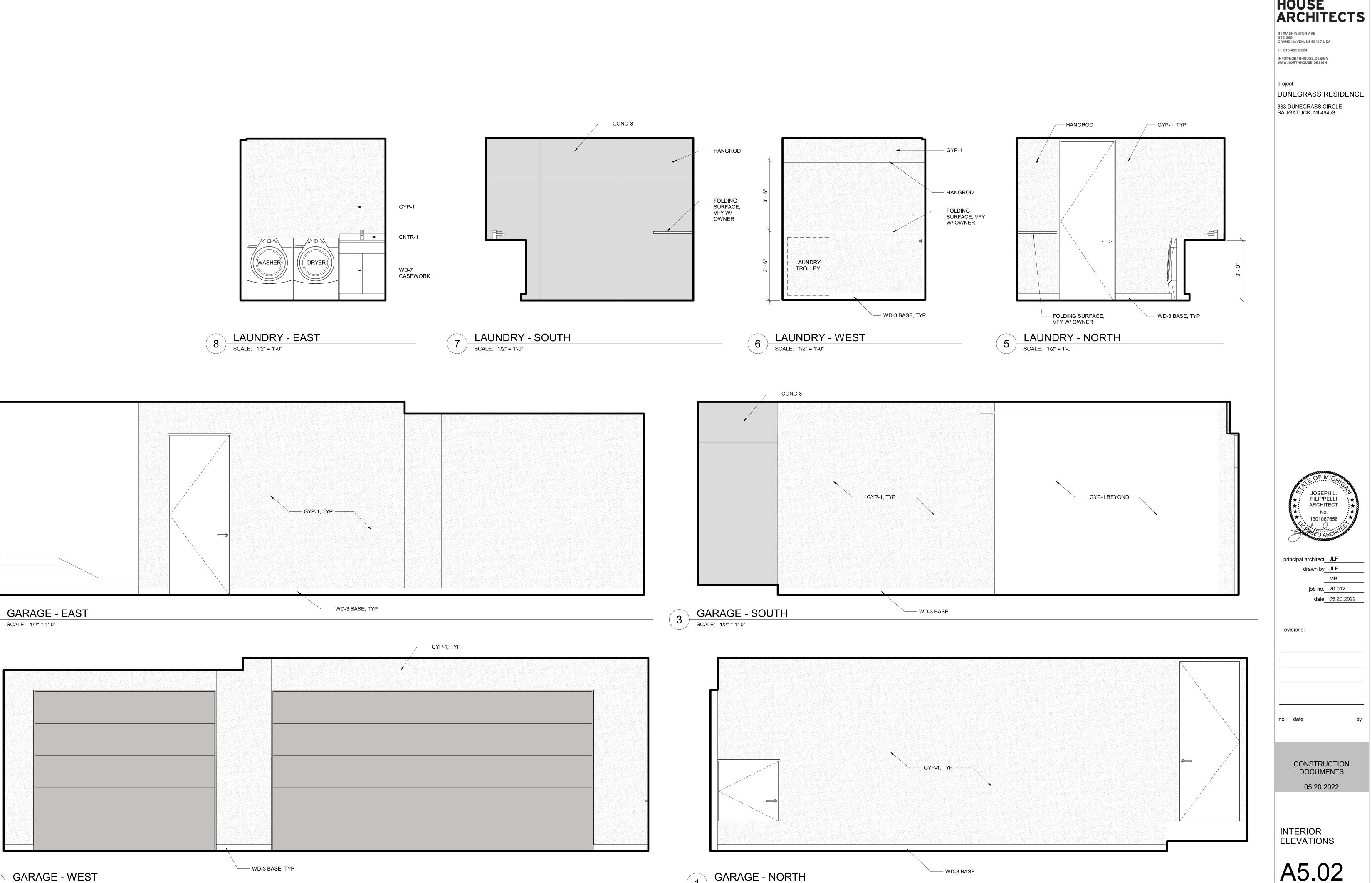
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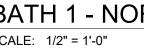


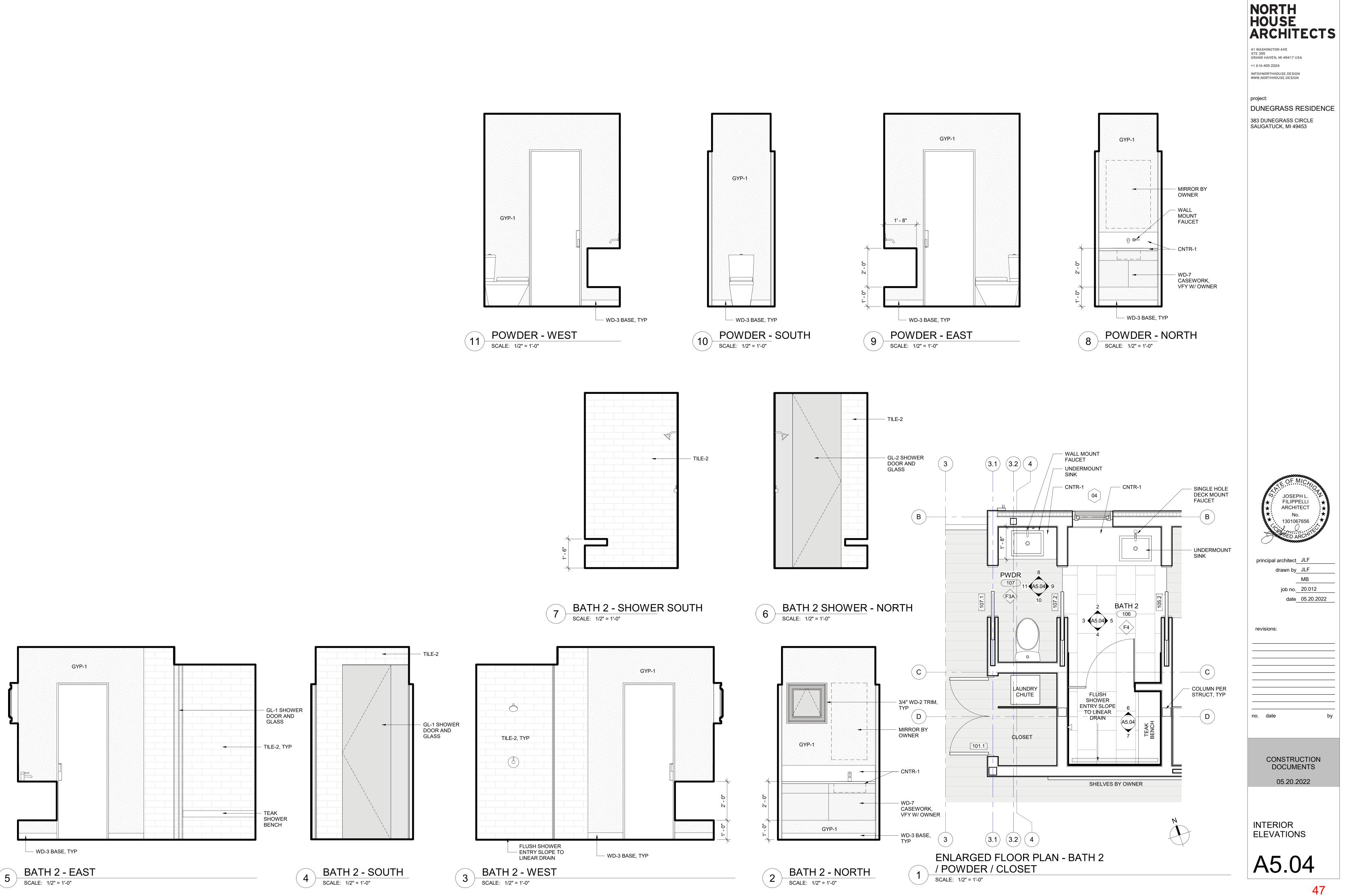
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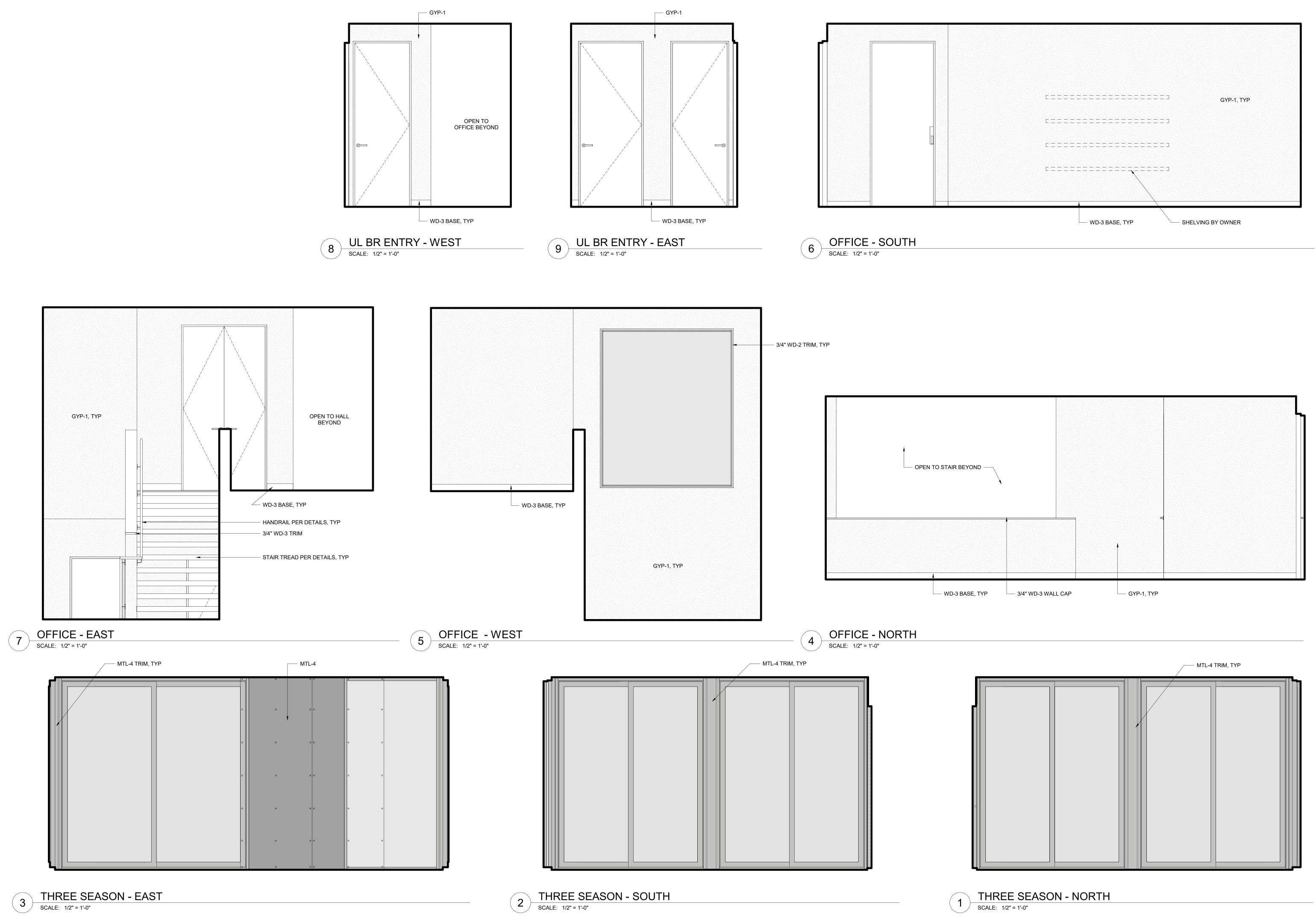
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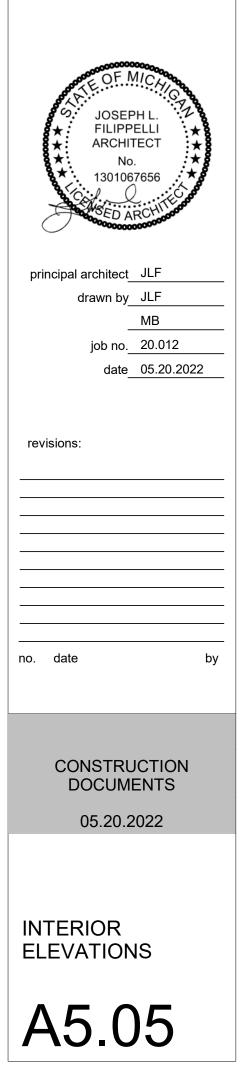




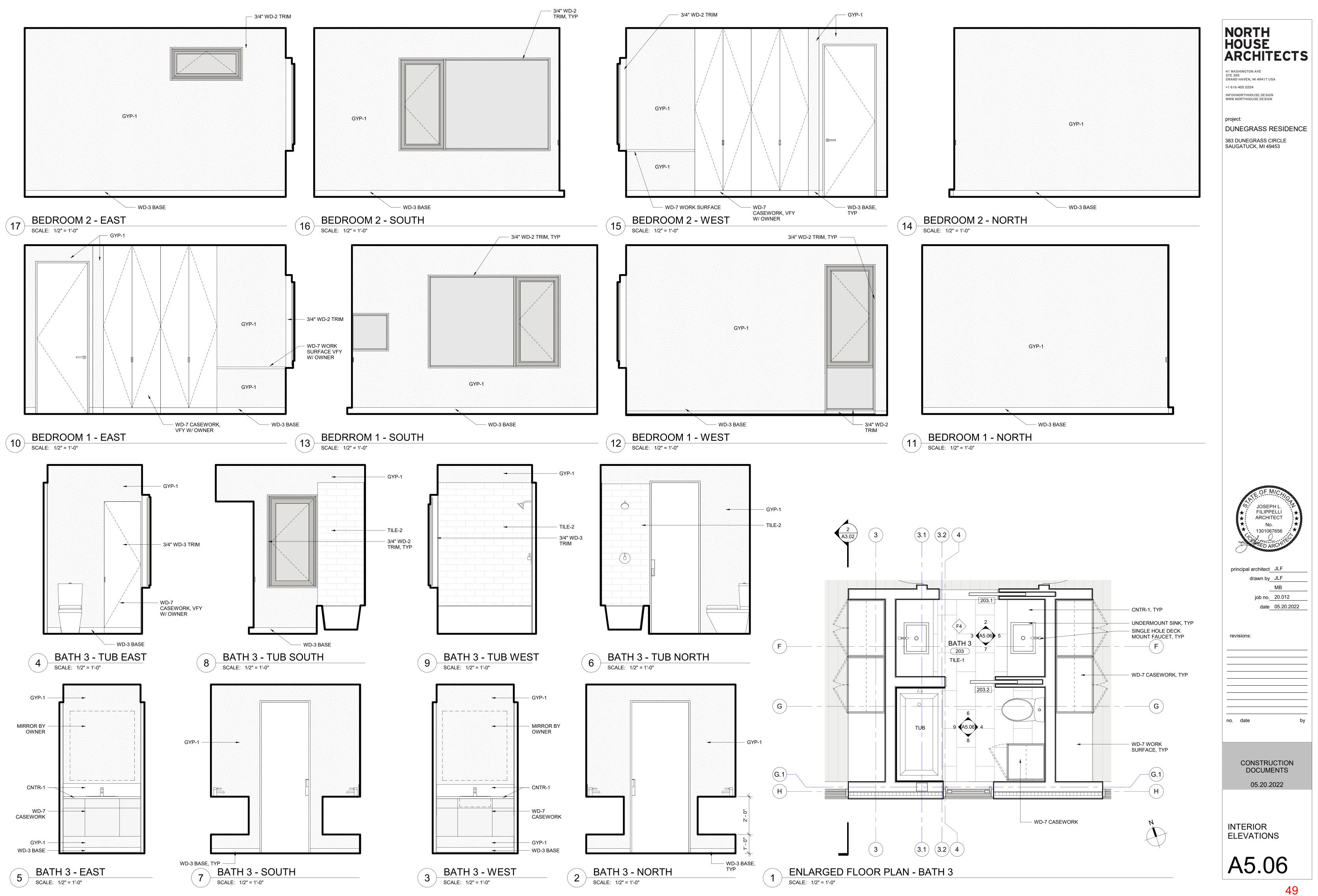
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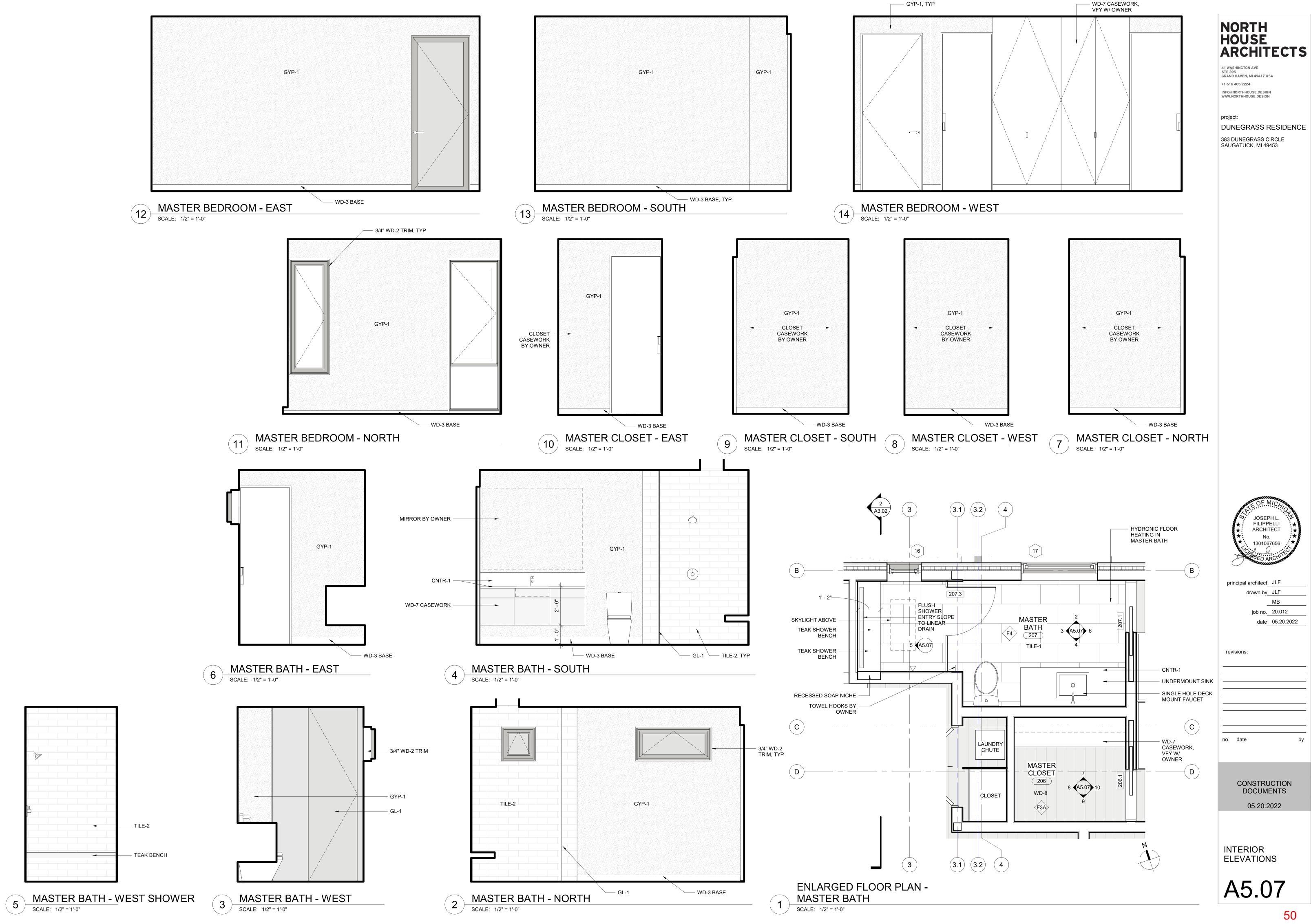
project: DUNEGRASS RESIDENCE

383 DUNEGRASS CIRCLE SAUGATUCK, MI 49453









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– WD-7 CASEWORK,

8. OUTLETS: ALL OUTLETS MOUNTED VERTICALLY @ 12" (TO CENTERLINE) AFF, UNO. PROVIDE OUTLETS/RECEPTACLES AT LOCATIONS THAT ARE REQ'D BY APPLIANCES OR CODE, INCLUDING GFCI OUTLETS AT DAMP LOCATIONS, EVEN IF NOT INDICATED PER PLAN (VERIFY ALL LOCATIONS IN THE FIELD WITH ARCHITECT & OWNER) 9. EXTERIOR OUTLETS: PROVIDE WATER-PROOF, CONCEALED JUNCTION BOXES IN EXTERIOR WALLS WHERE REQUIRED (VERIFY ALL LOCATIONS IN THE FIELD WITH ARCHITECT & OWNER)

10. FLOOR RECEPTACLES: PROVIDE FLOOR RECEPTACLES FLUSH WITH FINISH FLOOR WHERE SHOW SUCH THAT CORD & PLUG ARE FULL RECESSED BELOW PLATE WHEN PLUGGED IN. VERIFY COVER PLATE FINISH OPTION W/ ARCHITECT 11. NON-IC RATED RECESSED FIXTURES: CONTRACTOR OPTION TO INSTALL NON-IC RECESSED HOUSE WHERE

CIRCUIT DIAGRAM INFORMATION BELOW TO GIVE INTENT FOR NUMBER OF CIRCUITS. VERIFY SWITCH BANK

3. RCP COORDINATION: COORDINATE ALL LIGHT FIXTURE, FAN, SMOKE DETECTOR, ETC. LOCATIONS WITH

5. RCP COORDINATION: LIGHT FIXTURE LOCATIONS IN WOOD CEILING TO BE COORDINATED WITH BOARD

6. WALK-THROUGH: HANG ALL LIGHT FIXTURES, SWITCH BOXES, AND OUTLETS FOR WALK-THROUGH

LOCATIONS WITH ARCHITECT AND OWNER TO VERIFY FINAL LOCATIONS, PRIOR TO INSTALLING WIRING. 7. SWITCHES: CENTERLINE OF SWITCH PLATES WILL BE 40" AFF, UNO (VERIFY ALL LOCATIONS IN THE FIELD

FRAMING AND CONCRETE PRIOR TO FRAMING INSTALLATION AND CONCRETE POURS. LOCATE FRAMING TO

ACCOMMODATE SPECIFIED FIXTURE LOCATIONS, NOTIFY ARCHITECT OF CONFLICTS. DO NOT CHANGE FIXTURE

4. RCP COORDINATION: PRIOR TO FRAMING ROOFS AND CEILINGS, ALL FIXTURES SHOULD BE SUBMITTED AND

APPROVED BY ARCHITECT. CONTRACTOR SHALL THEN PURCHASE A HOUSE OF EACH TYPE OF FIXTURE (BEFORE

ALLOWABLE BY CODE 12. AUDIO/VISUAL: CONTRACTOR TO COORDINATE ALL LOW VOLTAGE WIRING REQUIREMENTS W/ AUDIO/VISUAL SUB. VERIFY REQUIREMENTS WITH OWNER

13. ETHERNET JACKS: VERIFY ALL ETHERNET JACK LOCATIONS W/ ARCHITECT & OWNER 14. EXTERIOR LIGHTING: VERIFY REQUIREMENTS W/ OWNER. VERIFY ALL LANDSCAPE LIGHTING REQUIREMENTS

WITH OWNER AND COORDINATE WITH SWITCHES INSIDE HOUSE.

15. WI-FI SYSTEM: VERIFY WI-FI SYSTEM REQUIREMENTS WITH OWNER 16. FIRE SUPPRESSION: IF REQUIRED BY JURISDICTION, CONTRACTOR TO SUBMIT DIAGRAMMATIC FIRE

SPRINKLER PLAN TO ARCHITECT FOR REVIEW & COORDINATION WITH RCP.

QUADPLEX RECEPTACLE, GFCI PER CODE

\$ SWITCH

DUPLEX RECEPTACLE, GFCI PER CODE

\$ RADIO RA SWITCH

- * SPRINKLER HEAD (TO BE COORDINATED WITH ARCH)
- WALL MOUNTED SPRINKLER HEAD (TO BE COORDINATED WITH ARCH)

↔ CEILING MOUNT SURFACE LIGHT

RECESSED CAN LIGHT

ELECTRICAL LEGEND

PANASONIC FV0811VF5 FANS WITH COMMON EXHAUST & BACK DAMPER

CEILING BATH FAN; ASSUME

SCALE: 1/4" = 1'-0"

DATA

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ELECTRICAL NOTES

◇ INDICATES ASSEMBLY, SEE A0.10

WITH ARCHITECT & OWNER)

1. GRID LINES ARE TO FACE OF FRAMING OR CL OF STEEL

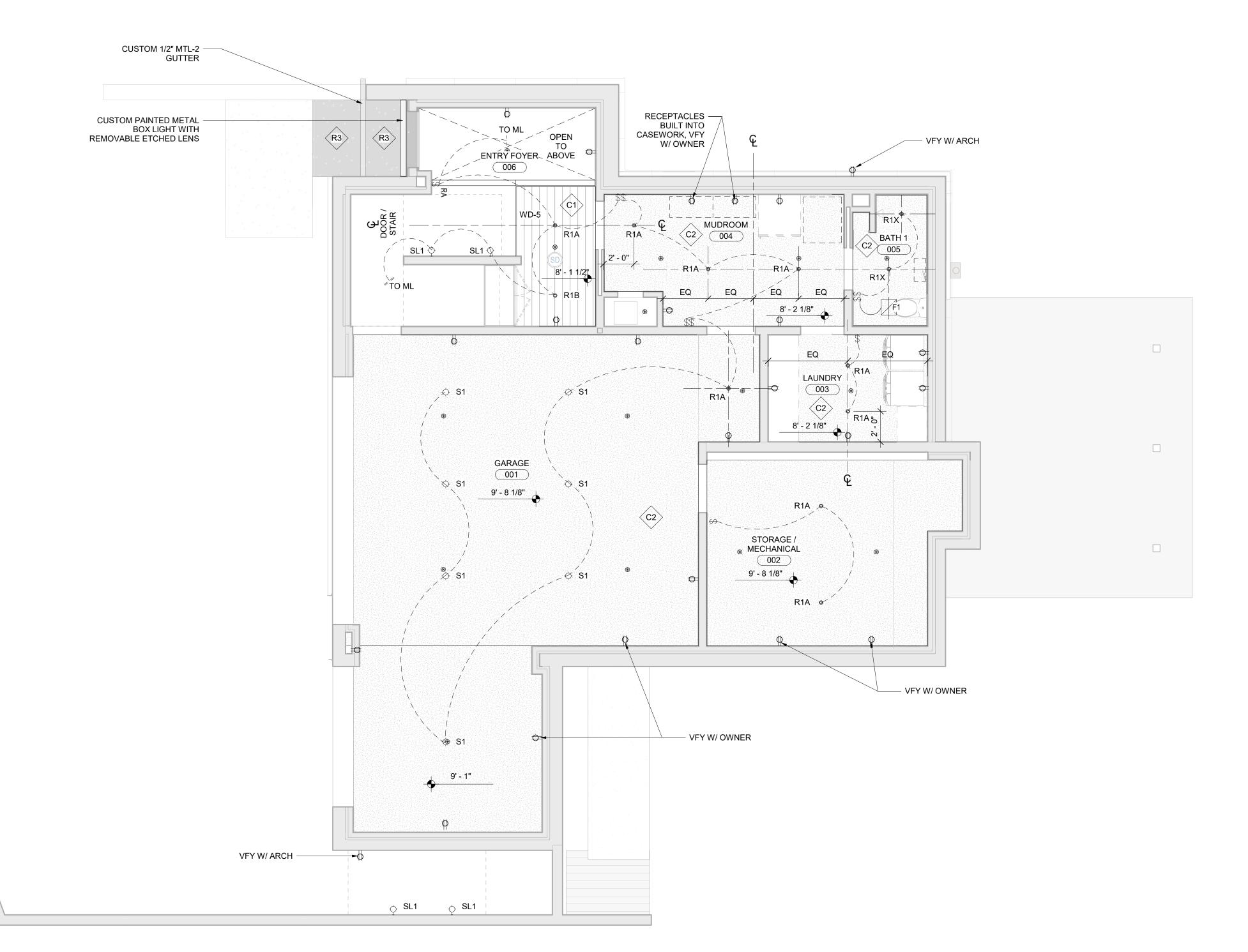
LOCATIONS W/ ARCHITECT & OWNER PRIOR TO ROUGH IN.

LAYING OUT FRAMING) TO VERIFY THE SPACE REQUIRED AT EACH FIXTURE.

LAYOUT SO THAT TRIMS ARE CENTERED ON BOARD WIDTH, UNO

LOCATIONS WITHOUT ARCHITECT'S APPROVAL.

	LIGHT FIXTURE SCHEDULE						
TYPE	MANUFACTURER	MODEL	LAMP/OPTIC	DESCRIPTION	QUANTITY	NOTE	
D	TBD	TBD	TBD	TBD	7	DECORATIVE LIGHT FIXTURES TBD	
R1A	COOPER	HALO ML4 LED, H995ICAT, TL41R	TIR45NFL25, 2700K	RECESSED PINHOLE DOWNLIGHT W/ ROUND TRIM	40	GENERAL RECESSED LIGHTING, WHITE FINISH AT PAINTED GYP & BRUSHED NICKEL FINISH AT WOOD	
R1B	COOPER	HALO ML4 LED, H995ICAT, TL41R	TIR50AWW25, 2700K	RECESSED PINHOLE DOWNLIGHT/ WALL WASH W/ ROUND TRIM	12	DIRECTIONAL RECESSED LIGHTING FOR ARTWORK & WALL WASHING, WHITE FINISH AT PAINTED GYP & BRUSHED NICKEL FINISH AT WOOD	
R1X	COOPER	HALO ML4 LED, H995ICAT, TL45R	TIR45NFL25, 2700K	RECESSED PINHOLE DOWNLIGHT W/ ROUND WET RATED TRIM	11	WET LOCATION RECESSED LIGHTING, BRUSHED NICKEL FINISH	
S1	TBD	TBD	TBD	CEILING MOUNTED SURFACE LIGHT	8	TBD	
SC1	TBD	TBD	TBD	OUTDOOR WALL SCONCE	2	TBD	
SL1	TBD	TBD	TBD	RECESSED STEP LIGHT	10	TBD	



REFLECTED CEILING PLAN NOTES

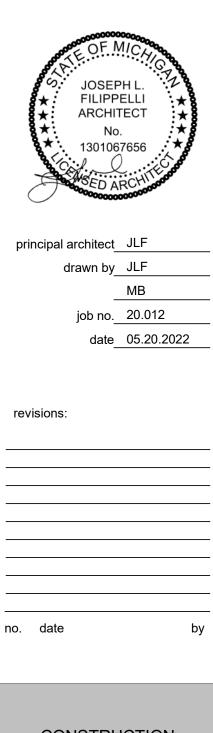
1. GYP-1 AT LOWER LEVEL CEILING U.N.O.





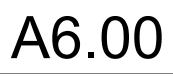
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CONSTRUCTION DOCUMENTS 05.20.2022

LOWER LEVEL REFLECTED CEILING AND POWER PLAN



6. WALK-THROUGH: HANG ALL LIGHT FIXTURES, SWITCH BOXES, AND OUTLETS FOR WALK-THROUGH LOCATIONS WITH ARCHITECT AND OWNER TO VERIFY FINAL LOCATIONS, PRIOR TO INSTALLING WIRING. 7. SWITCHES: CENTERLINE OF SWITCH PLATES WILL BE 40" AFF, UNO (VERIFY ALL LOCATIONS IN THE FIELD WITH ARCHITECT & OWNER) 8. OUTLETS: ALL OUTLETS MOUNTED VERTICALLY @ 12" (TO CENTERLINE) AFF, UNO. PROVIDE OUTLETS/RECEPTACLES AT LOCATIONS THAT ARE REQ'D BY APPLIANCES OR CODE, INCLUDING GFCI OUTLETS AT DAMP LOCATIONS, EVEN IF NOT INDICATED PER PLAN (VERIFY ALL LOCATIONS IN THE FIELD WITH ARCHITECT & OWNER)

9. EXTERIOR OUTLETS: PROVIDE WATER-PROOF, CONCEALED JUNCTION BOXES IN EXTERIOR WALLS WHERE REQUIRED (VERIFY ALL LOCATIONS IN THE FIELD WITH ARCHITECT & OWNER) 10. FLOOR RECEPTACLES: PROVIDE FLOOR RECEPTACLES FLUSH WITH FINISH FLOOR WHERE SHOW SUCH THAT CORD & PLUG ARE FULL RECESSED BELOW PLATE WHEN PLUGGED IN. VERIFY COVER PLATE FINISH OPTION W/

CIRCUIT DIAGRAM INFORMATION BELOW TO GIVE INTENT FOR NUMBER OF CIRCUITS. VERIFY SWITCH BANK

3. RCP COORDINATION: COORDINATE ALL LIGHT FIXTURE, FAN, SMOKE DETECTOR, ETC. LOCATIONS WITH

5. RCP COORDINATION: LIGHT FIXTURE LOCATIONS IN WOOD CEILING TO BE COORDINATED WITH BOARD

FRAMING AND CONCRETE PRIOR TO FRAMING INSTALLATION AND CONCRETE POURS. LOCATE FRAMING TO

ACCOMMODATE SPECIFIED FIXTURE LOCATIONS, NOTIFY ARCHITECT OF CONFLICTS. DO NOT CHANGE FIXTURE

4. RCP COORDINATION: PRIOR TO FRAMING ROOFS AND CEILINGS, ALL FIXTURES SHOULD BE SUBMITTED AND

APPROVED BY ARCHITECT. CONTRACTOR SHALL THEN PURCHASE A HOUSE OF EACH TYPE OF FIXTURE (BEFORE

ARCHITECT 11. NON-IC RATED RECESSED FIXTURES: CONTRACTOR OPTION TO INSTALL NON-IC RECESSED HOUSE WHERE

ALLOWABLE BY CODE 12. AUDIO/VISUAL: CONTRACTOR TO COORDINATE ALL LOW VOLTAGE WIRING REQUIREMENTS W/ AUDIO/VISUAL SUB. VERIFY REQUIREMENTS WITH OWNER

13. ETHERNET JACKS: VERIFY ALL ETHERNET JACK LOCATIONS W/ ARCHITECT & OWNER 14. EXTERIOR LIGHTING: VERIFY REQUIREMENTS W/ OWNER. VERIFY ALL LANDSCAPE LIGHTING REQUIREMENTS

WITH OWNER AND COORDINATE WITH SWITCHES INSIDE HOUSE.

15. WI-FI SYSTEM: VERIFY WI-FI SYSTEM REQUIREMENTS WITH OWNER 16. FIRE SUPPRESSION: IF REQUIRED BY JURISDICTION, CONTRACTOR TO SUBMIT DIAGRAMMATIC FIRE

SPRINKLER PLAN TO ARCHITECT FOR REVIEW & COORDINATION WITH RCP.

QUADPLEX RECEPTACLE, GFCI PER CODE

DUPLEX RECEPTACLE, GFCI PER CODE \Rightarrow

- \$ SWITCH
- * SPRINKLER HEAD (TO BE COORDINATED WITH ARCH)

\$ RADIO RA SWITCH R۵

- ↔ CEILING MOUNT SURFACE LIGHT
- RECESSED CAN LIGHT
- WALL MOUNTED SPRINKLER HEAD (TO BE COORDINATED WITH ARCH)

ELECTRICAL LEGEND

PANASONIC FV0811VF5 FANS WITH COMMON EXHAUST & BACK DAMPER

CEILING BATH FAN; ASSUME

SCALE: 1/4" = 1'-0"

DATA

ELECTRICAL NOTES

◇ INDICATES ASSEMBLY, SEE A0.10

1. GRID LINES ARE TO FACE OF FRAMING OR CL OF STEEL

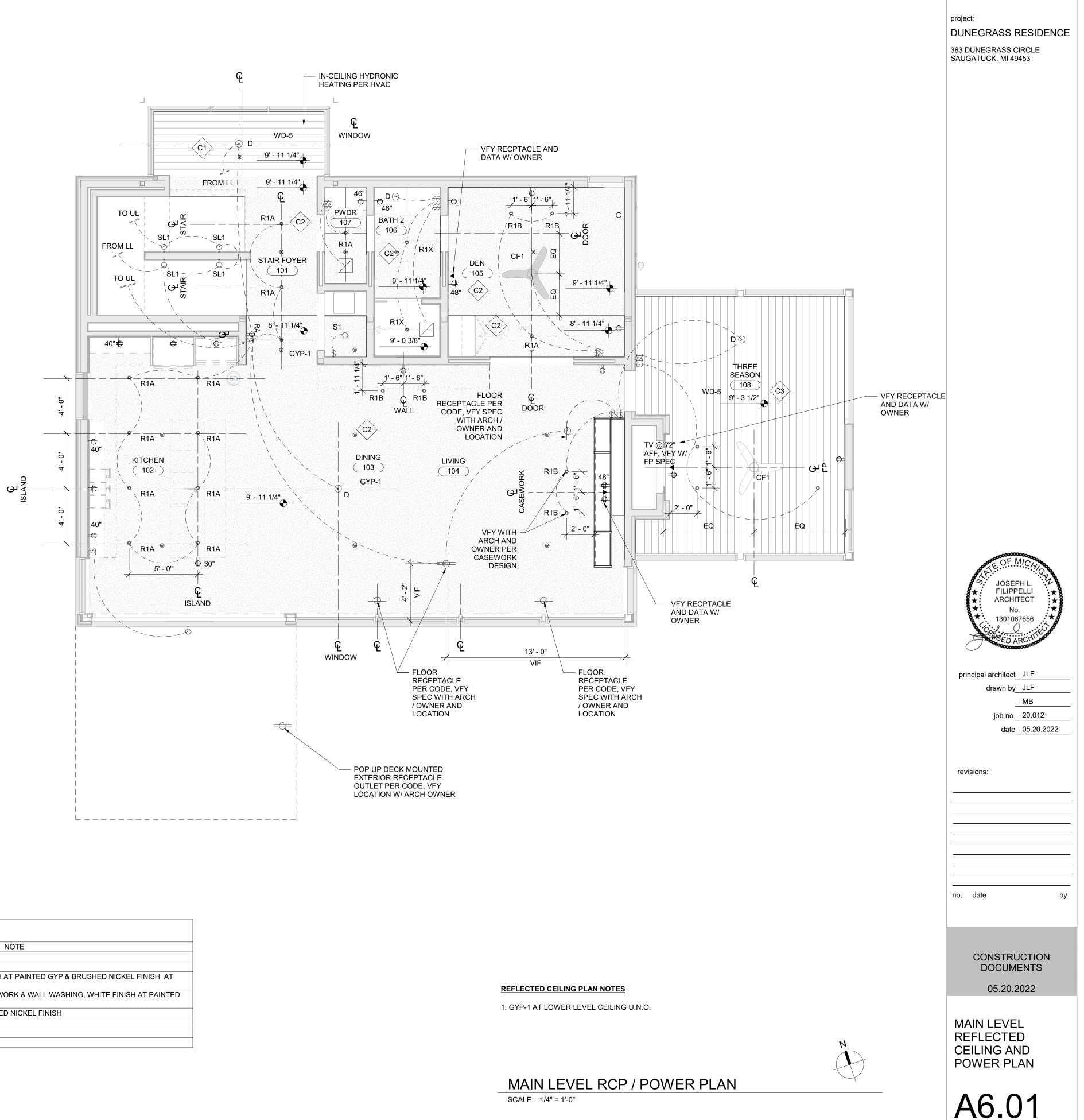
LOCATIONS W/ ARCHITECT & OWNER PRIOR TO ROUGH IN.

LAYING OUT FRAMING) TO VERIFY THE SPACE REQUIRED AT EACH FIXTURE.

LAYOUT SO THAT TRIMS ARE CENTERED ON BOARD WIDTH, UNO

LOCATIONS WITHOUT ARCHITECT'S APPROVAL.

				LIGHT FIXTURE SCHEDULE		
TYPE	MANUFACTURER	MODEL	LAMP/OPTIC	DESCRIPTION	QUANTITY	NOTE
					1_	
D	TBD	TBD	TBD	TBD	7	DECORATIVE LIGHT FIXTURES TBD
R1A	COOPER	HALO ML4 LED, H995ICAT, TL41R	TIR45NFL25, 2700K	RECESSED PINHOLE DOWNLIGHT W/ ROUND TRIM	40	GENERAL RECESSED LIGHTING, WHITE FINISH AT PAINTED GYP & BRUSHED NICKEL FINISH AT WOOD
R1B	COOPER	HALO ML4 LED, H995ICAT, TL41R	TIR50AWW25, 2700K	RECESSED PINHOLE DOWNLIGHT/ WALL WASH W/ ROUND TRIM	12	DIRECTIONAL RECESSED LIGHTING FOR ARTWORK & WALL WASHING, WHITE FINISH AT PAINTED GYP & BRUSHED NICKEL FINISH AT WOOD
R1X	COOPER	HALO ML4 LED, H995ICAT, TL45R	TIR45NFL25, 2700K	RECESSED PINHOLE DOWNLIGHT W/ ROUND WET RATED TRIM	11	WET LOCATION RECESSED LIGHTING, BRUSHED NICKEL FINISH
S1	TBD	TBD	TBD	CEILING MOUNTED SURFACE LIGHT	8	TBD
SC1	TBD	TBD	TBD	OUTDOOR WALL SCONCE	2	TBD
SL1	TBD	TBD	TBD	RECESSED STEP LIGHT	10	TBD



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WITH OWNER AND COORDINATE WITH SWITCHES INSIDE HOUSE. 15. WI-FI SYSTEM: VERIFY WI-FI SYSTEM REQUIREMENTS WITH OWNER 16. FIRE SUPPRESSION: IF REQUIRED BY JURISDICTION, CONTRACTOR TO SUBMIT DIAGRAMMAT	IC FIRE
SPRINKLER PLAN TO ARCHITECT FOR REVIEW & COORDINATION WITH RCP.	

13. ETHERNET JACKS: VERIFY ALL ETHERNET JACK LOCATIONS W/ ARCHITECT & OWNER

2. CIRCUIT DIAGRAM INFORMATION BELOW TO GIVE INTENT FOR NUMBER OF CIRCUITS. VERIFY SWITCH BANK

3. RCP COORDINATION: COORDINATE ALL LIGHT FIXTURE, FAN, SMOKE DETECTOR, ETC. LOCATIONS WITH

5. RCP COORDINATION: LIGHT FIXTURE LOCATIONS IN WOOD CEILING TO BE COORDINATED WITH BOARD

6. WALK-THROUGH: HANG ALL LIGHT FIXTURES, SWITCH BOXES, AND OUTLETS FOR WALK-THROUGH

LOCATIONS WITH ARCHITECT AND OWNER TO VERIFY FINAL LOCATIONS, PRIOR TO INSTALLING WIRING. 7. SWITCHES: CENTERLINE OF SWITCH PLATES WILL BE 40" AFF, UNO (VERIFY ALL LOCATIONS IN THE FIELD

8. OUTLETS: ALL OUTLETS MOUNTED VERTICALLY @ 12" (TO CENTERLINE) AFF, UNO. PROVIDE

FRAMING AND CONCRETE PRIOR TO FRAMING INSTALLATION AND CONCRETE POURS. LOCATE FRAMING TO ACCOMMODATE SPECIFIED FIXTURE LOCATIONS, NOTIFY ARCHITECT OF CONFLICTS. DO NOT CHANGE FIXTURE

4. RCP COORDINATION: PRIOR TO FRAMING ROOFS AND CEILINGS, ALL FIXTURES SHOULD BE SUBMITTED AND

APPROVED BY ARCHITECT. CONTRACTOR SHALL THEN PURCHASE A HOUSE OF EACH TYPE OF FIXTURE (BEFORE

OUTLETS/RECEPTACLES AT LOCATIONS THAT ARE REQ'D BY APPLIANCES OR CODE, INCLUDING GFCI OUTLETS AT

10. FLOOR RECEPTACLES: PROVIDE FLOOR RECEPTACLES FLUSH WITH FINISH FLOOR WHERE SHOW SUCH THAT

CORD & PLUG ARE FULL RECESSED BELOW PLATE WHEN PLUGGED IN. VERIFY COVER PLATE FINISH OPTION W/

11. NON-IC RATED RECESSED FIXTURES: CONTRACTOR OPTION TO INSTALL NON-IC RECESSED HOUSE WHERE

12. AUDIO/VISUAL: CONTRACTOR TO COORDINATE ALL LOW VOLTAGE WIRING REQUIREMENTS W/ AUDIO/VISUAL

14. EXTERIOR LIGHTING: VERIFY REQUIREMENTS W/ OWNER. VERIFY ALL LANDSCAPE LIGHTING REQUIREMENTS

DAMP LOCATIONS, EVEN IF NOT INDICATED PER PLAN (VERIFY ALL LOCATIONS IN THE FIELD WITH ARCHITECT &

9. EXTERIOR OUTLETS: PROVIDE WATER-PROOF, CONCEALED JUNCTION BOXES IN EXTERIOR WALLS WHERE

DUPLEX RECEPTACLE, GFCI PER CODE \Rightarrow

SUB. VERIFY REQUIREMENTS WITH OWNER

- \$ SWITCH
- ❀ SPRINKLER HEAD (TO BE COORDINATED WITH ARCH)

- QUADPLEX RECEPTACLE, GFCI PER CODE ₽
- \$ RADIO RA SWITCH RΔ
- CEILING MOUNT SURFACE LIGHT
- RECESSED CAN LIGHT
- WALL MOUNTED SPRINKLER HEAD (TO

- CEILING BATH FAN; ASSUME PANASONIC FV0811VF5 FANS WITH COMMON EXHAUST & BACK DAMPER
- ELECTRICAL LEGEND
- SCALE: 1/4" = 1'-0"

DATA

•

				LIGHT FIXTURE SCHEDULE	
TYPE	MANUFACTURER	MODEL	LAMP/OPTIC	DESCRIPTION	QUANTITY
D	TBD	TBD	TBD	TBD	7
R1A	COOPER	HALO ML4 LED, H995ICAT, TL41R	TIR45NFL25, 2700K	RECESSED PINHOLE DOWNLIGHT W/ ROUND TRIM	40
R1B	COOPER	HALO ML4 LED, H995ICAT, TL41R	TIR50AWW25, 2700K	RECESSED PINHOLE DOWNLIGHT/ WALL WASH W/ ROUND TRIM	12
R1X	COOPER	HALO ML4 LED, H995ICAT, TL45R	TIR45NFL25, 2700K	RECESSED PINHOLE DOWNLIGHT W/ ROUND WET RATED TRIM	11
S1	TBD	TBD	TBD	CEILING MOUNTED SURFACE LIGHT	8
SC1	TBD	TBD	TBD	OUTDOOR WALL SCONCE	2
SL1	TBD	TBD	TBD	RECESSED STEP LIGHT	10

BE COORDINATED WITH ARCH)

- ◇ INDICATES ASSEMBLY, SEE A0.10

LOCATIONS WITHOUT ARCHITECT'S APPROVAL.

1. GRID LINES ARE TO FACE OF FRAMING OR CL OF STEEL

LOCATIONS W/ ARCHITECT & OWNER PRIOR TO ROUGH IN.

LAYING OUT FRAMING) TO VERIFY THE SPACE REQUIRED AT EACH FIXTURE.

REQUIRED (VERIFY ALL LOCATIONS IN THE FIELD WITH ARCHITECT & OWNER)

LAYOUT SO THAT TRIMS ARE CENTERED ON BOARD WIDTH, UNO

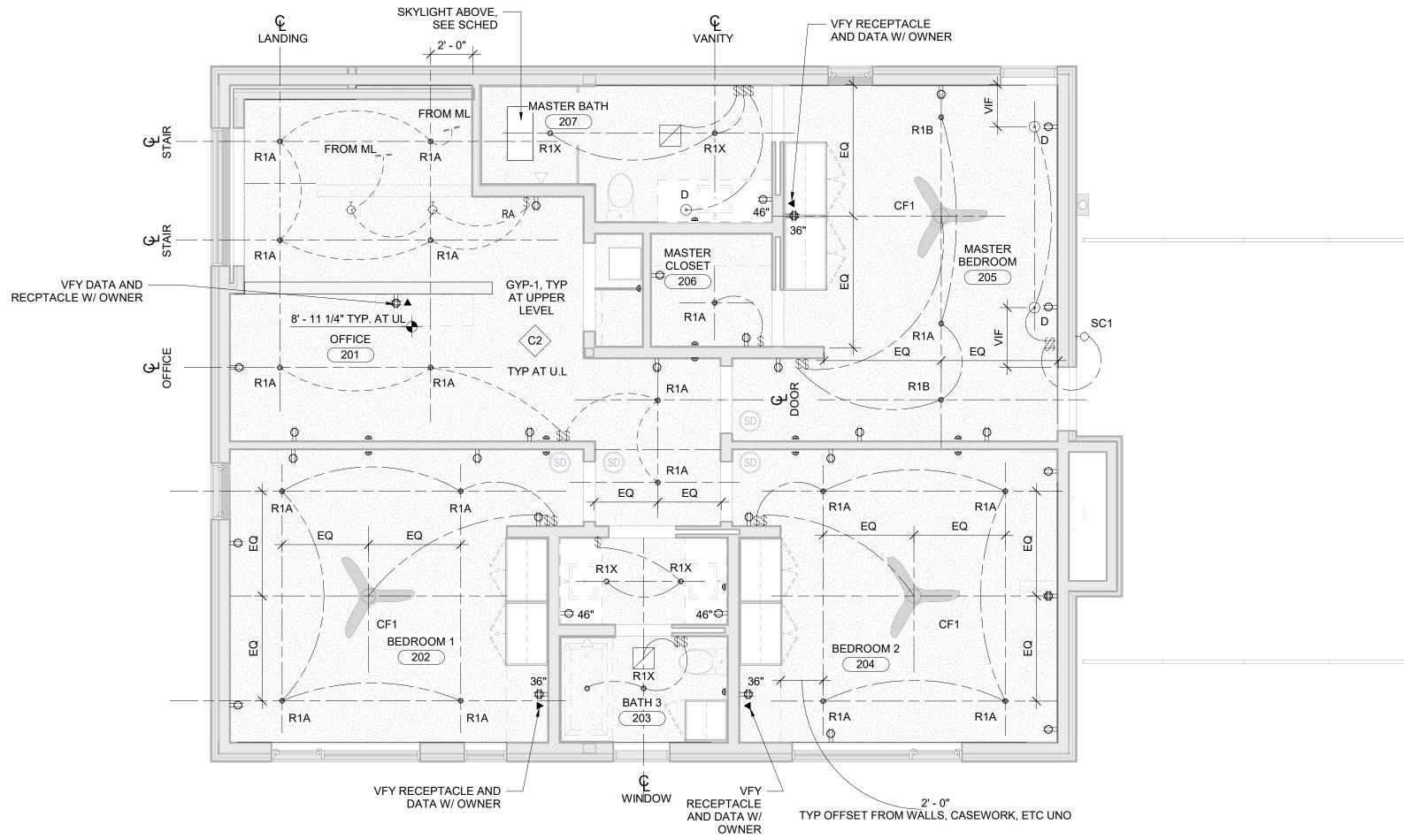
ELECTRICAL NOTES

WITH ARCHITECT & OWNER)

OWNER)

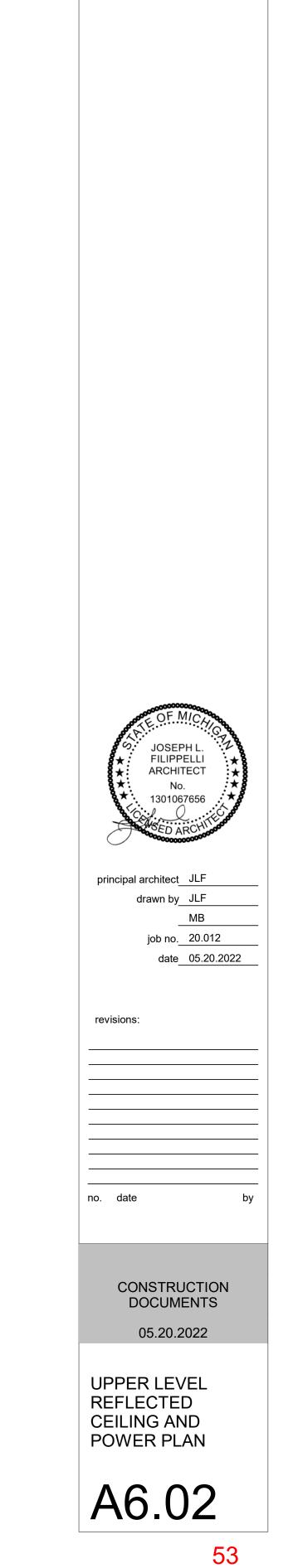
ARCHITECT

ALLOWABLE BY CODE



NOTE
DECORATIVE LIGHT FIXTURES TBD
GENERAL RECESSED LIGHTING, WHITE FINISH AT PAINTED GYP & BRUSHED NICKEL FINISH AT WOOD
DIRECTIONAL RECESSED LIGHTING FOR ARTWORK & WALL WASHING, WHITE FINISH AT PAINTED GYP & BRUSHED NICKEL FINISH AT WOOD
WET LOCATION RECESSED LIGHTING, BRUSHED NICKEL FINISH
TBD
TBD
TBD

REFLECTED CEILING PLAN NOTES 1. GYP-1 AT LOWER LEVEL CEILING U.N.O.



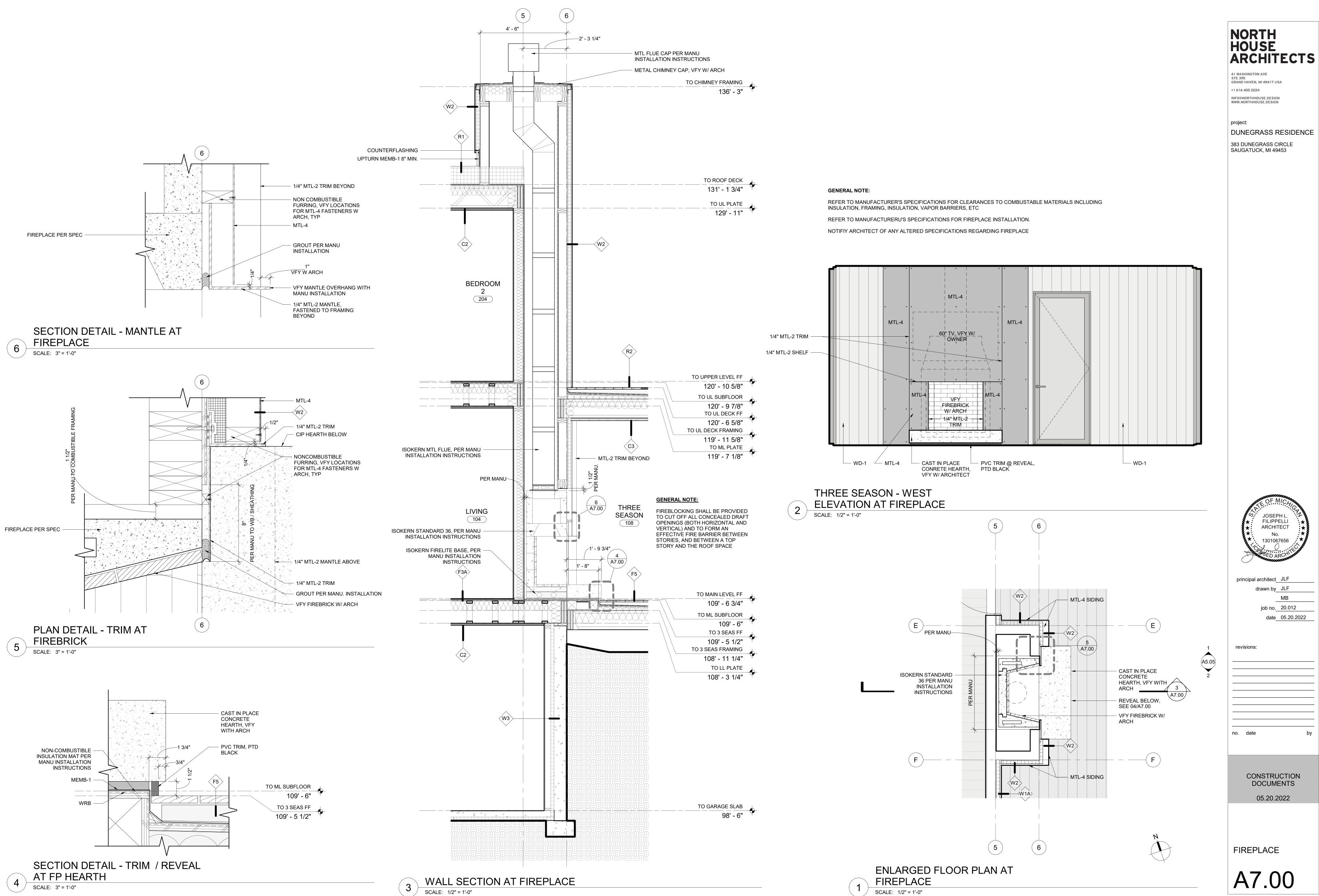
UPPER LEVEL RCP / POWER PLAN SCALE: 1/4" = 1'-0"

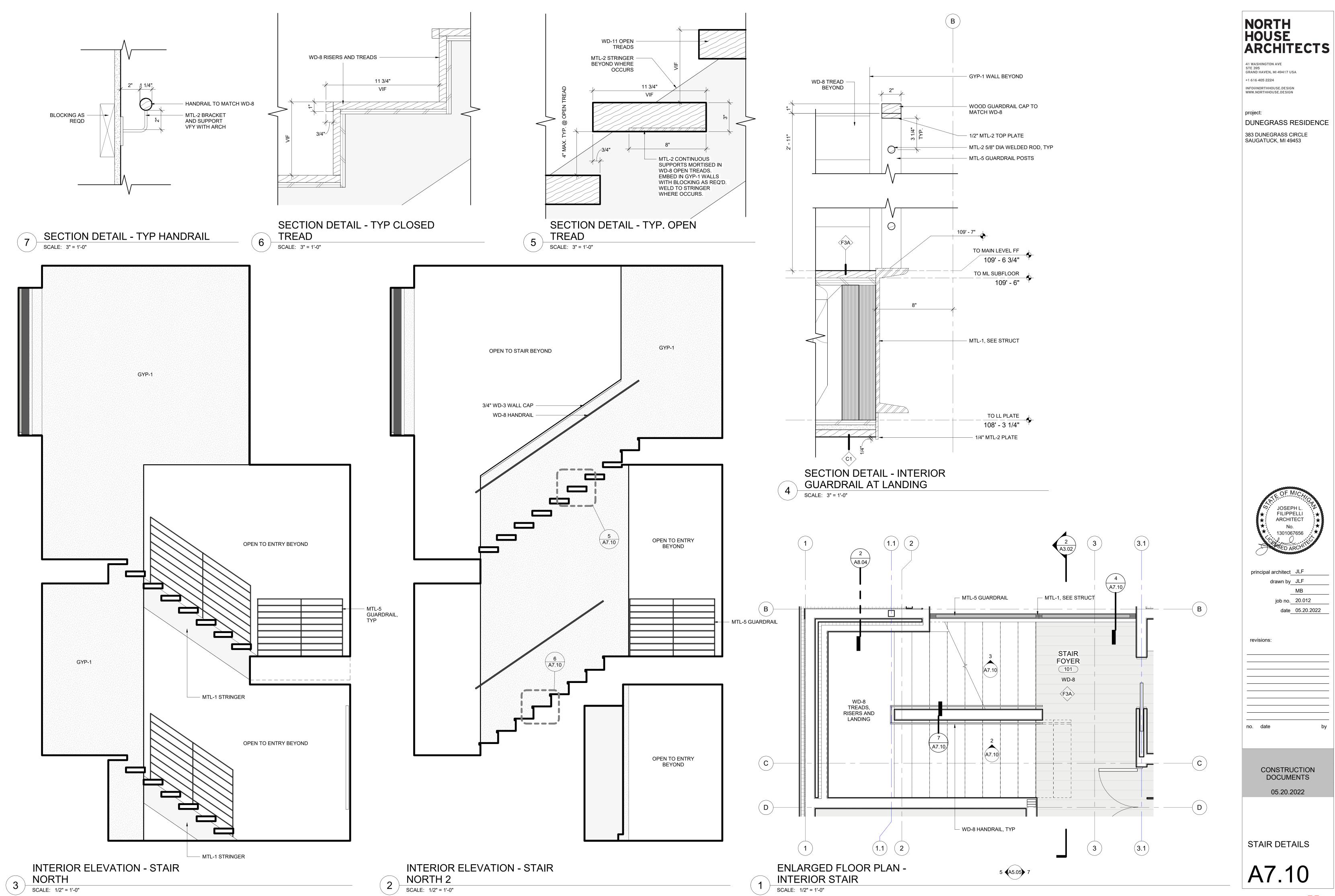




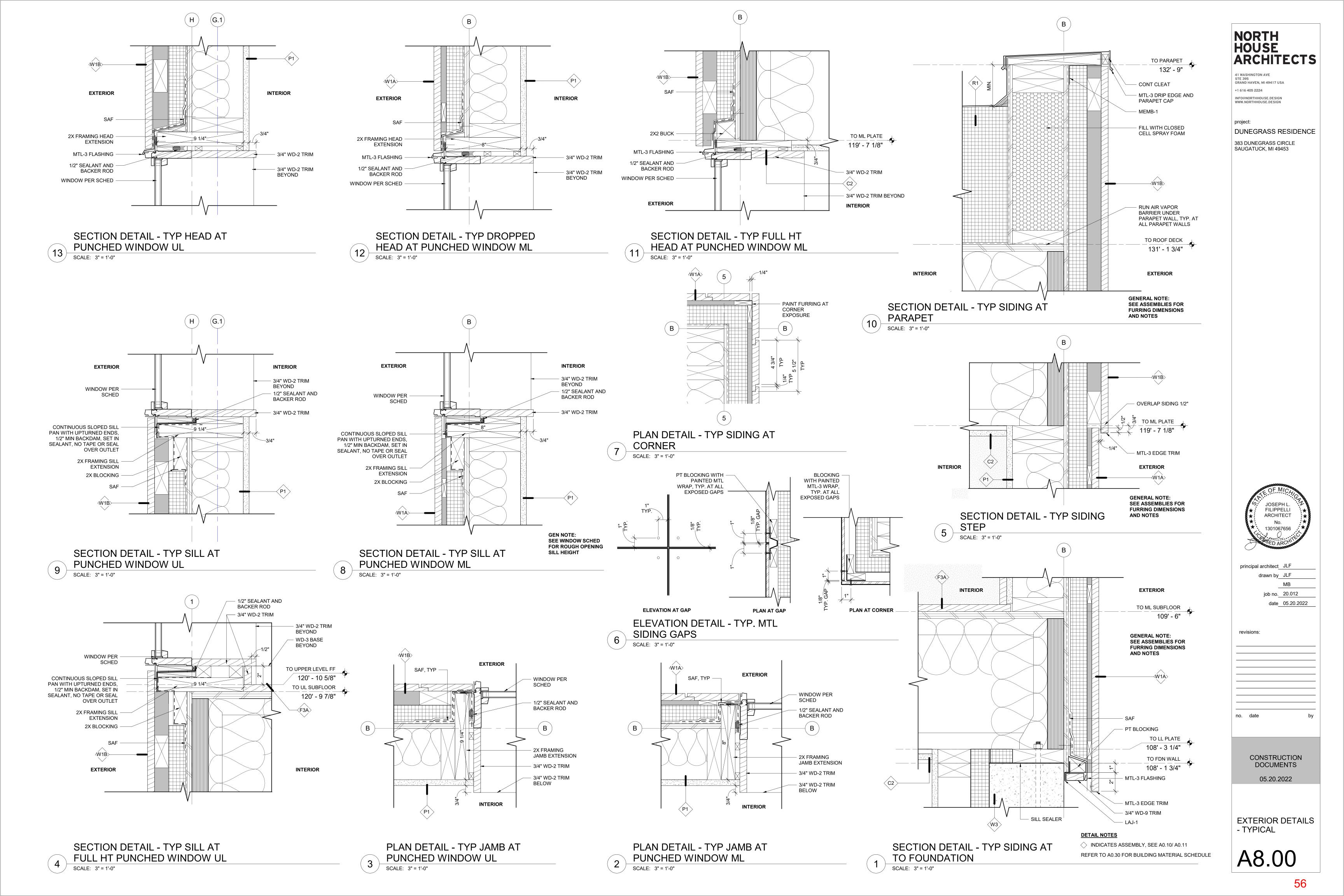
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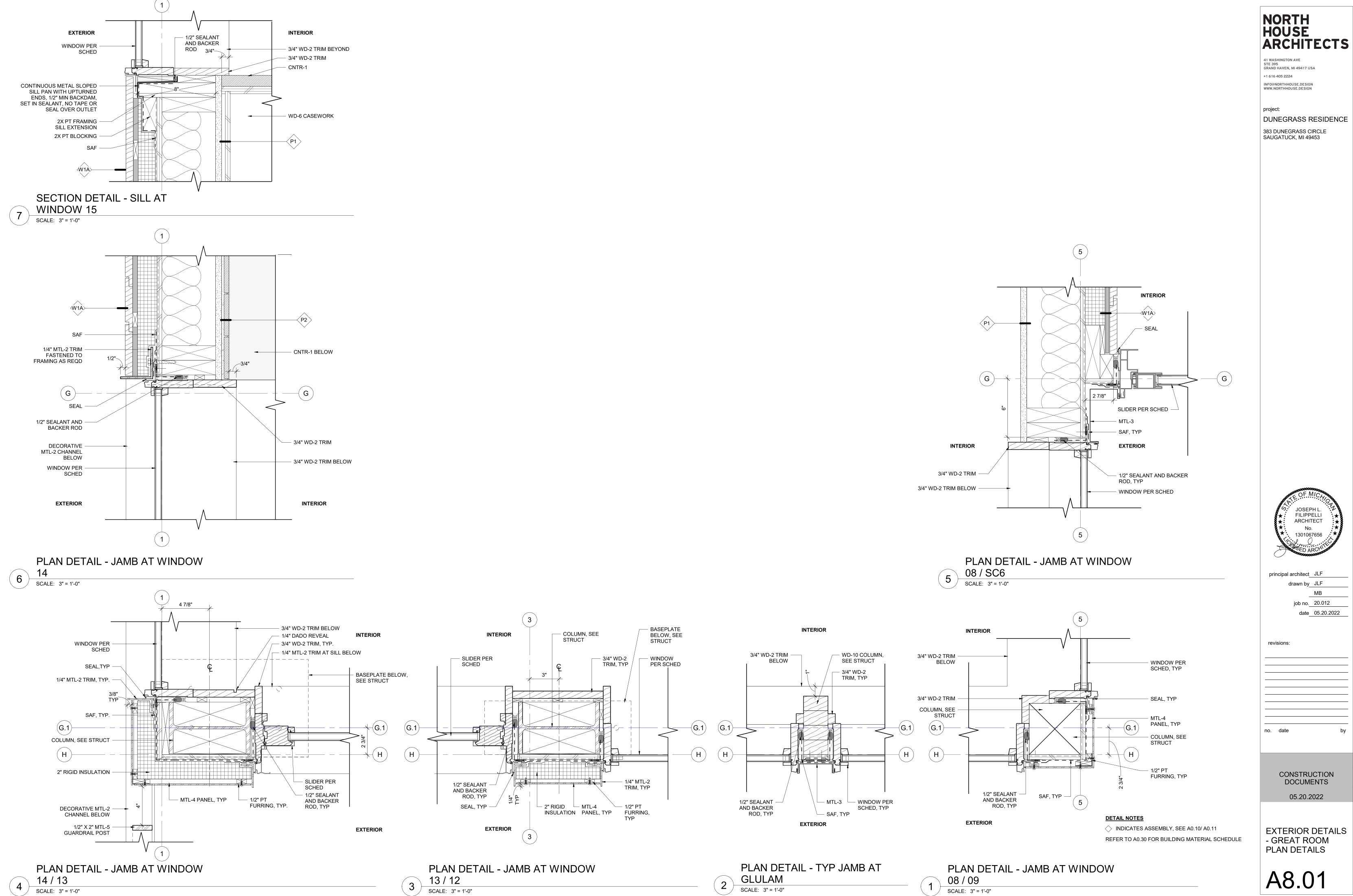
project DUNEGRASS RESIDENCE 383 DUNEGRASS CIRCLE SAUGATUCK, MI 49453





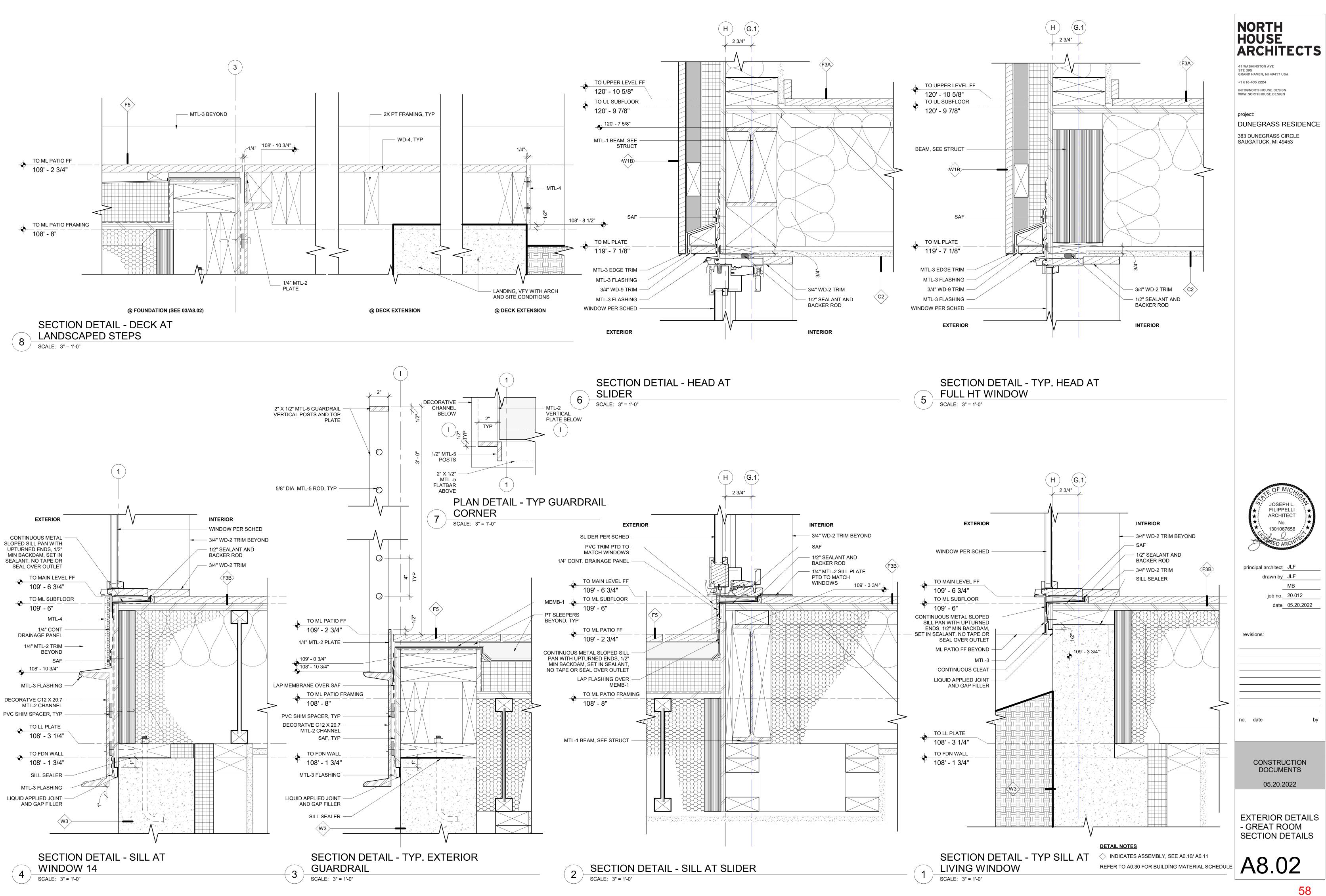


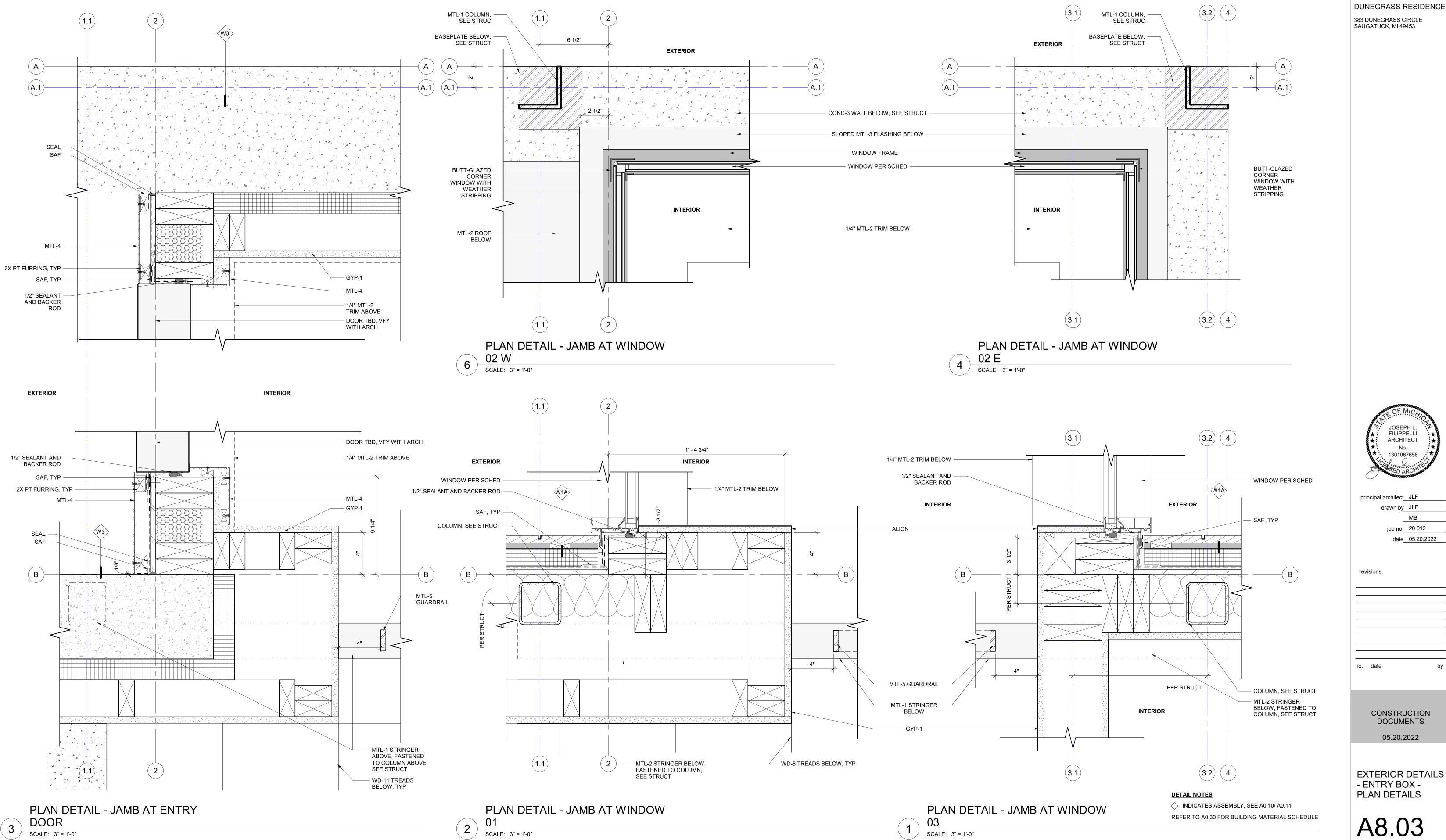






SCALE: 3" = 1'-0"





PLAN DETAIL - JAMB AT ENTRY DOOR SCALE: 3" = 1'-0"

2 01 SCALE: 3" = 1'-0"

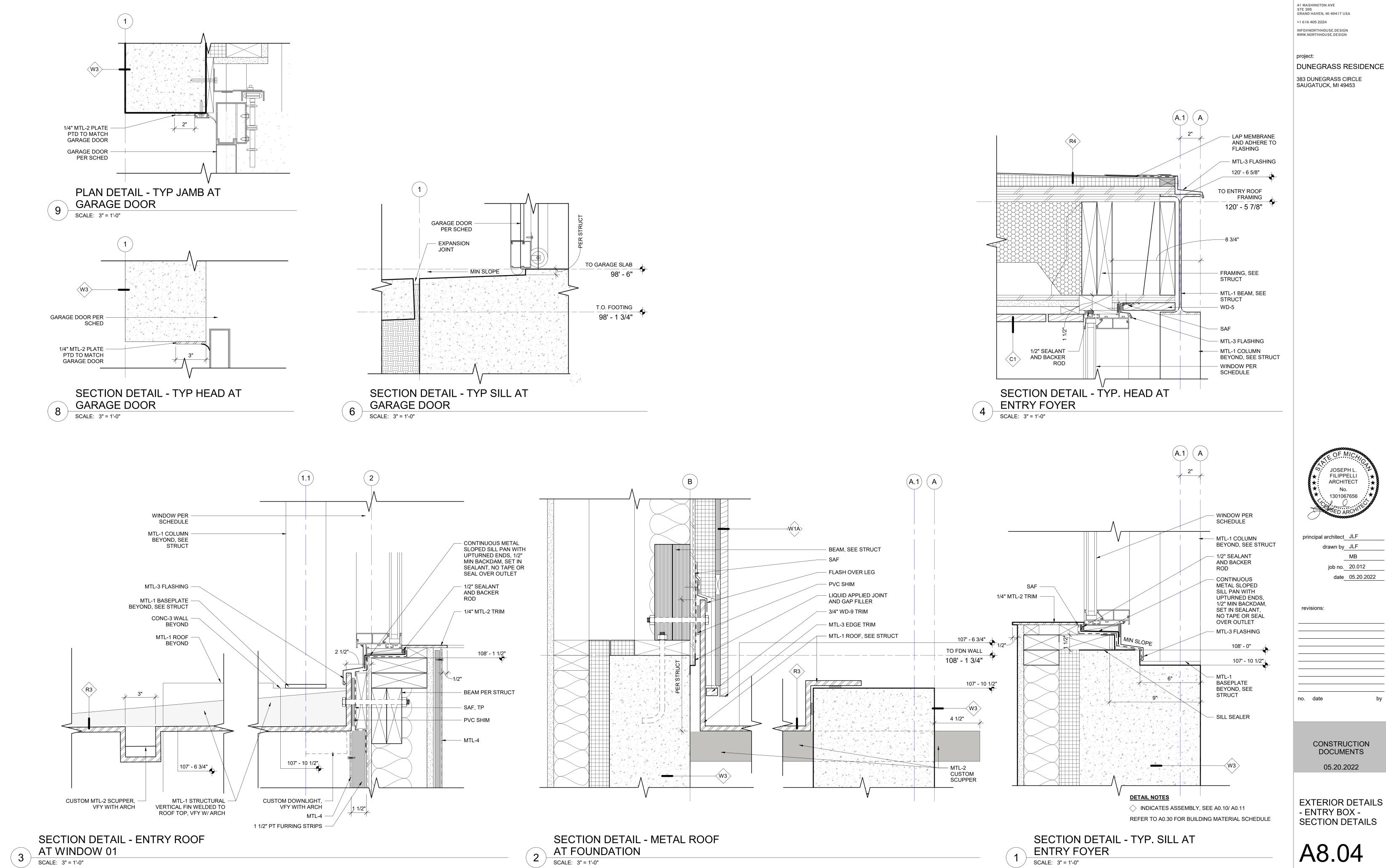
03 SCALE: 3" = 1'-0"



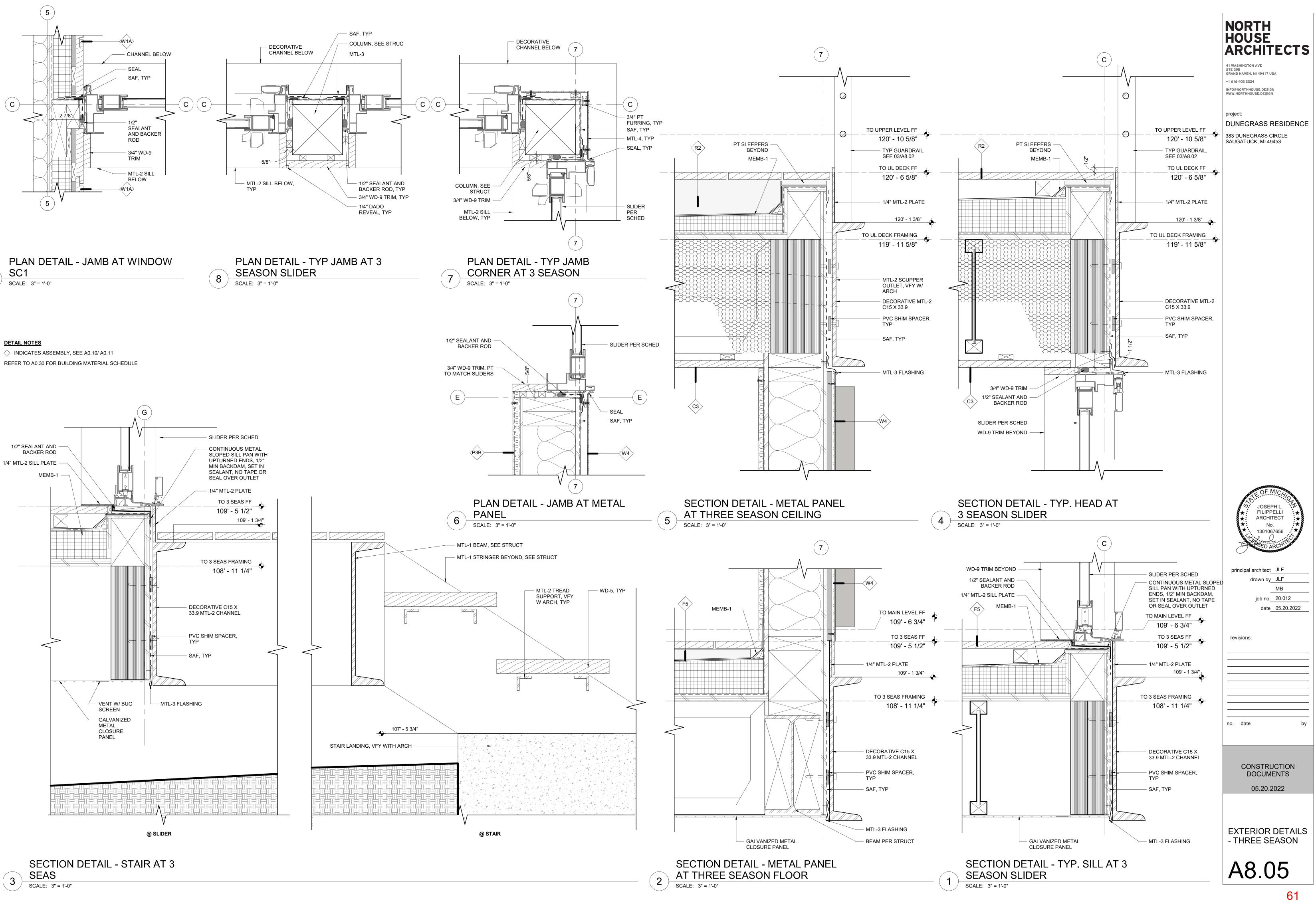
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project:

REFER TO A0.30 FOR BUILDING MATERIAL SCHEDULE

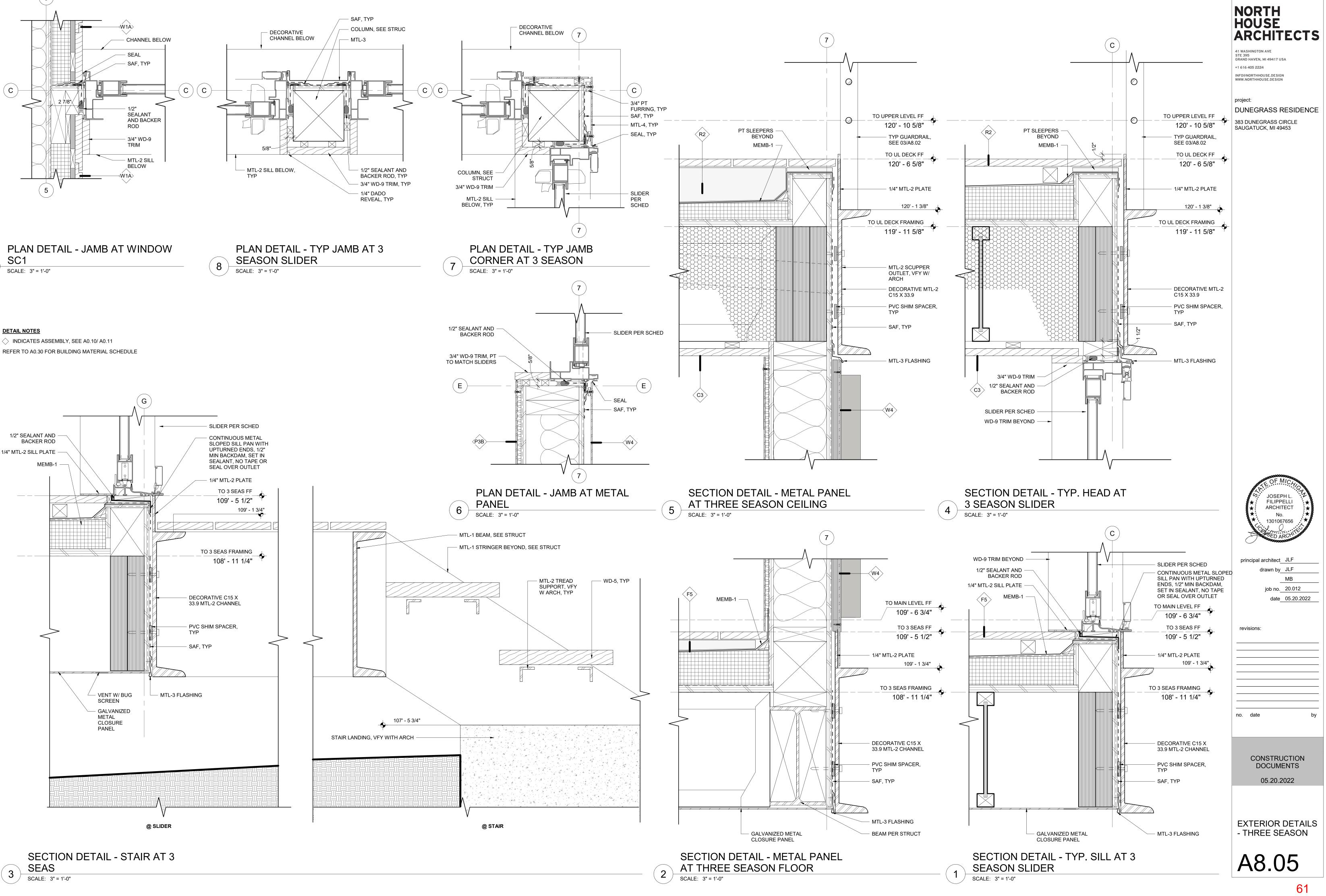


NORTH HOUSE ARCHITECTS



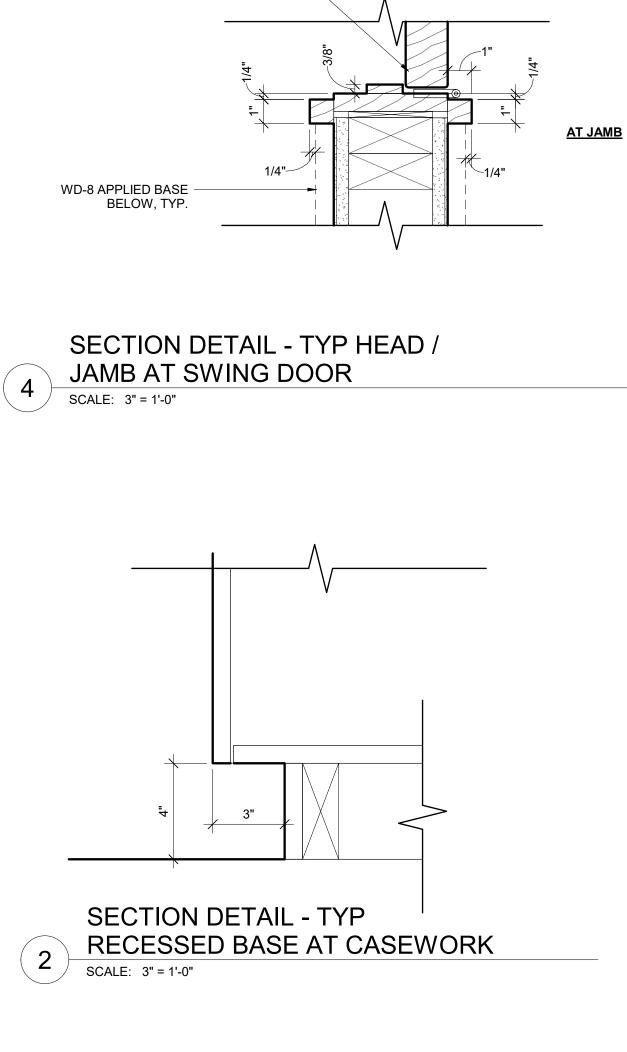








DETAIL NOTES ◇ INDICATES ASSEMBLY, SEE A0.10/ A0.11



WD-8 TRIM, TYP.

DOOR PER -SCHEDULE

AT HEAD / JAMB

REFER TO A0.30 FOR BUILDING MATERIAL SCHEDULE

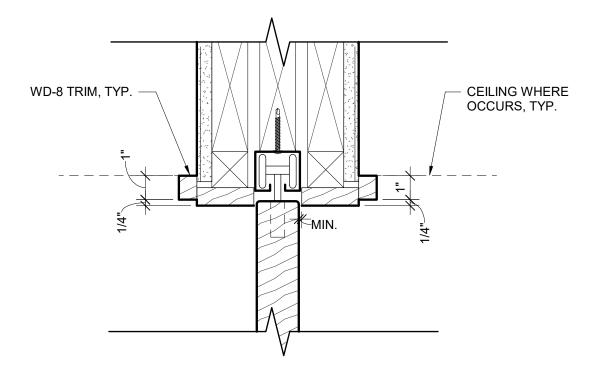
NORTH HOUSE ARCHITECTS

DUNEGRASS RESIDENCE

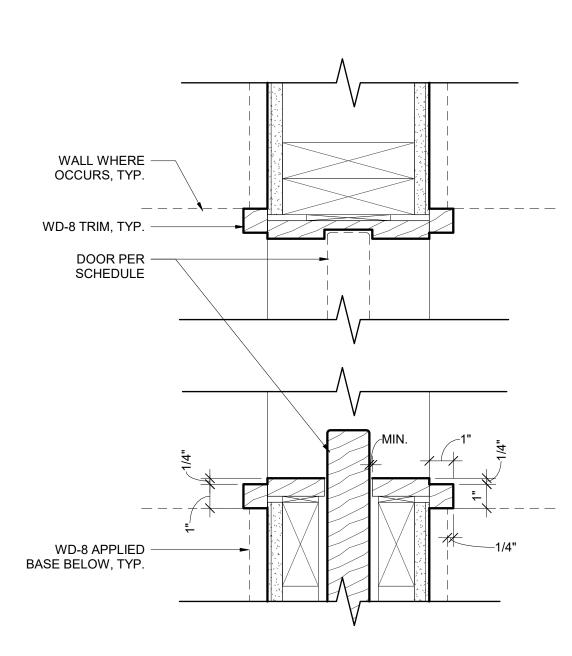
383 DUNEGRASS CIRCLE SAUGATUCK, MI 49453

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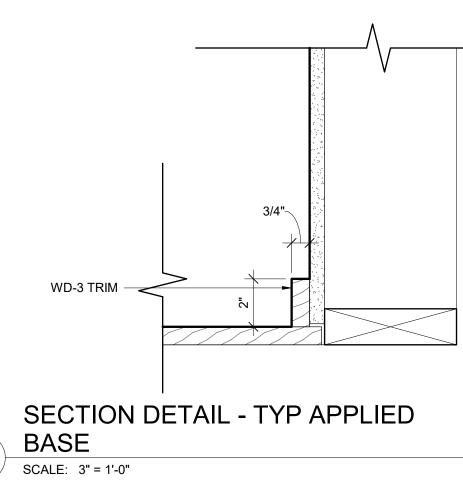
project:



SECTION DETAIL - TYP HEAD AT POCKET DOOR SCALE: 3" = 1'-0" 5

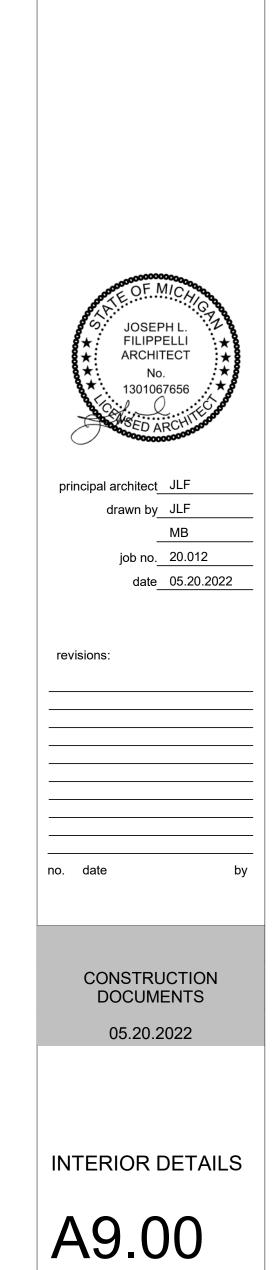


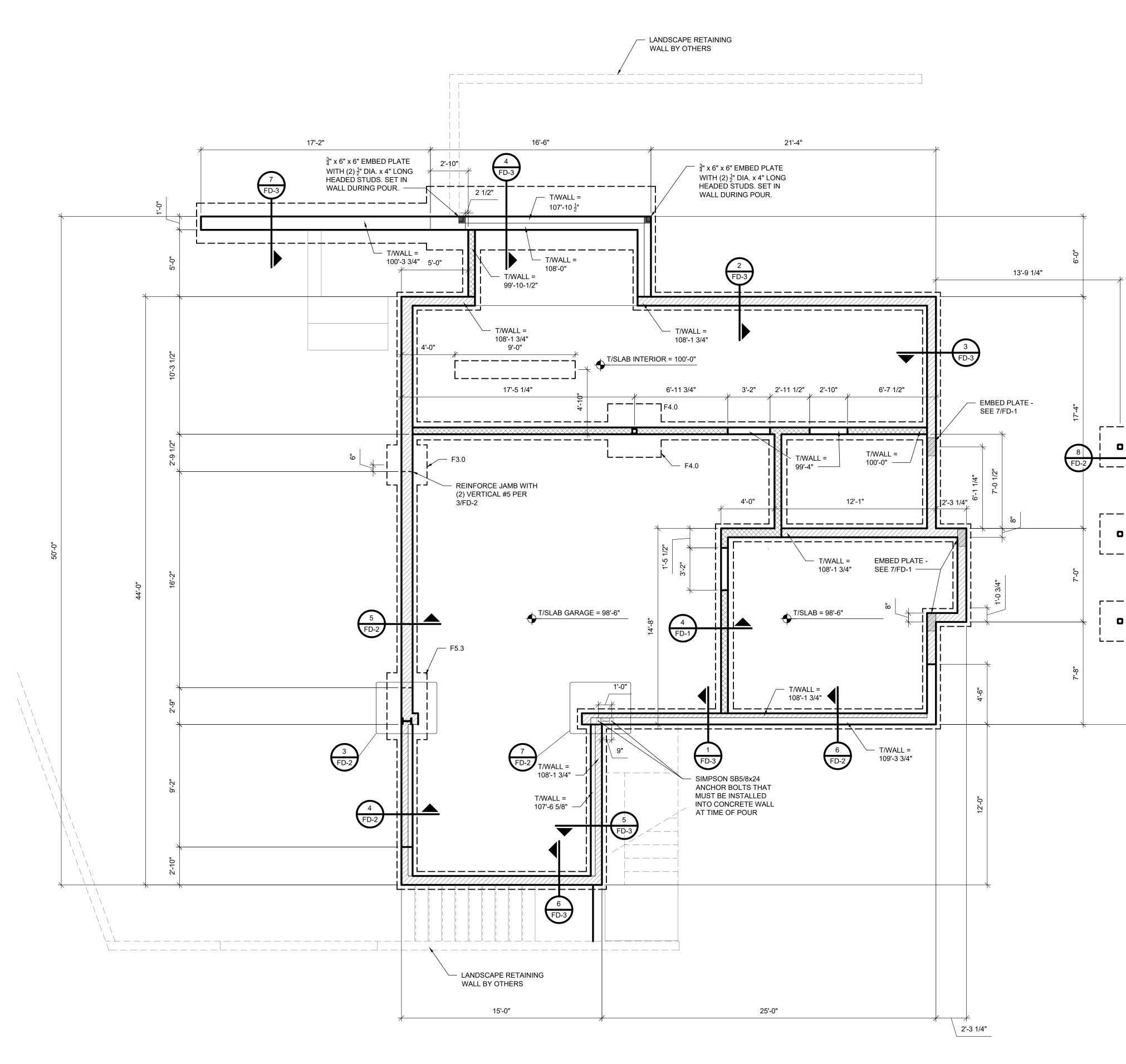
PLAN DETAIL - TYP JAMB AT POCKET DOOR SCALE: 3" = 1'-0"



(1)

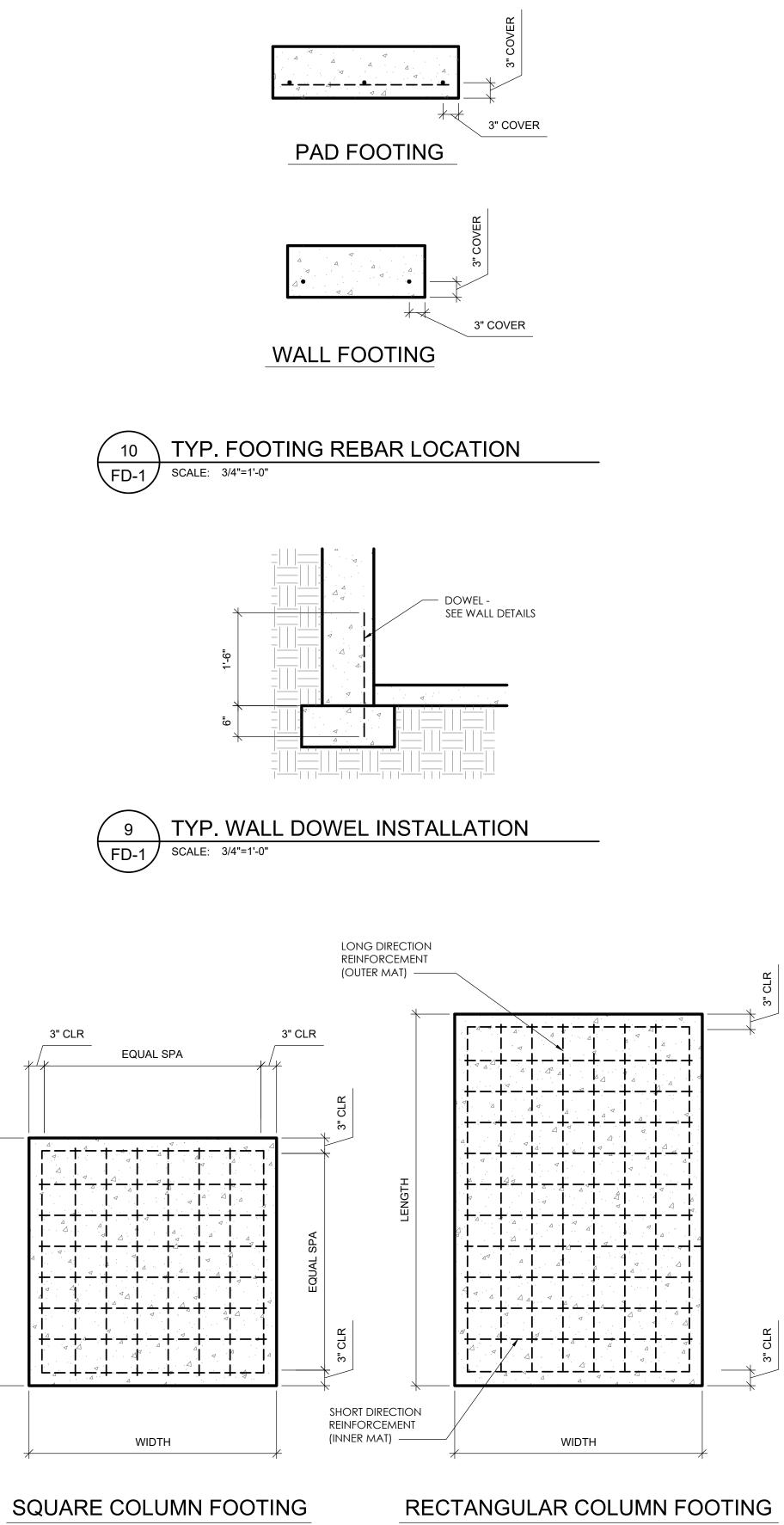
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			NORTH HOUSE ARCHITECTS
			41 WASHINGTON AVE STE 395 GRAND HAVEN, MI 49417 USA +1 616 405 2224 INFO@NORTHHOUSE.DESIGN WWW.NORTHHOUSE.DESIGN
			project: DUNEGRASS
~			ROGER D. KELLEY ENGINER 043247 CESSON CONTRACTOR
 -		4	Engineered Structures, LLC (616) 667-9650 es2@comcast.net
	F3.0 [#] 7/1 9-19	~	
	F3.0 F 3.0 F 3.0		
) -	F3.0 #7/E 82	2	
	WWM ON COMPACTED GR JOINTS @ 10'-0" O.C. MAXI	T DTES - NE TO BE 4" CONCRETE SLAB WITH ONE LAYER 6x6 W2.1 x W2.1 ANULAR FILL. PROVIDE CONTRACTION / CONSTRUCTION MUM. REFER TO STRUCTURAL NOTES SHEET FOR ADDITIONAL ALSO REFER TO TYPICAL DETAILS.	
	IF POOR SOILS ARE ENCO BEARING CAPACITY, COOR 3. IF SITE SOILS ARE CLAY REQUIRE REVISION. 4. DO NOT BACKFILL WALL SHEATHING ARE INSTALLE	DR AN ALLOWABLE BEARING CAPACITY OF 2000 PSF PER MRC. JNTERED OR A SOIL REPORT IS PROVIDED WITH A DIFFERENT RDINATE REVISIONS WITH ENGINEERED STRUCTURES, LLC. NOTIFY ENGINEERED STRUCTURES, LLC. FOUNDATIONS MAY S UNTIL LOWER LEVEL SLAB AND MAIN FLOOR JOISTS AND D. CLAY IS NOT AN ACCEPTABLE BACKFILL MATERIAL. ALL RAINING GRANULAR MATERIAL GW, GP, SW OR SP PER THE RT.	revisions:
	 6. PORCH SLAB ADJACENT THE POTENTIAL TO SETTL WALL FOR SLAB SUPPORT 7. U.N.O UNLESS NOTED 8. TYPICAL SLAB ON GRAD SLAB WITH ONE LAYER 6x0 	E AT INTERIOR POLISHED CONCRETE TO BE 4" CONCRETE W2.9 x W2.9 WWM ON COMPACTED GRANULAR FILL (MESH TO	no. date by
	SLAB ABOVE RADIANT HEA O.C. MAXIMUM. ALSO PRO CONTROL. DOSAGE PER S	BE PLACE ON CHAIRS TO MAINTAIN IT'S PROPER LOCATION IN T). PROVIDE CONTRACTION / CONSTRUCTION JOINTS @ 10'-0" /IDE FIBERMESH REINFORCEMENT TO ASSIST WITH CRACK UPPLIER. REFER TO STRUCTURAL NOTES SHEET FOR JIREMENTS. ALSO REFER TO TYPICAL DETAILS	CONSTRUCTION SET
	GWWELL GRADEDGPPOORLY GRADSWWELL GRADED	CLASSIFIED ACCORDING TO THE UNIFIED SOIL CLASSIFICATION SYSTEM GRAVELS, GRAVEL SAND MIXTURES, LITTLE OR NO FINES ED GRAVELS OR GRAVEL SAND MIXTURES, LITTLE OR NO FINES SANDS, GRAVELLY SANDS, LITTLE OR NO FINES ED SANDS OR GRAVELLY SANDS, LITTLE OR NO FINES	05-20-22 FOUNDATION PLAN SCALE: 1/4" = 1'-0"
		CHEDULE WITH (4) #4 EACH WAY WITH (5) #4 EACH WAY	F-1

F5.3 5'-0" x 3'-0" x 10" WITH #4 @ 9" O.C. EACH WAY



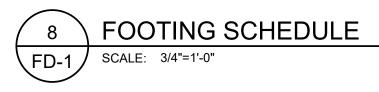
FOOTING SCHEDULE NOTES:

1. THE GEOTECHNICAL TESTING FIRM SHALL VERIFY THAT THE SOIL BEARING CAPACITY IS ACCEPTABLE AT EACH COLUMN FOOTING AND AT 8'-0" INTERVALS ALONG WALL FOOTINGS AT THE INDICATED BEARING ELEVATIONS.

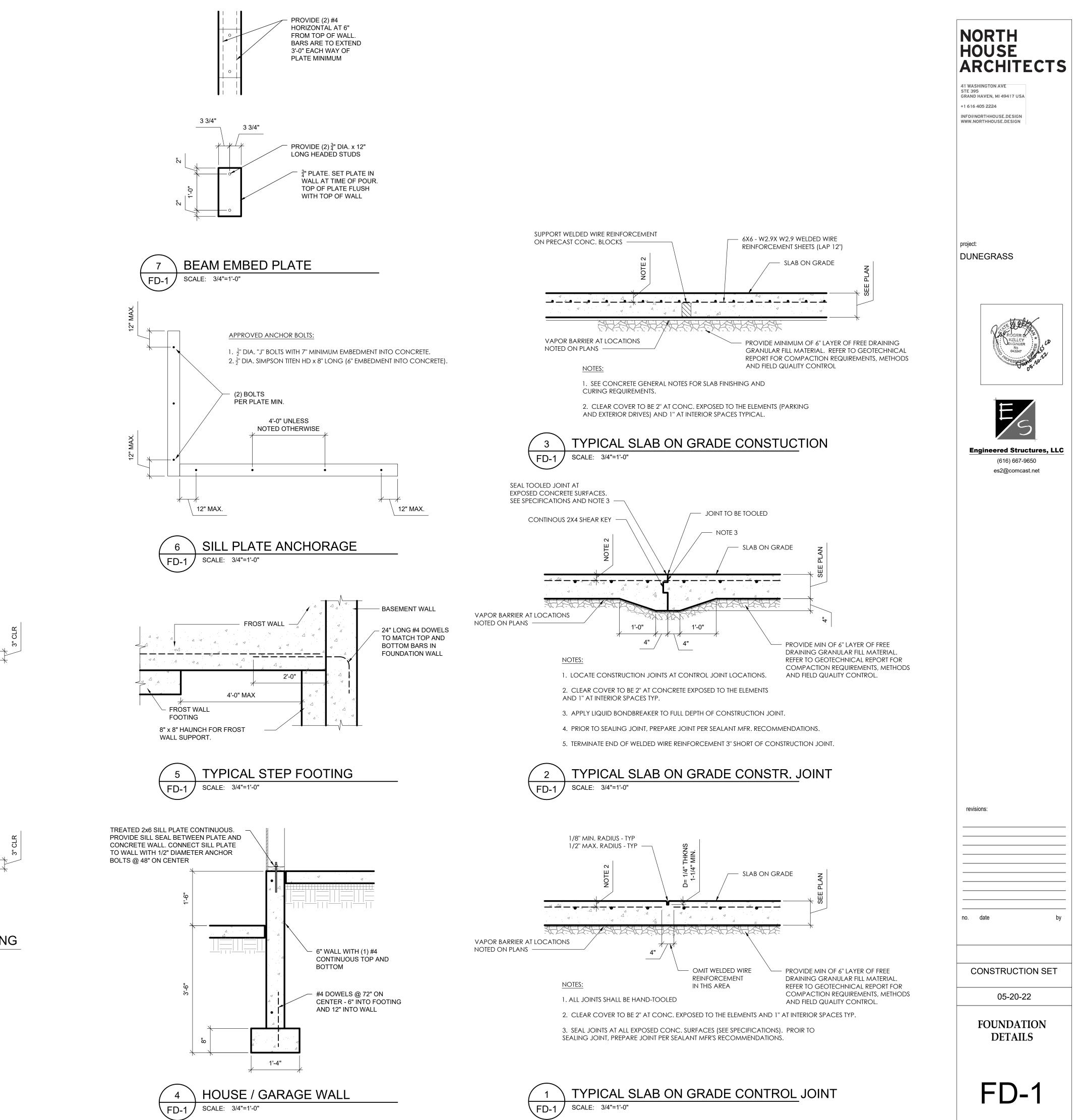
2. CENTER COLUMN AND WALL FOOTINGS UNDER THE COLUMN OR WALL ABOVE UNLESS OTHERWISE INDICATED.

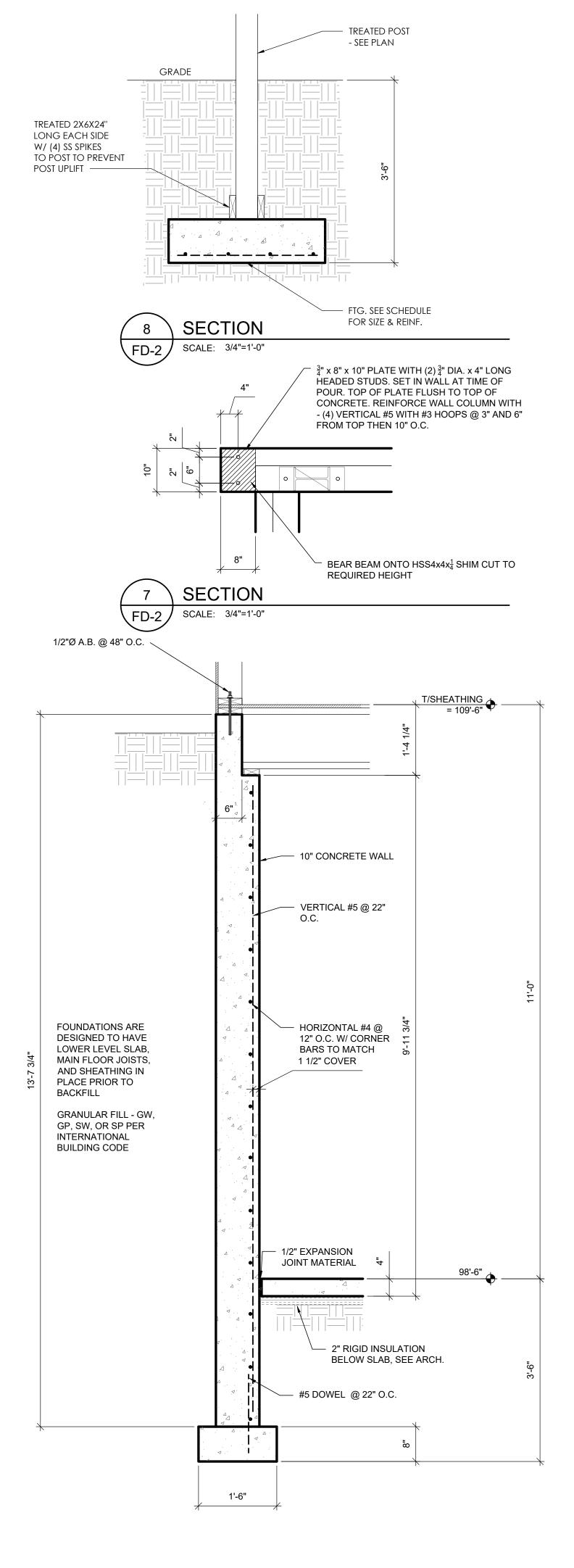
3. PLACE FOOTINGS IN WOOD FORMS UNLESS OTHERWISE APPROVED BY THE ENGINEER.

4. SEE CONCRETE SCHEDULE AND GENERAL NOTES PERTAINING TO FOUNDATIONS, CONCRETE AND REINFORCING

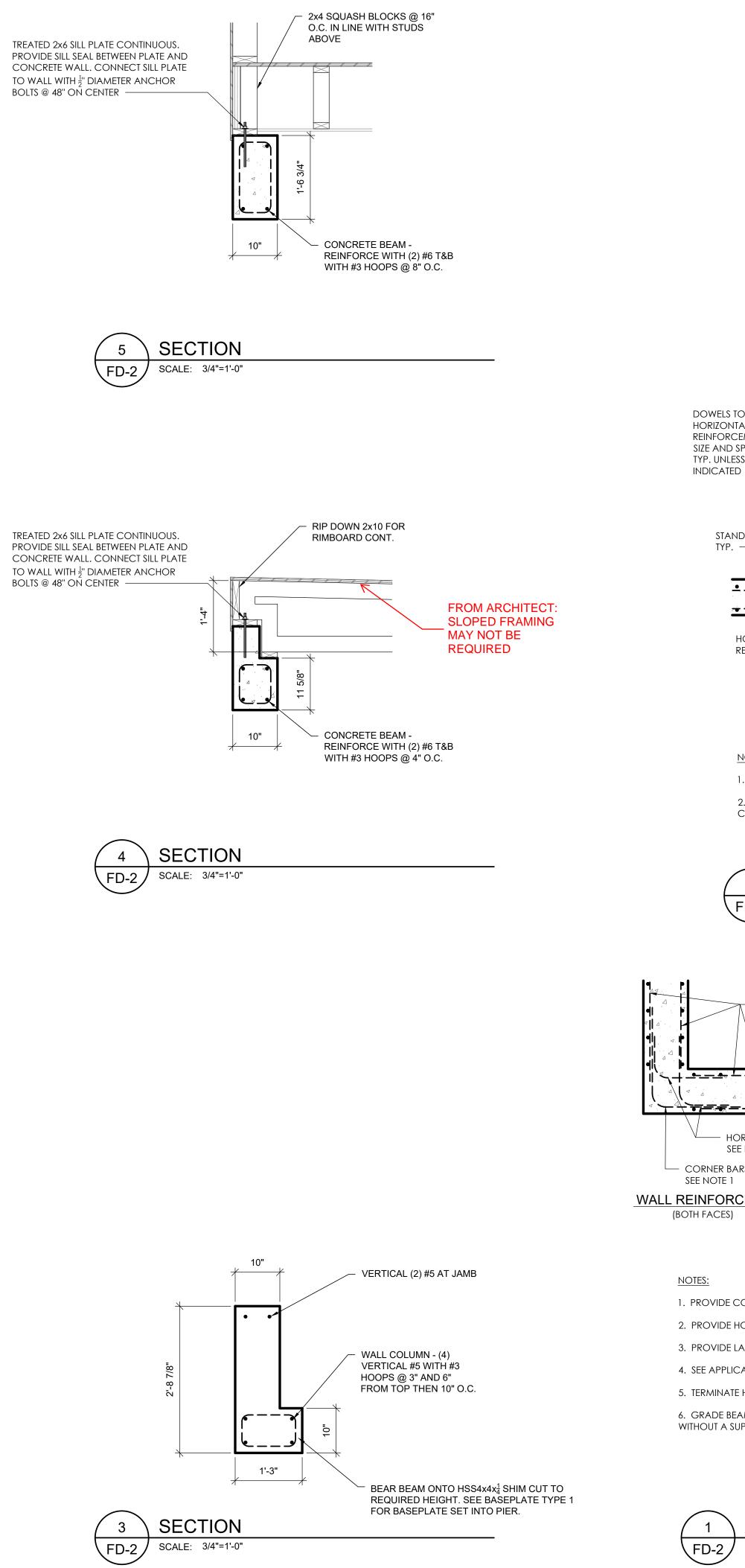


STEEL FOR INFORMATION RELATED TO FOUNDATION CONSTRUCTION.



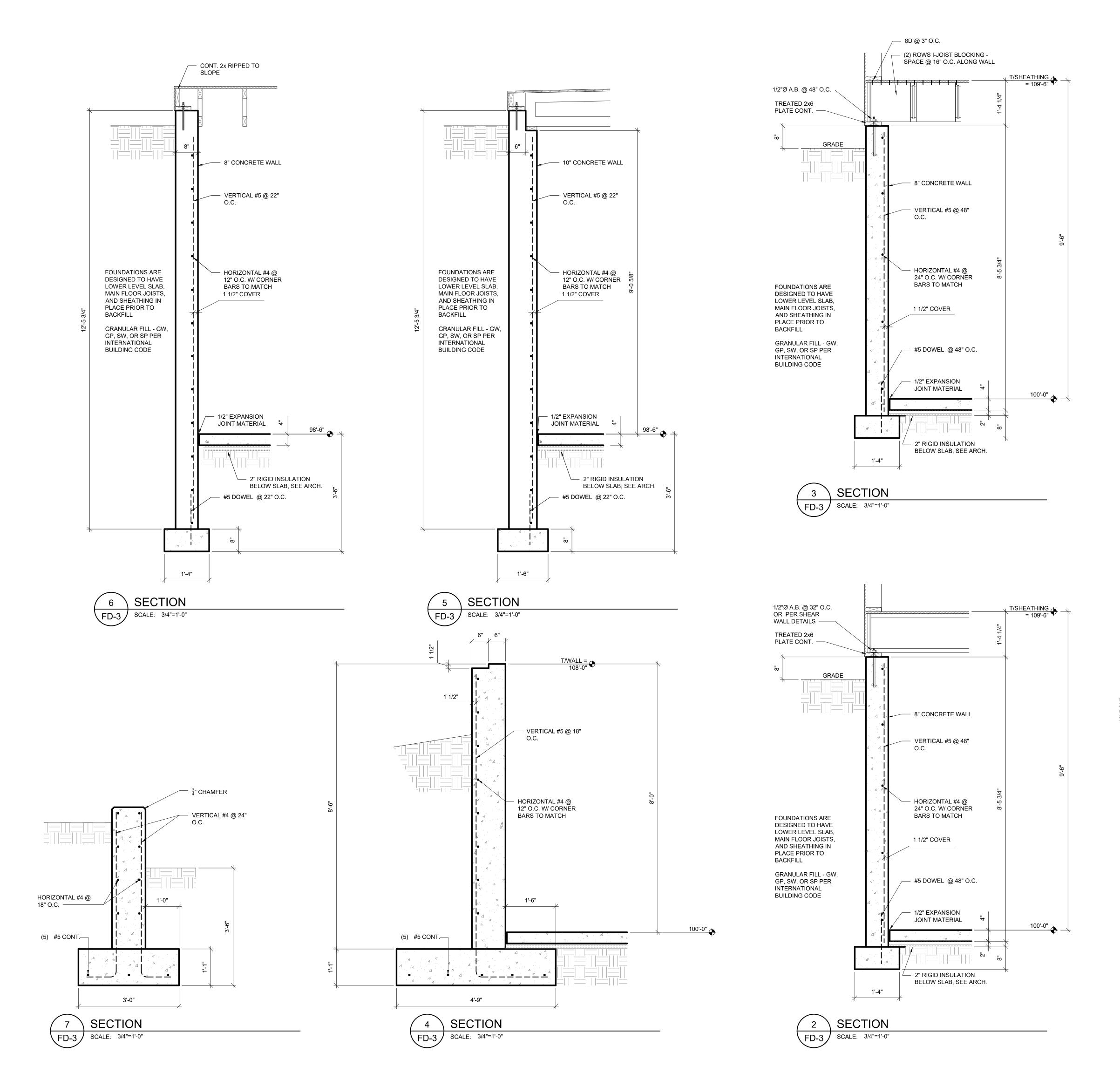


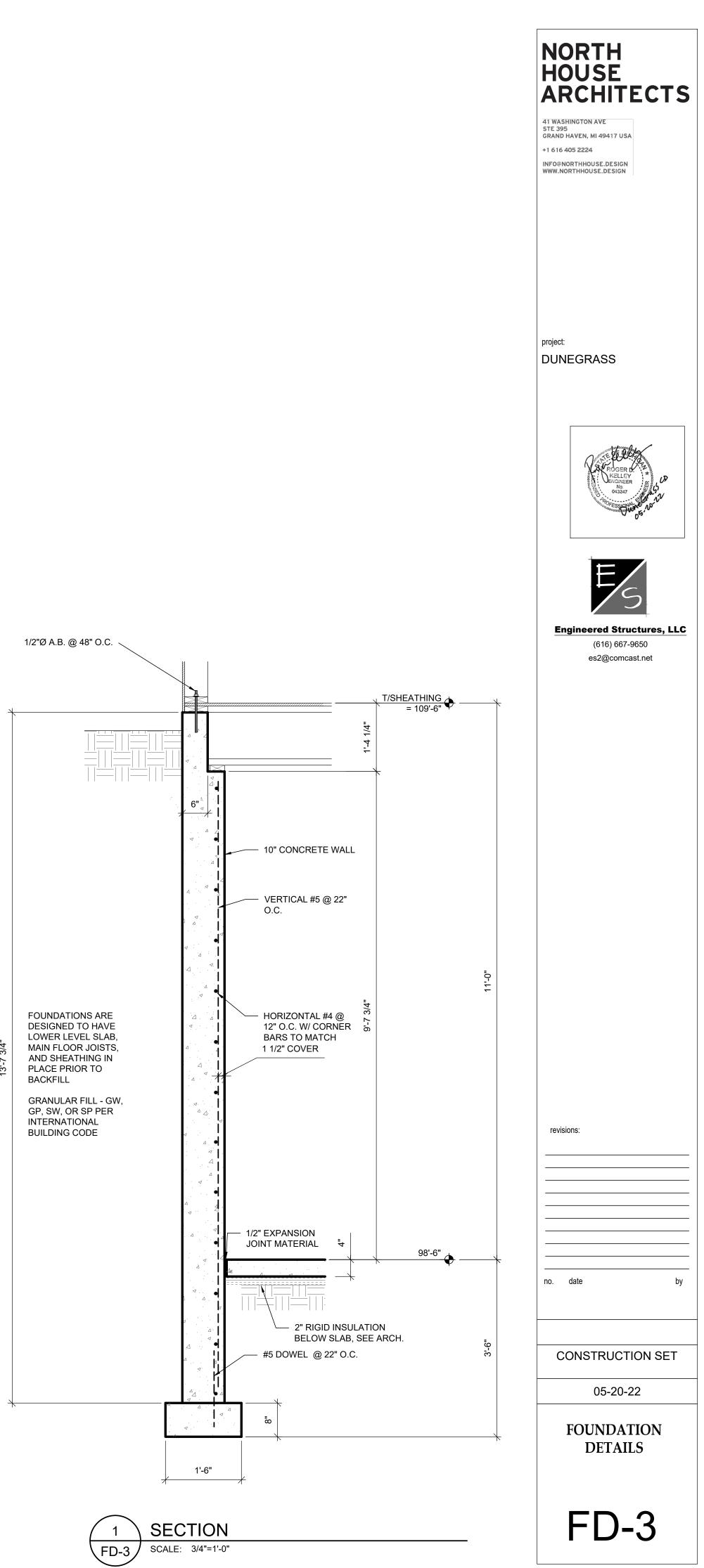


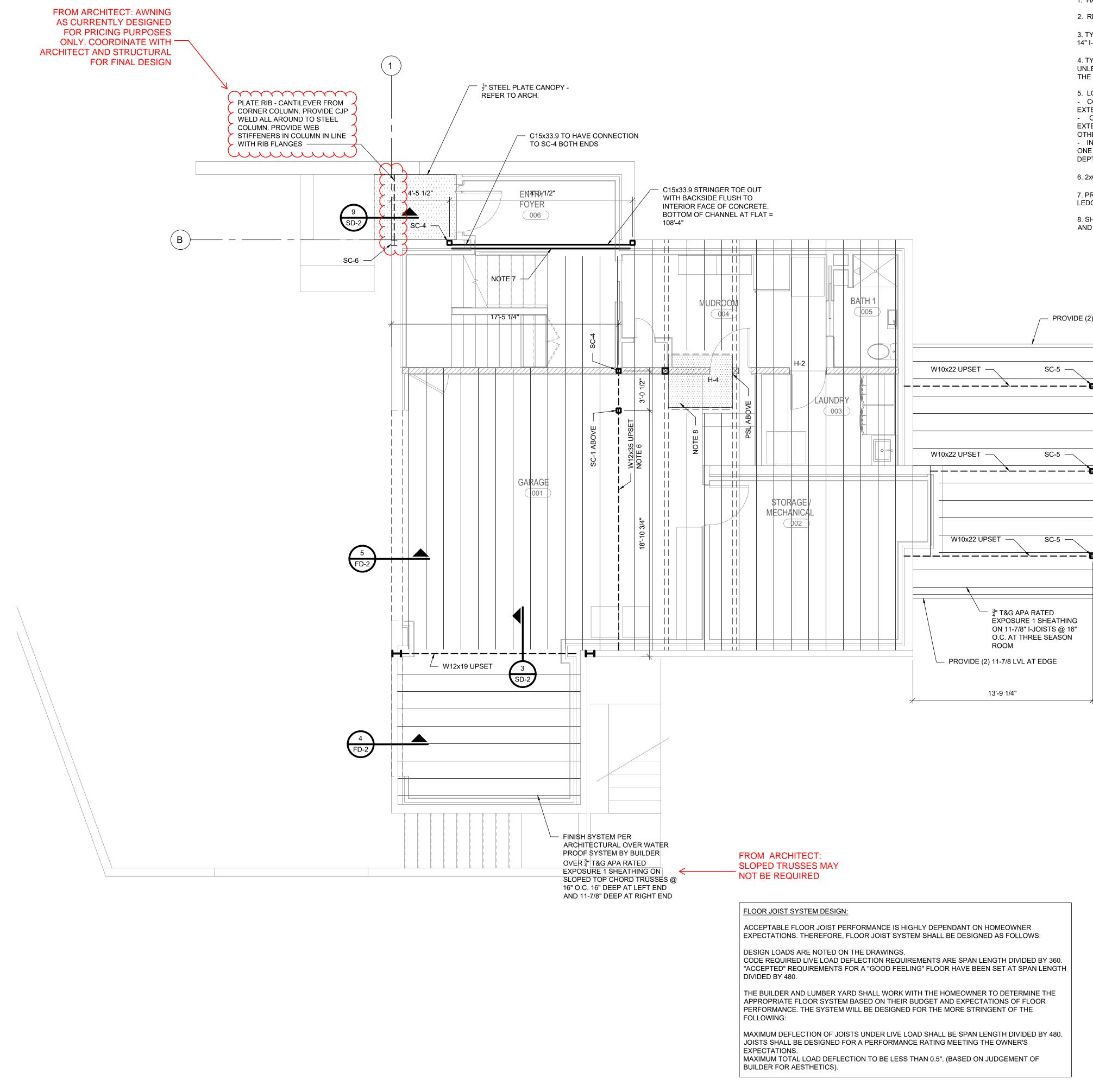


				NORTH HOUSE ARCHITECTS
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BAR	(LAP LENGTH IN F'c = 3000 PSI	F'c = 4000 PSI		
#3	18	16		
#3	24	20		
#5	34	29		
#6	40 55	<u> </u>		
#7	70	61		project:
2. DOWEL BAR CONTRACTOR' 2 IN	T RE PLAN VIEW ABLE SECTIONS FOR WALL REINFORCEM SUBSTUTUES MAY BE PROVIDED AT INTE	ORIZ. BARS D 90 DEGREE AY BE USED IN DOWELS LAP SPLIC REQUIRED CONCRET TENSION IN TABLE) DINT OPTIONAL JO (SEE NOTE 2) CONTE	(SEE E REINF AP SPLICE NT	<image/> <image/> <image/> <image/> <image/> <image/> <image/> <section-header><text></text></section-header>
	EMENT SECTIONS #4 #4 CORNER BARS SEE NOTE 1 WALL REINFORCE (SINGLE MAT, CENTER PLAN VIEWS AS SHOWN. MATCH HORIZONTAL WALL	MENT ED) WALL REII (INSIDE F	TYP. WALL REINFORCEMENT SEE WALL SECTIONS #4 RNER BARS - NOTE 1 FORCEMENT ACE ONLY)	revisions:
	DWELS AS SHOWN, OR STANDARD 90 D	EGREE END HOOK ON HORIZONTAL B	RS.	CONSTRUCTION SET
	E LAP SPLICE TABLE. S FOR REINFORCING STEEL CLEARANCE	S.		
	VALL REINFORCEMENT 2" CLEAR FROM			05-20-22
	CORNER BARS FOR LONGITUDINAL REI NCRETE PIER, AS SHOWN IN ''WALL REIN		ERS	FOUNDATION DETAILS
	AL CONCRETE WAL RADE BEAM CORN			FD-2

FD-2 SCALE: 3/4"=1'-0"







T/SHEATHING = 109'-6"

GENERAL FLOOR FRAMING NOTES

1. HATCHED WALLS DENOTE INTERIOR BEARING WALLS. 2x6 SPF #2 @ 16" O.C. UNLESS NOTED OTHERWISE.

2. REFER TO STRUCTURAL NOTES SHEET FOR ADDITIONAL INFORMATION / REQUIREMENTS.

3. TYPICAL FLOOR CONSTRUCTION TO BE $\frac{3}{4}$ " T&G APA RATED EXPOSURE 1 SHEATHING GLUED AND NAILED TO 14" I-JOISTS @ 16" O.C. PER LUMBER SUPPLIER.

4. TYPICAL EXTERIOR WALL TO BE $\frac{7}{16}$ " APA RATED EXPOSURE 1 SHEATHING ON 2x6 SPF #2 @ 16" ON CENTER UNLESS NOTED OTHERWISE. NAIL ALL SHEET EDGES WITH 8d @ 6" O.C. UNLESS NOTED OTHERWISE. NAIL "IN THE FIELD" OF EACH SHEET TO EACH STUD @ 12" O.C

5. LOAD BEARING WALLS AND EXTERIOR WALLS ARE TO MEET ONE OF THE FOLLOWING AT A MINIMUM CONSTRUCTED WITH DRYWALL ON THE INTERIOR FACE OF WALL AND SHEATHING PER NOTE 2 ON THE EXTERIOR FACE OF WALL.

CONSTRUCTED WITHOUT DRYWALL ON THE INTERIOR FACE OF WALL AND SHEATHING PER NOTE 2 ON THE EXTERIOR FACE OF WALL. PROVIDE BLOCKING BETWEEN STUDS @ EVERY 48" OF HEIGHT UNLESS NOTED OTHERWISE. BLOCKING IS TO BE FULL WIDTH TO MATCH WALL WIDTH.
 INTERIOR BEARING WALLS ARE TO BE CONSTRUCTED WITH DRYWALL BOTH SIDES OF WALL OR DRYWALL ONE SIDE OF WALL WITH BLOCKING BETWEEN STUDS @ EVERY 48" OF HEIGHT. BLOCKING IS TO BE FULL DEPTH TO MATCH WALL WIDTH.

6. 2x6 NAILER ON TOP. ATTACH NAILER WITH $\frac{5}{16}$ " x 1-1/2" GRK @ 16" O.C. - STAGGER.

7. PROVIDE $\frac{3}{4}$ " DIA. x 3-1/2" LONG THREADED STUDS ON LANDING SIDE OF CHANNEL TO ATTACH 1-3/4" x 14" LVL LEDGER AND HANGER JOISTS TO LEDGER. COORDINATE STUD LOCATIONS WITH JOIST LAYOUT.

8. SHADED AREA DENOTES 2x10 OR 9-1/2" LVL AT FLUSH SHOWER ABOVE. FRAME EACH SIDE WITH (2) 14" LVL AND HANGER BETWEEN THESE LVL'S WITH (1) 1-3/4" x 14" LVL.

PROVIDE (2) 11-7/8 LVL AT EDGE

	- 1	
 	3'-2 3/4"	
	6'-6 1/4"	- TREATED 6x6 POST. CAP PAIR OF LPC6Z.
	6'-6 1/4"	- UPSET W10x22 CONT.
	3'-2 3/4"	
	∠ '-11 3/4"	

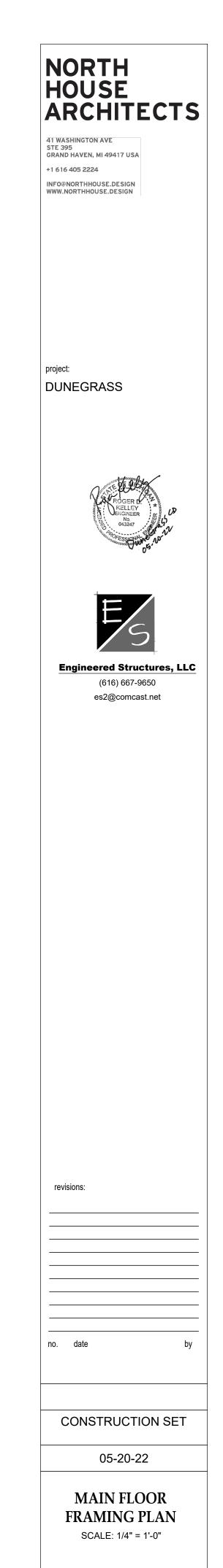
HEADER SCHEDULE					
MARK	SIZE	BEARING STUDS	KING STUDS	CENTER STUDS	
H-1	(2) 2x6	1	1	N/A	
H-2	(2) 1-3/4 x 7-1/4 LVL	2	1	N/A	
H-3	(3) 1-3/4 x 7-1/4 LVL	2	2	N/A	
H-4	(3) 1-3/4 x 9-1/2 LVL	3	1	N/A	

COLUMN SCHEDULE				
MARK	SIZE	BASEPLATE	ANCHOR BOLTS	
SC-1	HSS4x4x1/4	NOTE 1	NOTE 2	
SC-2	W8x21	3/4" TYPE 1	SEE DETAIL	
SC-3	W8x21	3/4" TYPE 2	SEE DETAIL	
SC-4	HSS4x4x1/4	3/4" TYPE 3	(2) 3/4" DIA. EPOXY	
SC-5	HSS4x4x1/4	3/4" TYPE 4	(4) 3/4" DIA. EPOXY	
SC-6	W5x19	3/4" TYPE 5	(2) 3/4" DIA. EPOXY	

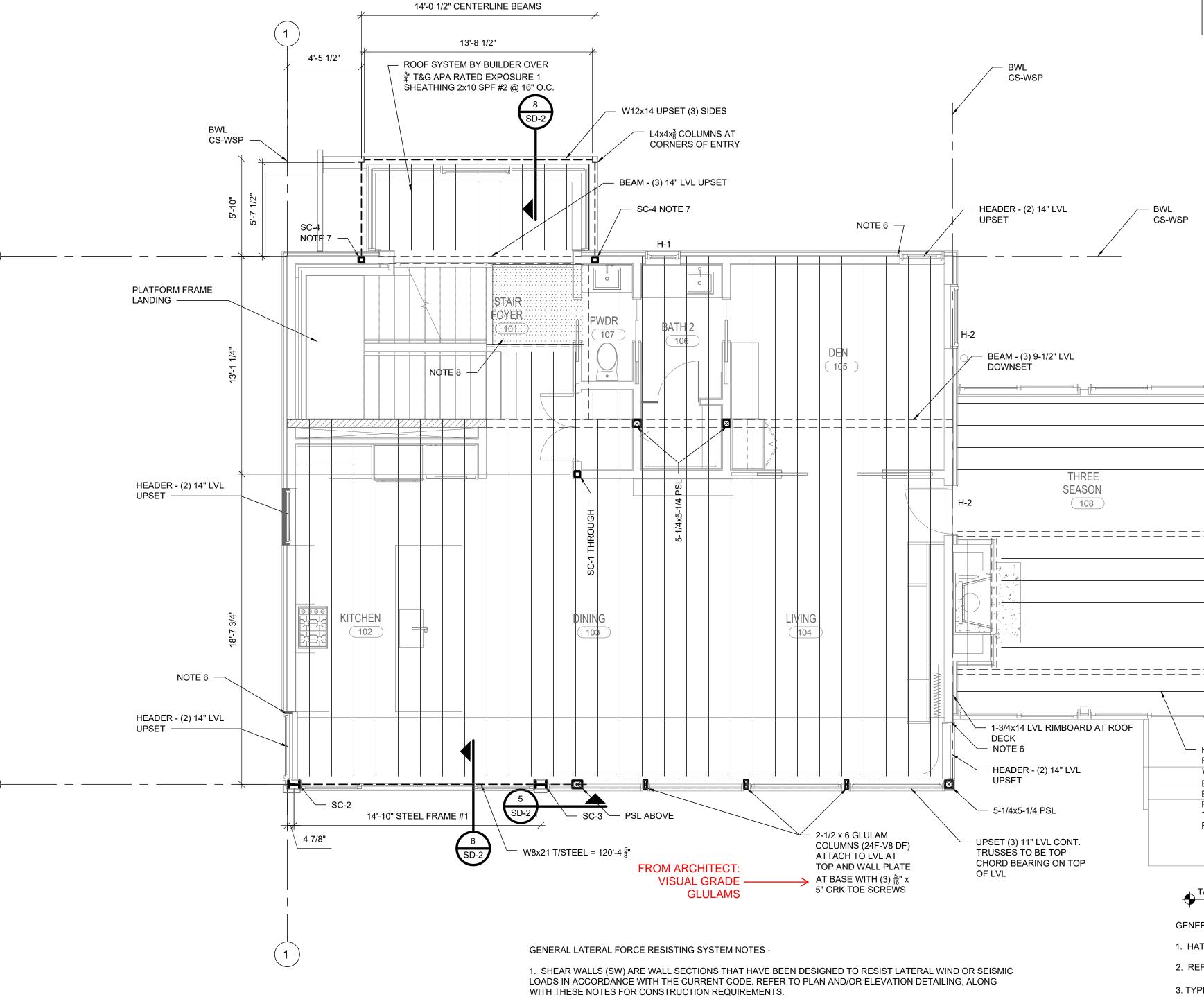
NOTES -

1. STEEL DETAILER TO DETAIL PLATE BOLTED OR WELDED TO BEAM BELOW.

2. BOLTED WITH (4) $\frac{3}{4}$ " DIA. A325N OR WELDED CONNECTION.



S-1



(B

(F.1

2. BRACED WALL LINES (BWL) ARE WALL LINES THAT ARE USED IN THE DESIGN OF THIS HOME TO RESIST LATERAL WIND OR SEISMIC LOADS IN ACCORDANCE WITH THE CURRENT CODE. REFER TO TYPICAL DETAILS FOR HOW TO CONNECT THESE WALLS AT THE TOP AND BASE.

3. CONTINUOUS SHEATHING WOOD STRUCTURAL PANEL (CS-WSP) - WALLS DENOTED AS SUCH ARE TO BE CONSTRUCTED WITH $\frac{7}{16}$ " APA RATED EXPOSURE 1 SHEATHING ON ONE SIDE OF WALL AND DRYWALL ON THE OPPOSITE SIDE OF THE WALL. SHEATHING MUST BE INSTALLED ON THE WALL COMPLETELY, INCLUDING ABOVE AND BELOW OPENINGS. NAIL ALL SHEET EDGES WITH 8d @ 6" O.C. AND NAIL EACH SHEET TO ALL STUDS "IN THE FIELD" OF EACH SHEET WITH 8d @ 12" O.C.

4. GYPBOARD (GB) - WALLS DENOTED AS SUCH ARE TO BE CONSTRUCTED WITH MINIMUM $\frac{1}{2}$ " DRYWALL BOTH SIDES OF WALL. ATTACH DRYWALL TO FRAMING WITH SCREWS @ 7" O.C. AT ALL EDGES (INCLUDING TOP AND BOTTOM PLATES). ALSO SCREW EACH SHEET TO ALL STUDS "IN THE FIELD" OF EACH SHEET @ 7" O.C.

5. TYPICAL SHEAR WALL SHEATHING - ⁷/₁₆" APA RATED EXPOSURE 1 SHEATHING ON EXTERIOR SIDE OF WALL UNLESS NOTED OTHERWISE. BLOCK BETWEEN STUDS AT ALL SHEET EDGES. NAIL ALL SHEET EDGES WITH 8d @ 6" O.C. UNLESS NOTED OTHERWISE. NAIL TO ALL STUDS "IN THE FIELD" OF EACH SHEET WITH 8d @ 12" O.C.

6. TYPICAL SHEAR WALL SILL PLATE TO FOUNDATION WALL CONNECTION TO BE $\frac{1}{2}$ " DIAMETER ANCHOR BOLTS @ 48" O.C. UNLESS NOTED OTHERWISE.

7. UNLESS NOTED OTHERWISE, TYPICAL EPOXY ANCHOR AT SHEAR WALLS TO BE ⁵/₈" DIAMETER F1554 GRADE 36 THREADED ROD. DRILL AND EPOXY 6" INTO A CLEAN, DRY HOLE USING SIMPSON SET-3G ADHESIVE. FOLLOW SIMPSON'S WRITTEN INSTALLATION INSTRUCTIONS.

8. SHEAR WALL #1 -

- NAIL ALL SHEET EDGES WITH 8d @ 3" O.C. - STRAP STUDS AT EACH END OF WALL TO BEAM BELOW WITH (2) CS16 STRAPS (24" LONG) FROM BOTTOM OF BEAM BELOW UP WALL

FLOOR JOIST SYSTEM DESIGN:

ACCEPTABLE FLOOR JOIST PERFORMANCE IS HIGHLY DEPENDANT ON HOMEOWNER EXPECTATIONS. THEREFORE, FLOOR JOIST SYSTEM SHALL BE DESIGNED AS FOLLOWS:

DESIGN LOADS ARE NOTED ON THE DRAWINGS. CODE REQUIRED LIVE LOAD DEFLECTION REQUIREMENTS ARE SPAN LENGTH DIVIDED BY 360. "ACCEPTED" REQUIREMENTS FOR A "GOOD FEELING" FLOOR HAVE BEEN SET AT SPAN LENGTH DIVIDED BY 480.

THE BUILDER AND LUMBER YARD SHALL WORK WITH THE HOMEOWNER TO DETERMINE THE APPROPRIATE FLOOR SYSTEM BASED ON THEIR BUDGET AND EXPECTATIONS OF FLOOR PERFORMANCE. THE SYSTEM WILL BE DESIGNED FOR THE MORE STRINGENT OF THE FOLLOWING:

MAXIMUM DEFLECTION OF JOISTS UNDER LIVE LOAD SHALL BE SPAN LENGTH DIVIDED BY 480. JOISTS SHALL BE DESIGNED FOR A PERFORMANCE RATING MEETING THE OWNER'S EXPECTATIONS. MAXIMUM TOTAL LOAD DEFLECTION TO BE LESS THAN 0.5". (BASED ON JUDGEMENT OF BUILDER FOR AESTHETICS).



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DUNEGRASS





Engineered Structures, LLC (616) 667-9650 es2@comcast.net

- HEADER - (2) 11-7/8" LVL UPSET - FRAME AROUND CHIMNEY WITH GIRDER TRUSSES - HEADER - (2) 11-7/8" LVL UPSET 5-1/4x5-1/4 PSL AT CORNERS. ATTACH BEAMS WITH PAIR OF LPC6Z. ROOF DECK SYSTEM -FINISH DECK SYSTEM OVER WATERPROOF MEMBRANE SYSTEM BY BUIL DER OVER $\frac{3}{4}$ " T&G APA RATED EXPOSURE 1 SHEATHING ON TAPERED ROOF STYLE TRUSSES @ 16" O.C. TRUSSES TO BE 11-7/8" AT END AWAY FROM HOUSE AND 16" AT HOUSE. T/SHEATHING = 120'-9 7/8"

GENERAL FLOOR FRAMING NOTES -

1. HATCHED WALLS DENOTE INTERIOR BEARING WALLS. 2x6 SPF #2 @ 16" O.C. UNLESS NOTED OTHERWISE.

2. REFER TO STRUCTURAL NOTES SHEET FOR ADDITIONAL INFORMATION / REQUIREMENTS.

3. TYPICAL FLOOR CONSTRUCTION TO BE $\frac{3}{4}$ " T&G APA RATED EXPOSURE 1 SHEATHING GLUED AND NAILED TO 14" TRUSSES @ 16" O.C. PER LUMBER SUPPLIER.

4. TYPICAL EXTERIOR WALL TO BE ⁷/₁₆" APA RATED EXPOSURE 1 SHEATHING ON 2x6 SPF #2 @ 16" ON CENTER UNLESS NOTED OTHERWISE. NAIL ALL SHEET EDGES WITH 8d @ 6" O.C. UNLESS NOTED OTHERWISE. NAIL "IN THE FIELD" OF EACH SHEET TO EACH STUD @ 12" O.C

5. LOAD BEARING WALLS AND EXTERIOR WALLS ARE TO MEET ONE OF THE FOLLOWING AT A MINIMUM -- CONSTRUCTED WITH DRYWALL ON THE INTERIOR FACE OF WALL AND SHEATHING PER NOTE 2 ON THE EXTERIOR FACE OF WALL.

CONSTRUCTED WITHOUT DRYWALL ON THE INTERIOR FACE OF WALL AND SHEATHING PER NOTE 2 ON THE EXTERIOR FACE OF WALL. PROVIDE BLOCKING BETWEEN STUDS @ EVERY 48" OF HEIGHT UNLESS NOTED OTHERWISE. BLOCKING IS TO BE FULL WIDTH TO MATCH WALL WIDTH.
 INTERIOR BEARING WALLS ARE TO BE CONSTRUCTED WITH DRYWALL BOTH SIDES OF WALL OR DRYWALL ONE SIDE OF WALL WITH BLOCKING BETWEEN STUDS @ EVERY 48" OF HEIGHT. BLOCKING IS TO BE FULL DEPTH TO MATCH WALL WIDTH.

6. THIS END OF WALL PROVIDE SIMPSON HDU2 AT WINDOW JAMB WITH $\frac{5}{8}$ " DIA. EPOXY ANCHOR TO FOUNDATION WALL.

7. REFER TO 4/SD-2 FOR TOP SADDLE.

8. SHADED AREA DENOTES 2x10 OR 9-1/2" LVL AT FLUSH SHOWER ABOVE. FRAME AT SIDE WITH (2) 14" LVL AND HANGER BETWEEN THIS LVL AND STAIR WALL WITH (1) 1-3/4" x 14" LVL.

CONSTRUCTION SET

05-20-22

SECOND FLOOR

FRAMING PLAN

SCALE: 1/4" = 1'-0"

revisions:

no. date

່ 1 BWL CS-WSP - (B) H-2 H-1 14 SD-1

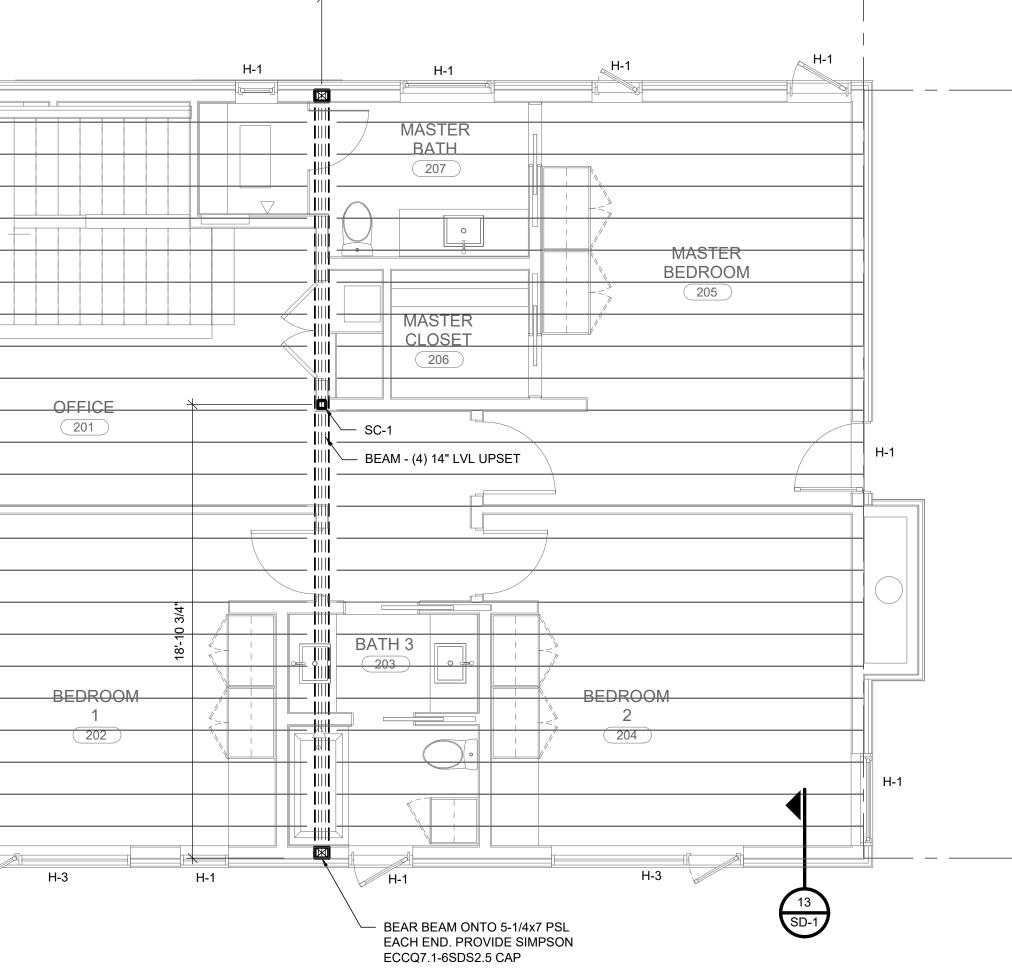
— BWL GB

5. LOAD BEARING WALLS AND EXTERIOR WALLS ARE TO MEET ONE OF THE FOLLOWING AT A MINIMUM -- CONSTRUCTED WITH DRYWALL ON THE INTERIOR FACE OF WALL AND SHEATHING PER NOTE 2 ON THE EXTERIOR FACE OF WALL.

- BWL GB

/ BWL CS-WSP

ONE SIDE OF WALL WITH BLOCKING BETWEEN STUDS @ EVERY 48" OF HEIGHT. BLOCKING IS TO BE FULL DEPTH TO MATCH WALL WIDTH.



17'-5 1/4"

GENERAL ROOF NOTES -

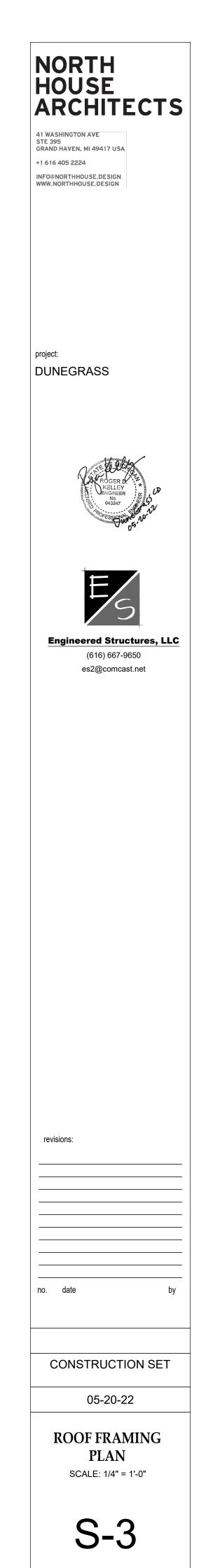
1. TYPICAL ROOF CONSTRUCTION TO BE 3/4" APA RATED EXPOSURE 1 SHEATHING ON 14" TRUSSES AS SHOWN UNLESS NOTED OTHERWISE. SPACING PER SUPPLIER.

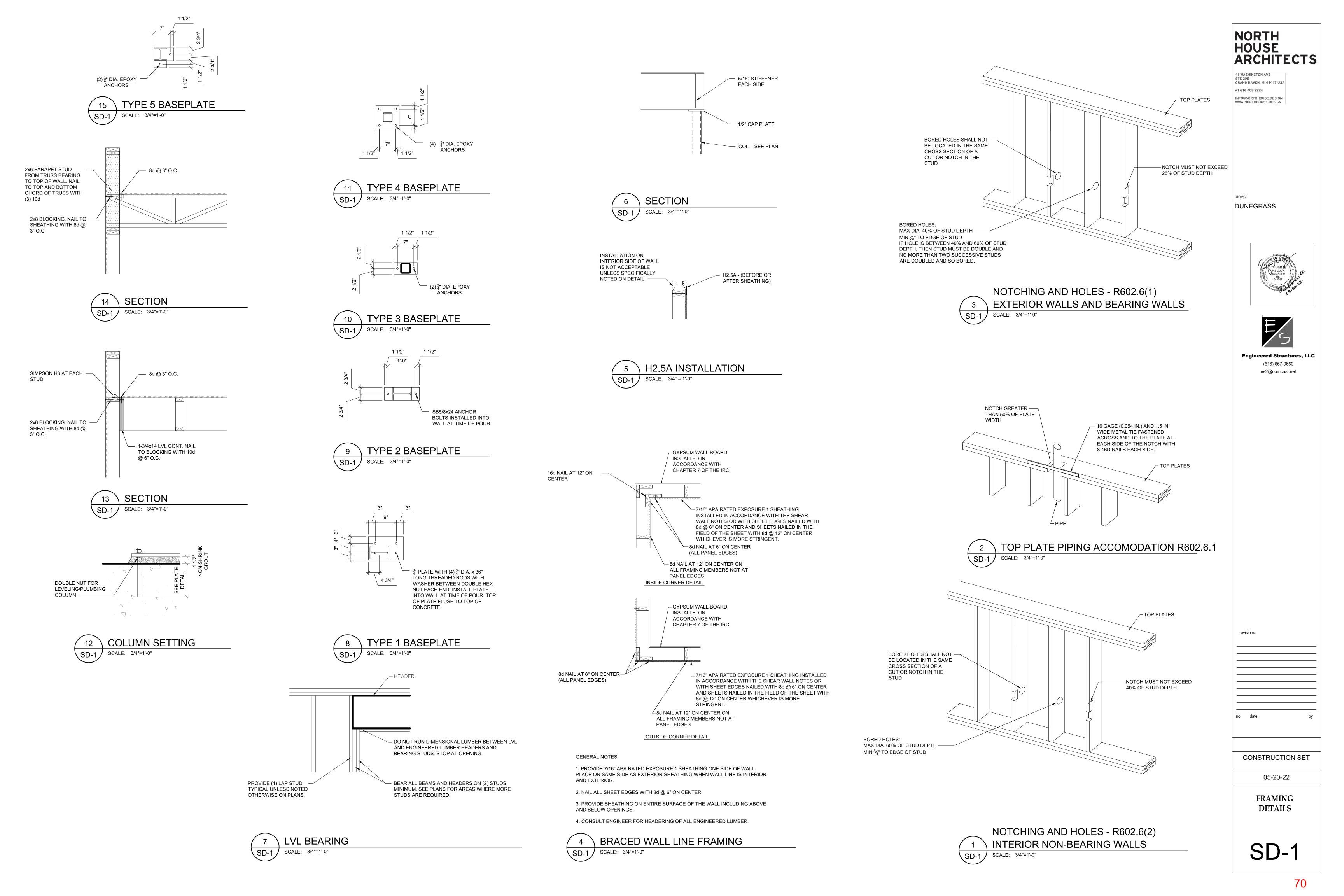
2. TYPICAL EXTERIOR WALL TO BE $\frac{7}{16}$ " APA RATED EXPOSURE 1 SHEATHING ON 2x6 SPF #2 @ 16" ON CENTER UNLESS NOTED OTHERWISE. NAIL ALL SHEET EDGES WITH 8d @ 6" O.C. UNLESS NOTED OTHERWISE. NAIL "IN THE FIELD" OF EACH SHEET TO EACH STUD @ 12" O.C.

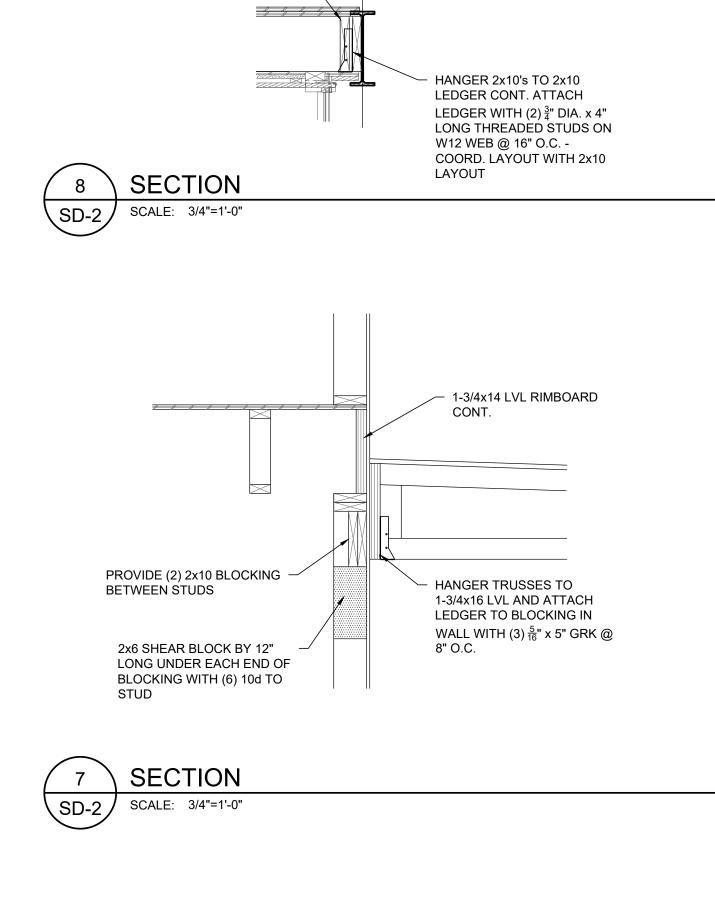
3. REFER TO STRUCTURAL NOTES SHEET FOR ADDITIONAL INFORMATION / REQUIREMENTS.

4. HATCHED WALLS DENOTE INTERIOR BEARING WALLS. 2x6 SPF #2 @ 16" O.C. UNLESS NOTED OTHERWISE.

- CONSTRUCTED WITHOUT DRYWALL ON THE INTERIOR FACE OF WALL AND SHEATHING PER NOTE 2 ON THE EXTERIOR FACE OF WALL. PROVIDE BLOCKING BETWEEN STUDS @ EVERY 48" OF HEIGHT UNLESS NOTED OTHERWISE. BLOCKING IS TO BE FULL WIDTH TO MATCH WALL WIDTH. - INTERIOR BEARING WALLS ARE TO BE CONSTRUCTED WITH DRYWALL BOTH SIDES OF WALL OR DRYWALL







¹/₂" STEEL PLATE TYP.

– CJP WELDS TYPICAL

(A.1)

TOP OF 2x10's = 120'- $5\frac{7}{8}$ "

TOP OF W12 = 120'-6⁵/₈"

+ + +

SECTION

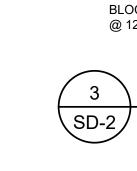
SCALE: 3/4"=1'-0"

2x10 BLOCKING BETWEEN JOISTS TO NAIL PERIMETER OF SHEATHING TO

9

SD-2

4"





4

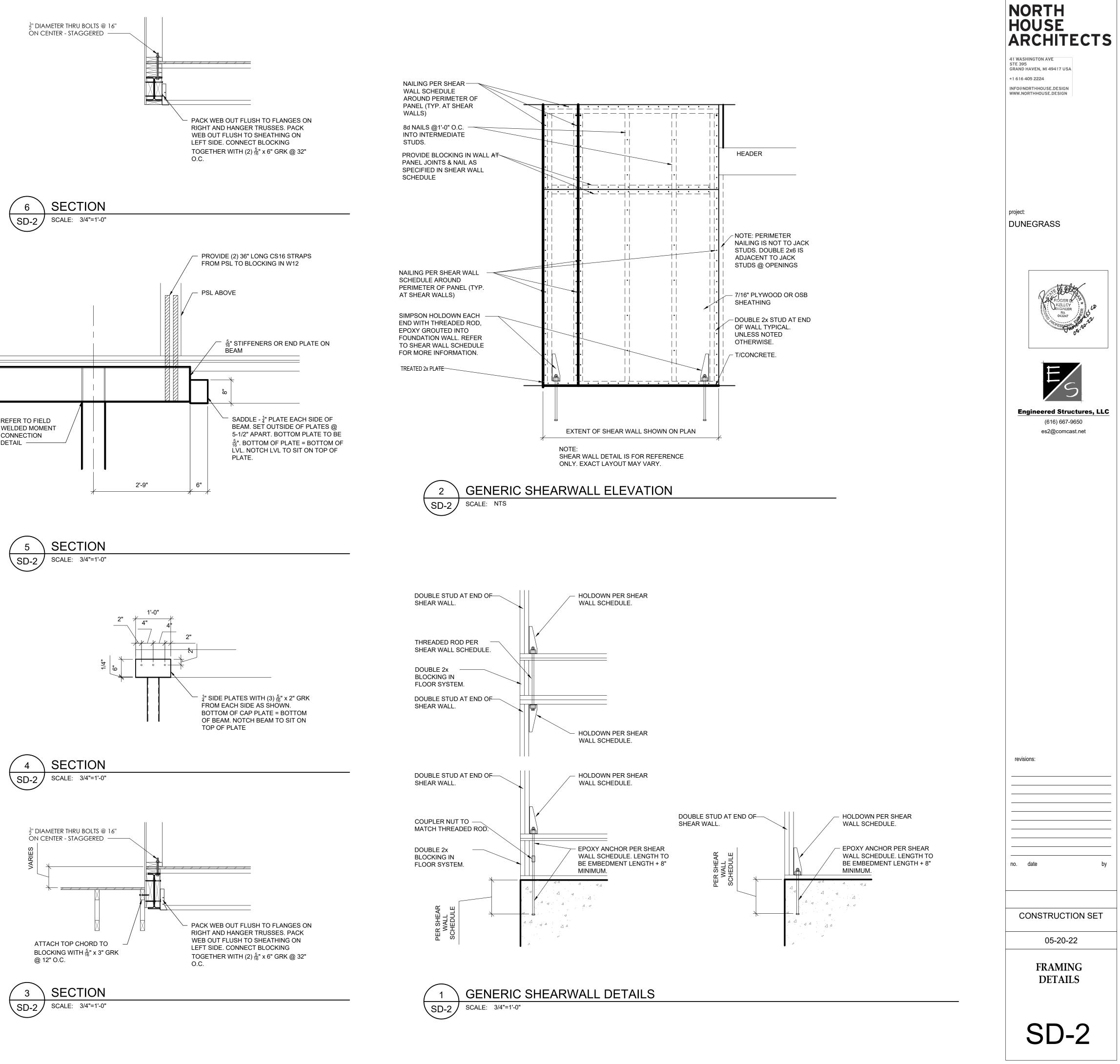
SD-2





REFER TO FIELD WELDED MOMENT CONNECTION DETAIL -----





1. ALLWOOD CONSTRUCTION SHALL CONFORM TO THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION LATEST EDITION AND THE CURRENT MICHIGAN BUILDING CODE AND/OR LATEST MICHIGAN RESIDENTIAL CODE.

2. STRUCTURAL FRAMING MEMBERS ARE SHOWN AS A GENERAL LAYOUT ONLY. EXACT PLACEMENT SHALL BE VERIFIED IN THE FIELD. HOWEVER, FRAMING PLACEMENT SHALL NOT EXCEED THE SPACING SHOWN ON THE DRAWINGS.

3. ALL ROOF SHEATHING SHALL BE APA RATED SHEATHING, EXPOSURE 1 WITH A MINIMUM THICKNESS OF ½" WITH CLIPS UNLESS NOTED OTHERWISE ON THE CONSTRUCTION DOCUMENTS AND A SPAN RATING MEETING OR EXCEEDING THAT REQUIRED FOR THE DESIGN LOADS AND SPACING OF SUPPORTS.

4. ALL SHEATHING SHALL BE INSTALLED CONTINUOUS OVER TWO OR MORE SPANS WITH FACE GRAIN ACROSS SUPPORTS. UNLESS OTHERWISE INDICATED, SHEATHING SHALL BE NAILED AT 6" ON CENTER ALONG PANEL EDGES AND AT 12" ON CENTER ALONG INTERMEDIATE SUPPORTS IN THE FIELD OF THE PANEL WITH 8d RING SHANK NAILS. ALLOW ¹/₈" GAP AT PANEL EDGES AND ENDS.

5. NO MEMBER MAY BE MODIFIED WITHOUT WRITTEN APPROVAL FROM ENGINEERED STRUCTURES, LLC.

6. STRUCTURAL FRAMING MEMBERS SHALL BE ADEQUATELY BRIDGED TO ENSURE BEAM STABILITY AS CALLED FOR IN SECTION 4.4.1 OF THE LATEST EDITION OF THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION.

7. CONTRACTOR TO SUBMIT SHOP DRAWINGS TO ENGINEERED STRUCTURES, LLC FOR ENGINEERED LUMBER PRODUCTS. SHOP DRAWINGS SHALL INCLUDE A DIMENSIONED ERECTION PLAN WITH PIECE MARKS AND SCHEDLULES SHOWING PIECES MARK, SIZE AND LENGTH FOR ENGINEERED LUMBER MEMBERS. IF PRODUCT MANUFACTURER SUBSTITUTIONS HAVE BEEN MADE, ENGINEERED STRUCTURES, LLC RESERVES THE RIGHT TO BILL FOR ENGINEERING TIME REQUIRED TO VERIFY THE SUBSTITUTIONS.

8. AT SOLID SAWN MULTI-PLY HEADERS, BEAMS AND STUD ASSEMBLIES, GLUE PLYS WITH CONSTRUCTION ADHESIVE AND NAIL WITH 8d NAILS AT 6" ON CENTER LOCATED 2" FROM BOTH EDGES. STAGGER NAILS ON BOTH SIDES OF THE MEMBER.

9. AT MULTI-PLY ENGINEERED LUMBER MEMBERS, FOLLOW SUPPLIER'S RECOMMENDATIONS FOR ASSEMBLY.

10. ALL HEADERS AND BEAMS SHALL BEAR ON A MINIMUM OF (2) STUDS UNLESS NOTED OTHERWISE ON CONSTRUCTION DOCUMENTS.

11. AT MULTI-PLY FRAMING MEMBERS AND TRUSSES, PROVIDE AT LEAST ONE SUPPORTING STUD PER PLY. PROVIDE BLOCKING THROUGH FLOOR FRAMING TO TRANSFER LOAD TO FOUNDATION.

12. THE FOLLOWING SCHEDULE IS A MINIMUM CONNECTION REQUIREMENT. SEE DRAWINGS FOR POSSIBLE HIGHER REQUIREMENTS.

- A. SILL PLATE TO FOUNDATION WALL B. WOOD NAILER TO STEEL BEAM
- C. ROOF TRUSS TO WALL TOP PLATE
- D. ROOF GIRDER TRUSS TO WALL TOP PLATE

½" DIAMETER ANCHOR BOLTS @ 48" O.C. U.N.O. ½" DIAMETER BOLTS @ 24" O.C. U.N.O. OR (2)¹/₄" DIA. SIMPSON SDS¹/₄x1.5 @ 12" O.C. U.N.O. SIMPSON H2.5 U.N.O. (2) SIMPSON H2.5 U.N.O.

13. MINIMUM NAILED CONNECTIONS FOR WOOD FRAMING MEMBERS SHALL BE IN ACCORDANCE WITH THE NAILING SCHEDULE GIVEN IN SECTION 2304.9.1 "CONNECTIONS AND FASTENERS" OF THE CURRENT BUILDING CODE IF NO OTHER CRITERIA IS GIVEN.

14. WHEN OPENING SIZES REQUIRED SPACING OF FRAMING GREATER THAT THAT SHOWN ON THE DRAWINGS, CONSULT ARCHITECT AND ENGINEER.

15. ALL WOOD EXPOSED TO EXTERIOR SHALL BE PRESERVATIVE PRESSURE TREATED. ALL FASTENERS IN TREATED WOOD SHALL BE PROPER TO THE PRESERVATIVE TREATMENT USED. CONSULT WITH LUMBER SUPPLIER AND FASTENER SUPPLIER.

16. STANDARD CUT WASHERS SHALL BE PLACED BETWEEN BOLT HEAD, NUTS AND WOOD MEMBER

17. IN ORDER TO REDUCE THE POTENTIAL FOR SHEATHING DEFLECTION, IT IS RECOMMENDED TO PROVIDE DOUBLE JOISTS BENEATH WALL OR LADDER FRAME BETWEEN JOISTS EVERY 48" AT ALL NON-BEARING WALLS ABOVE THAT ARE PARALLEL TO FLOOR JOISTS.

18. PROVIDE FULL DEPTH BLOCKING HANGERED BETWEEN JOISTS BENEATH ALL BEARING WALLS SUPPORTED BY AND PERPENDICULAR TO JOISTS.

19. IT IS RECOMMENDED THAT FLOOR JOISTS BE DOUBLED UP BENEATH CABINETS, KITCHEN ISLANDS, AND FIREPLACES. CONSULT ENGINEERED STRUCTURES, LLC FOR SPECIFIC CONDITIONS WHERE THIS IN NOT NECESSARY.

20. PROVIDE SQUASH BLOCKS TO MATCH UPPER WALL STUDS IN FLOOR SYSTEM AT WALLS WHERE JOISTS ARE PARALLEL TO A BEARING WALL ABOVE. LIKEWISE AT STACKED INTERIOR BEARING WALLS WHERE JOISTS ARE PARALLEL OR PERPENDICULAR.

21. LUMBER MATERIAL PROPERTIES:

ALL PROPERTIES TYPICAL UNLESS NOTED OTHERWISE ON DRAWINGS.

DIMENSIONAL LUMBER LVL MATERIAL GLULAM MATERIAL WALL TOP PLATES

Fb = 875 psi, Fv = 135 psi, E = 1,400,000 psi, Fc(perp) = 425 psi, Fc(parallel) = 1,150 psi Fb = 3100 psi, Fv = 285 psi, E = 2.000.000 psi, Fc(perp) = 750 psi 24F-V4 DF, Fb = 2400 psi, Fv = 265 psi, Fc (perp) = 650 psi Fc(perp) = 565 psi

STRUCTURAL STEEL

1. STEEL DESIGN, FABRICATION AND ERECTION IS TO BE IN ACCORDANCE WITH THE LATES AISC SPECIFICATION FOR STRUCTURAL STEEL FOR BUILDINGS.

2. BEAMS AND LINTELS BEARING ON CONCRETE OR MASONRY WALLS SHALL BEAR A MINIMUM OF 8" UNLESS NOTED OTHERWISE. PROVIDE $\frac{1}{2}$ " STEEL BEARING PLATE WITH (2) $\frac{1}{2}$ " DIAMETER BY 4" LONG HEADED STUDS UNLESS NOTED OTHERWISE.

3. BEAMS WITHOUT A SPECIFIED CAMBER SHALL BE ORIENTED SUCH THAT ANY INCIDENTAL CAMBER IS UPWARD. TOLERANCE FROM NOTED CAMBER SHALL BE +0 TO -2".

4. BOLTED CONNECTIONS NOT SPECIFIED AS SLIP CRITICAL (SC) SHALL BE TIGHTENED SNUG TIGHT

5. STEEL FABRICATORS SHALL BE INSPECTED PER SECTION 1704.2 OF THE MICHIGAN BUILDING CODE OR BE AISC CERTIFIED.

6. STRUCTURAL STEEL SHALL BE INSPECTED AS REQUIRED BY SECTION 1704.3 OF THE MICHIGAN BUILDING CODE.

7. ALL SHOP AND FIELD WELDING SHALL BE MADE IN ACCORDANCE WITH A.W.S. D1.1 "STRUCTURAL WELDING CODE" AND SHALL BE MADE BY QUALIFIED "CERTIFIED" WELDERS. TYPICAL ELECTRODE USED SHALL BE E70XX UNLESS NOTED OTHERWISE.

8. FABRICATOR SHALL BE RESPONSIBLE FOR THE DESIGN AND ADEQUACY OF ALL CONNECTIONS THAT ARE NOT DESIGNED OR FULLY DETAILED ON THE DRAWINGS. SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT AND ENGINEER FOR REVIEW PRIOR TO STEEL FABRICATION.

9. TYPICAL BEAM CONNECTIONS SHALL BE STANDARD AISC FRAMED BEAM CONNECTIONS, TYPICAL UNLESS NOTED OTHERWISE. ALL FIELD CONNECTIONS, EXCEPT WHERE SHOWN WELDED, SHALL BE BOLTED WITH ³/₄" DIAMETER ASTM A325N HIGH STRENGTH BOLTS TYPICAL UNLESS NOTED OTHERWISE

10. ALL COPED BEAMS TO BE DESIGNED IN ACCORDANCE WITH THE AISC STEEL CONSTRUCTION MANUAL LATEST EDITION. PROVIDE WEB REINFORCING AS REQUIRED. ALL

RE-ENTRANT CORNERS TO BE SHAPED, NOTCH FREE, WITH A $\frac{1}{2}$ " RADIUS MINIMUM. 11. STRUCTURAL STEEL SHALL MEET THE FOLLOWING MINIMUM YIELD STRENGTHS AND

SPECIFICATIONS: A. WIDE FLANGE BEAMS

B. ANGLES AND CHANNELS

- 50 ksi ASTM A992 36 ksi ASTM A36
- C. STRUCTURAL STEEL TUBING (HSS) 46 ksi ASTM A500 GRADE B
 - 36 ksi ASTM A53
- D. STEEL PIPES E. ANCHOR RODS F. HEADED STUD ANCHORS

G. STRUCTURAL BOLTS

H. BARS AND PLATES

- 36 ksi ASTM A307 50 ksi ASTM A108 (GRADES 1010-1020)
 - ASTM A325N
 - 36 ksi ASTM A36

BUILDING RISK
FLOOR LIVE LOA
ROOF LIVE LOA
Pg - GROUND SI THERMAL FA IMPORTANCE EXPOSURE FA Pf - ROOF SNOV
WIND LOADS BASIC WIND S BUILDING CA INTERNAL PR COMPONENT MWFRS PRES
ROOF TRUSS LO
DESIGN FOR DESIGN FOR ATTIC LOADS ACCESSI ACCESSI ACCESSI NO ACCE ASSUME NO I TRUSS SUPP
DEAD LOADS
ROOF FLOOR - GEN FLOOR - TILE
SOIL BEARING F
ASSUMED

METAL PLATE CONNECTED WOOD TRUSS:

1. METAL PLATE CONNECTED WOOD TRUSSES SHALL CONFORM TO THE SPECIFICATIONS OF THE TRUSS PLATE INSTITUTE (TPI), AMERICAN FOREST PRODUCTS ASSOCIATION (AFPA), WOOD TRUSS COUNCIL OF AMERICA (WTCA), AND NATIONAL DESIGN STANDARD (NDS) SPECIFICATIONS. ALL CONNECTOR PLATES SHALL BE GALVANIZED.

2. TRUSSES AND CONNNECTIONS SHALL BE DESIGNED BY A LICENSED ENGINEER IN THE STATE OF MICHIGAN TO SUPPORT THE LOADS AS INDICATED ON THE CONSTRUCTION DOCUMENTS WITH A MAXIMUM LIVE LOAD DEFLECTION OF L/360 OR 1" MAXIMUM AND A TOTAL DELFECTION OF L/240. HORIZONTAL DEFLECTIONS IN SCISSOR TRUSSES ARE TO BE HELD TO A LIVE LOAD DEFLECTION OF 1/2" MAXIMUM. VERTICAL DEFLECTION LIMITS MAY BE MORE STRICT FOR FINISHING. CONSULT WITH BUILDER.

3. METAL PLATE CONNECTED WOOD TRUSSES ARE PROPRIETARY AND REQUIRE DESIGN BY A MANUFACTURER. THE MANUFACTURER SHALL ENGAGE A QUALIFIED ENGINEER, LICENSED IN THE STATE OF THE PROJECT, AND EXPERIENCED IN THE DESIGN OF WOOD STRUCTURES. THE ENGINEER SHALL COMPLETE THE DESIGN OF THE TRUSS ROOF STRUCTURE, AS REQUIRED TO PROVIDE THE ROOF STRUCTURE DESCRIBED BY THE CONSTRUCTION DOCUMENTS.

4. THE CONSTRUCTION DOCUMENTS SHOW ONE POSSIBLE ROOF STRUCTURE WITH THE SUPPORTING ELEMENTS DESIGNED ACCORDINGLY. IT IS ASSUMED THAT THE MANUFACTURER'S ENGINEER WILL CLOSELY FOLLOW THIS DESIGN INTENT. SHOULD IT BE DETERMINED BY THE MANUFACTURER'S ENGINEER THAT ANOTHER POSSIBLE DESIGN IS MORE ECONOMICAL, THE PROPOSED REVISIONS SHALL BE GONE OVER WITH ENGINEERED STRUCTURES, LLC. AT THIS TIME, IT SHALL BE DETERMINED WHETHER THE PROPOSED REVISIONS REQUIRE CHANGES TO THE CONSTRUCTION DOCUMENTS AND WHAT FEE (IF ANY) WILL BE REQUIRED TO DO SO. THE PROPOSED FEES FOR ADDITIONAL SERVICES (IF ANY) WILL BE SUBMITTED TO THE CONTRACTOR AND OWNER FOR APPROVAL. WRITTEN APPROVAL OF THE ADDITIONAL FEES MUST BE RECEIVED PRIOR TO MAKING THE CHANGES.

5. WOOD FRAMING CONNECTIONS SHALL BE SEATED CONNECTIONS, UNLESS OTHERWISE NOTED. DO NOT COPE ANY MEMBER. DO NOT USE TOE NAILING TO SUPPORT VERTICAL LOADS. PROVIDE STANDARD PREFABRICATED, GALVANIZED, MANUFATURED FRAMING DEVICES PER ASTM D1761 AND IBC, DESIGNED TO SUPPOR T THE MEMBER SIZE.

6. TEMPORARY BRACING FOR TRUSS MEMBER SLENDERNESS AND STABILITY SHALL BE DESIGNED, AND SPECIFIED BY THE METAL PLATE CONNECTED WOOD TRUSS MANUFACTURER'S LICENSED ENGINEER AND BE IN COMPLIANCE WITH BUILDING COMPONENT SAFETY INFORMATION (BCSI) 1-03.

7. TEMPORARY BRACING FOR TRUSS AND BUILDING STABILITY SHALL BE INSTALLED IN SUCH A MANNER SO AS TO ALLOW FOR INSTALLATION OF SUBSEQUENT WORK WITHOUTH THE NEED TO DISRUPT THE TEMPORARY BRACING UNTIL SUCH TIME AS IT MAY BE REMOVED.

8. PERMANENT BRACING FOR OVERALL BUILDING STABILITY IS COMPLETE WHEN ROOF SHEATHING AND WALL SHEATHING IS COMPLETE WITH FASTENING. PROVIDE TEMPORARY BRACING UNTIL ROOF AND WALL SHEATHING IS COMPLETE. PERMANENT BRACING WILL BE DESIGNED BY ENGINEERED STRUCTURES, LLC AS OUTLINED IN THEIR PROJECT CONTRACT. ANY DRAWINGS REQUIRED FOR THIS BRACING WILL BE REDMARKED ON THE TRUSS LAYOUT PLAN. A PRE-CONSTRUCTION MEETING IS REQUIRED TO REVIEW THE TRUSS BRACING REQUIREMENTS. PARTIES TO BE PRESENT AT THIS MEETING ARE ENGINEERED STRUCTURES, LLC, TRUSS INSTALLER, TRUSS SUPPLIER'S REPRESENTATIVE AND ANY OTHER PARTIES REQUESTING TO BE PRESENT.

9. WHEN PIGGYBACK TRUSSES ARE REQUIRED, THE TOP CHORD OF THE MAIN TRUSSES SHALL BE SHEATHED WITH $\frac{1}{2}$ " APA RATED SHEATHING IN LIEU OF LINEAL 2x FRAMING. REFER TO STRUCTURAL DETAILS FOR MAIN TRUSS TO CAP TRUSS CONNECTION.

10. COMPLY WITH AITC TIMBER CONSTRUCTION MANUAL FOR WOOD CONSTRUCTION.

11. REFER TO DETAIL SHEETS FOR POSSIBLE REQUIREMENTS FOR TRUSS SUPPORT BLOCKING BETWEEN WALL STUDS.

12. NOTE BCSI REQUIREMENT OF DIAGONAL BRACING WHERE HORIZONTAL WEB BRACING IS SHOWN. DIAGONAL BRACING SHOULD OCCUR EVERY 20'-0" AND MAY BE APPLIED IN SECTIONS BETWEEN HORIZONTALS, IT SHOULD BE INSTALLED NO MORE THAN 45 DEGREES FROM HORIZONTAL. AT LEAST ONE HORIZONTAL BRACE SHOULD BE PROVIDED FOR EVERY "SET" OF TRUSSES WITH IDENTIACAL WEB LAYOUTS. IF NOT MORE THAN 3 TRUSSES ARE IDENTICAL, BRACE WEBS FOR SLENDERNESS WITH 2x6 STRONGBACK.

13. IT IS VERY IMPORTANT TO ENSURE THAT TRUSSES HAVE ADEQUATELY DRIED (BELOW 16% MOISTURE CONTENT) PRIOR TO CLOSING THE STRUCTURE IN. SHRINKING AND ARCHING ISSUES MAY OCCUR IF THIS IS NOT DONE.

14. GENERAL CONTRACTOR SHALL SUBMIT ROOF TRUSS SHOP DRAWINGS TO ARCHITECT AND ENGINEER FOR REVIEW AND DESIGN OF REQUIRED UPLIFT CONNECTIONS PRIOR TO FABRICATION

15. MANUFACTURER SHALL PROVIDE ERECTION DRAWINGS INDICATING ALL BRIDGING AND BRACING REQUIRED BY DESIGN AND ALL MECHANICAL TRUSS TO TRUSS CONNECTIONS.

16. WOOD TRUSSES ARE SHOWN AS A GENERAL LAYOUT ONLY. EXACT PLACEMENT SHALL BE DETERMINED BY MANUFACTURER.

URAL DESIGN LOADS	
CATEGORY	11
AD	40 PSF
D	20 PSF
NOW LOAD	50 PSF
CTOR	1.1
FACTOR	1.0
ACTOR	1.0
V LOAD	40 PSF
SPEED	115 MPH
TEGORY	11
ESSURE COEFF.	+/- 0.18
S AND CLADDING PRESSURE	15 PSF
SURE	20 PSF
2450	
DADS	
UNBALANCED SNOW LOADS PER CODE	
UNBALANCED SNOW DRIFTING PER CODE	
	40.005
BLE ATTIC - NO PLANNED STORAGE	10 PSF
BLE ATTIC - PLANNED STORAGE	20 PSF
BLE ATTIC - HEIGHT EXCEEDING 30"	20 PSF
SS PROVIDED TO ATTIC	00 PSF
DESIGNED STORAGE UNLESS CALLED FOR ON DRAWINGS.	
LIER TO DETERMINE 30" REQUIREMENT.	
	20.005
	20 PSF
ERAL	15 PSF
D AREAS	25 PSF
PRESSURE	2000 DSE
	2000 PSF

CONCRETE:

1. MATERIAL AND WORKMANSHIP FOR ALL CONCRETE AND REINFORCING SHALL BE ACCORDANCE WITH THE MOST CURRENT ACI MANUAL OF STANDARD PRACTICE, TH CURRENT EDITION OF THE MICHIGAN BUILDING CODE AND/OR RESIDENTIAL CODE AN MOST CURRENT ACI BUILDING CODE REQUIREMENTS.

2. PROVIDE ENTRAINED AIR IN ALL EXPOSED EXTERIOR CONCRETE.

3. OTHER CONCRETE ADMITURES MAY BE USED AS NECESSDAY, INCLUDING THE USE PLASTICIZER TO IMPROVE WORKABILITY. HOWEVER, EXTRA WATER SHALL NOT BE AL BEYOND THAT WHICH IS REQUIRED FOR PROPER HYDRATION OF THE MIX DESIGN BE CHLORINE IS NOT AN ACCEPTABLE ADMIXTURE AND SHALL NOT BE USED.

4. APPROPRIATE CURING MEASURES SHALL BE TAKEN FOR NEW CONCRETE.

5. COLD WEATHER CONCRETING SHALL BE DONE IN ACCORDANCE WITH THE MOST EDITION OF ACI 305. WARM WEATHER CONCRETING SHALL BE DONE IN ACCORDANCE THE MOST CURRENT EDITION OF ACI 306.

6. INSPECTIONS SHALL BE PERFORMED PER NOTES THIS SHEET.

7. GENERAL CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL OPENINGS, SLEEV ANCHORS, HANGERS, INSERTS, SLAB DEPRESSIONS AND OTHER ITEMS RELATED TO CONCRETE WORK WITH ALL SUBCONTRACTORS AND SHALL ASSUME FULL RESPONS FOR THEIR PROPER LOCATION BEFORE PLACING CONCRETE. PITCH CONCRETE SLA REQUIRED TO ALL FLOOR DRAINS. ITEMS THAT ARE NOT NOTED ON THE STRUCTURA DRAWINGS SHALL BE REVIEWED AND APPROVED BY ENGINEERED STRUCTURES, LLC TO FABRICATION AND CONSTRUCTION.

8. CONCRETE SLUMP SHALL CONFORM TO ASTM C143. SUBMIT MIX DESIGN AND MIX TO ARCHITECT AND ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTION.

9. CONCRETE SLABS SUPPORTED DIRECTLY ON THE GROUND SHALL BE A MINIMUM THICK AND REINFORCED WITH A MINIMUM OF 6x6 W1.4xW1.4 W.W.M. CONFORMING T A185 UNLESS NOTED OTHERWISE ON PLANS. INTERIOR SLABS SHALL BE INSTALLED 10-MIL. POLYETHYLENE VAPOR RETARDER WITH EDGES LAPPED NOT LESS THAN 6" DIRECTIONS. PROVIDE CONTRACTION / CONSTRUCTION JOINTS IN ALL SLABS ON GRA MAXIMUM OF 2.5 TIMES THE SLAB THICKNESS ON CENTER. FOR EXAMPLE, 4" SLAG IS MAXIMUM OF 10'-0" (4 x 2.5) ON CENTER. MAINTAIN WIDTH TO LENGTH RATIO OF NO M 1.5. REFER TO ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION AND REQUIR SUCH AS FINISHES.

10. PROVIDE CONCRETE COVER OVER REINFORCING BARS AS FOLLOWS (AND IN ACCORDANCE WITH THE LATEST EDITION OF ACI 318) UNLESS NOTED OTHERWISE OF

A. CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH - 3". B. PERMANENTLY EXPOSED TO EARTH OR WEATHER:

#5 AND SMALLER - 1.5"

#6 AND LARGER - 2" C. NOT EXPOSED TO EARTH OR WEATHER:

WALLS AND SLABS - 0.75"

BEAMS AND COLUMNS - 1.5" CORROSIVE ENVIRONMENT - 2"

11. PROVIDE CONCRETE MIXTURES AS FOLLOWS UNLESS NOTED OTHERWISE ON PL A. 3,000 psi FOUNDATION WALLS, FOOTINGS, GRADE BEAMS, CONCRETE BEAMS, PIE RETAINING WALLS

B. 3.500 psi INTERIOR CONCRETE SLABS ON GRADE, TOPPING SLABS

C. 4,000 psi EXTERIOR CONCRETE D. ALL EXTERIOR CONCRETE SHALL BE AIR ENTRAINED 6% MINIMUM.

12. ALL EXPOSED EDGES OF CONCRETE PIERS, BEAMS, AND WALLS SHALL BE CHAMF 0.75" BY 45 DEGREES.

FOUNDATIONS:

1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE SPECIFICATIONS AN CONSTRUCTION DOCUMENTS. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARC AND ENGINEER PRIOR TO COMMENCEMENT OF CONSTRUCTION.

2. THERE SHALL BE A MINIMUM OF 6" OF CLEAN GRANULAR SOIL BENEATH ALL SLABS GRADE. ALL FILL BENEATH SLABS AND ADJACENT TO FOUNDATION WALLS SHALL BE COMPACTED TO A MINIMUM OF 95% MODIFIED PROCTOR.

3. UNLESS NOTED OTHERWISE, A 10 MIL VAPOR RETARDER SHALL BE PLACED UNDE SLABS ON GRADE AFTER ALL UNDERGROUND WORK AND COMPACTION IS COMPLETI ALL LAPS.

4. EXERCISE CARE WHEN BACKFILLING WALLS. EXCEPT FOR WALLS WITH EQUAL FILI SIDES, NO BACKFILLING OF WALLS SHALL BE DONE UNTIL THE WALL HAS ATTAINED STRENGTH AND HAS BEEN PROPERLY SUPPORTED BY BRACING OR BY A COMPLETE OR ROOF STRUCTURE. ALTERNATE FILL WHEN BACKFILLING WALLS WITH FILL N BOT

5. ALL SLABS ON GRADE TO HAVE CONTRACTION / CONSTRUCTION JOINTS AT A MAX 2.5 TIMES THE SLAB THICKNESS ON CENTER. FOR EXAMPLE 4" SLAB IS A MAXIMUM O x 2.5) ON CENTER. MAINTAIN WIDTH TO LENGTH RATIO OF NO MORE THAN 1.5. REFER ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION AND REQUIREMENTS SUCH / FINISHES.

6. LAP ALL REINFORCING AS SHOWN IN FOUNDATION DETAILS. PROVIDE CORNER BAR MATCH ALL HORIZONTAL REINFORCING. PROVIDE DOWELS FROM FOOTING INTO WAI IN SIZE AND NUMBER TO VERTICAL WALL AND PIER REINFORCING. PROVIDE 6" HOOK OF DOWELS UNLESS NOTED OTHERWISE.

7. REFER TO CONCRETE SECTION FOR REINFORCING COVER REQUIREMENTS.

8. PROVIDE BEAM POCKETS IN WALLS AS REQUIRED. FILL POCKET IN WITH CONCRET BEAM IS IN PLACE.

9. COORDINATE PLACEMENT OF ANCHOR BOLTS WITH FOUNDATION REINFORCING. A ANCHOR BOLTS WILL BE FURNISHED BY THE STEEL FABRICATOR AND INSTALLED BY FOUNDATION CONTRACTOR USING TEMPLATES AND SETTINGS DRAWINGS. NO TILTEI MISPLACED BOLTS WILL BE ACCEPTED. NOTIFY ARCHITECT AND ENGINEERED STRUC LLC FOR APPROVAL ON ANY CORRECTIVE ACTION. TOLERANCES FOR THE INSTALLA THE ANCHOR BOLTS SHALL BE IN ACCORDANCE WITH AISC "CODE OF STANDARD PR. GUIDELINES.

10. INSPECTIONS SHALL BE PROVIDED PER NOTES THIS SHEET.

11. FOOTINGS SHALL BEAR AT LEAST 3'-6" BELOW FINISH GRADE REGARDLESS OF DI SHOWN ON CONSTRUCTION DOCUMENTS. FOOTINGS MUST ALSO BEAR ON SOIL COMPACTED PER RECOMMENDATIONS OF GEOTECHNICAL ENGINEER.

12. FOUNDATION WALLS AND GRADE BEAMS SHALL HAVE A MINIMUM OF TWO (2) #5 BARS CONTINUOUS TOP AND BOTTOM OF WALL TYPICAL UNLESS NOTED OTHERWISE ON PLANS.

13. PROVIDE DIAGONAL CONCRETE REINFORCING AROUND OPENINGS IN SLABS AND WALLS OF ONE #5 BAR BY 40" LONG FOR EACH 4" OF THIDKNESS. LAP ALL SPLICES IN CONCRETE **REINFORCING MINIMUM 24 BAR DIAMETERS.**

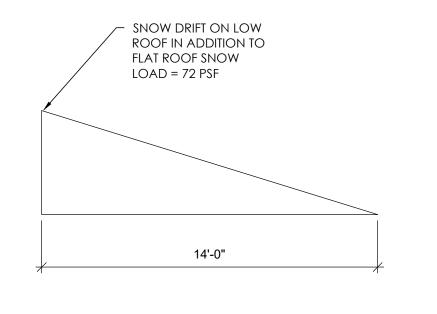
14. PROVIDE CORNER BARS FOR ALL HORIZONTAL CONCRETE REINFORCING WITH LEG LENGTHS OF 48 BAR DIAMETERS MINIMUM.

15. PROVIDE DOWELS FROM FOOTING INTO WALLS EQUAL IN SIZE AND NUMBER TO MATCH VERTICAL WALL OR PIER REINFORCING UNLESS NOTED OTHERWISE ON PLANS.

GENERAL REQUIREMENTS

	GENERAL REQUIREMENTS:			NORTH	
E IN HE MOST AND THE	1. CONSTRUCTION SHALL CONFORM TO CODE, LATEST EDITION OF THE MICHIG NFPA A0A. DETAILS OF CONSTRUCTION DOCUMENTS SHALL BE OF THE SAME N UNCLEAR CONDITIONS SHALL BE VERIF CONSTRUCTION.	AN RESIDENTIAL CODE, AND THE LAT NOT FULLY SHOWN ON THE CONSTR NATURE AS SHOWN FOR SIMILAR CON	TEST EDITION OF RUCTION IDITIONS. ANY	HOUSE ARCHITECTS	
ISE OF A ADDED	2. THESE DOCUMENTS ARE INTENDED FOR THE WORK SHOWN ON THIS PROJECT ONLY AND ARE NOT TO BE USED FOR ADDITION(S) TO THIS PROJECT OR OTHER NEW PROJECTS.		GRAND HAVEN, MI 49417 USA +1 616 405 2224 INFO®NORTHHOUSE.DESIGN		
BEING USED.	3. SHOP DRAWINGS ARE REQUIRED FOR ALL MATERIALS AS OUTLINED IN THESE NOTES. WAIVER OF SHOP DRAWING SUBMITTAL BY THE ARCHITECT DOES NOT RELIEVE THE CONTRACTOR OR MANUFACTURER FROM THE RESPONSIBILITY OF SUPPLYING OR INSTALLING ALL NECESSARY COMPONENTS FOR A COMPLETE SYSTEM.			WWW.NORTHHOUSE.DESIGN	
F CURRENT CE WITH	4. INSPECTIONS SHALL BE PERFORMED	D PER NOTES THIS SHEET.			
	5. IF ANY NOTE CONFLICTS WITH ANY D SPECIFICATIONS, NOTIFY ARCHITECT A		ITHE		
EVES, FO THE NSIBILITY ABS AS	COMPONENTS ONLY. OSHA, DNR AND S PROVIDED BY OTHERS. ENGINEERED S	6. THE STRUCTURAL DRAWINGS ARE FOR THE PLACEMENT AND SIZE OF STRUCTURAL COMPONENTS ONLY. OSHA, DNR AND SAFETY CODE REQUIREMENTS ARE DETERMINED AND PROVIDED BY OTHERS. ENGINEERED STRUCTURES, LLC IS NOT RESPONSIBLE FOR JOBSITE SAFETY, CONSTRUCTION SEQUENCE, OR ERECTION PROCEDURES.			
RAL LC PRIOR X HISTORY 4 OF 4"	7. THE STRUCTURE IS DESIGNED TO BE SELF SUPPORTING AND STABLE AFTER IT IS FULLY COMPLETED. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE ERECTION PROCEDURE AND SEQUENCE, AND TO ENSURE THE SAFETY OF THE STRUCTURE AND ITS COMPONENT PARTS DURING ERECTION. THIS INCLUDES, BUT IS NOT LIMITED TO, THE ADDITION OF TEMPORARY BRACING, GUYS OR TIE DOWNS IF NECESSARY. THIS ALSO INCLUDES BRACING EXCAVATIONS TO PREVENT CAVE IN. SUCH MATERIAL SHALL REMAIN THE CONTRACTOR'S PROPERTY AFTER COMPLETION OF THE PROJECT.			project: DUNEGRASS	
TO ASTM D OVER " IN ALL	8. USE OF THE STRUCTURAL CONSTRUCTION DOCUMENTS AS ERECTION DRAWINGS BY THE CONTRACTOR IS STRICTLY PROHIBITED.				
RADE AT A IS A MORE THAN REMENTS		9. ANY QUESTIONABLY PLACED ITEMS SUCH AS MISALIGNED ANCHOR BOLTS, OFF CENTER BEARING PLATES, ETCETERA SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER IMMEDIATELY FOR REVIEW.			
ON PLANS:	THERE MAY BE CONDITIONS THAT WER SAME NATURE AS SIMILAR CONDITIONS	10. ALTHOUGH EVERY ATTEMPT HAS BEEN MADE TO COVER ALL POSSIBLE CONDITIONS, THERE MAY BE CONDITIONS THAT WERE NOT DETAILED. SUCH CONDITIONS ARE TO BE OF THE SAME NATURE AS SIMILAR CONDITIONS. IF THERE IS ANY QUESTION, NOTIFY THE ENGINEER IMMEDIATELY BEFORE PROCEEDING WITH CONSTRUCTION.			
	11. ANY DIMENSIONS THAT ARE NOTED DOCUMENTS AS WELL AS EXISTING CO VERIFIED BY THE CONTRACTOR AND S REVIEW PRIOR TO FABRICATION, EREC MAY CONTINUE ONCE APPROVAL AND/ CONTRACTOR.	NDITIONS AND THEIR RELATED DIMENUBMITTED TO THE ARCHITECT AND EI TION, AND COMMENCEMENT OF CON	NSIONS SHALL BE NGINEER FOR STRUCTION. WORK	Es	
PLANS: IERS,	12. THE STRUCTURAL DRAWINGS HAVE BEEN DRAWN TO SHOW THE PROPER SIZES, MATERIAL PROPERTIES, METHODS OF CONNECTION, ETC TO WITHSTAND THE REQUIRED GRAVITY AND LATERAL LOADS AS OUTLINED IN THESE NOTES. ANY DEVIATION FROM OR ALTERATION TO THESE, WITHOUT WRITTEN CONSENT FROM ENGINEERED STRUCURES, LLC, RESOLVES ENGINEERED STRUCTURES, LLC FROM ANY RESPONSIBILITY. ANY REVISIONS OR ALTERATIONS MUST BE APPROVED BY ENGINEERED STRUCTURES, LLC PRIOR TO COMMENCING WITH THE PROPOSED WORK.			Engineered Structures, LLC (616) 667-9650 es2@comcast.net	
MFERED	13. ENGINEERED STRUCTURES, LLC MUST APPROVE ANY MODIFICATIONS, SUCH AS OPENINGS OR PENETRATIONS, TO STRUCTURAL MEMBERS THAT ARE NOT SHOWN ON THE CONSTRUCTION DOCUMENTS PRIOR TO COMMENCEMENT OF CONSTRUCTION.				
AND ARCHITECT	SITE WORK:				
BS ON BE	1. FOUNDATIONS HAVE BEEN DESIGNED OF 2000 PSF. THIS SHALL BE VERIFIED ENGINEER BY MEANS OF A SOIL REPOF JUDGE AS TO THE SUITABILITY OF THE	BY A REGISTERED PROFESSIONAL GE RT. THE GEOTECHNICAL ENGINEER SH	EOTECHNICAL HALL BE THE SOLE		
ER ALL ETE. SEAL	SUBMIT A COPY OF THE SOIL REPORT STRUCTURES, LLC.				
ILL ON BOTH D ITS FULL TED FLOOR DTH SIDES.	2. ANY FROZEN SOIL, SOFT SOIL, AND/OR FILL ZONES ENCOUNTERED AT THE BEARING LEVELS OF THE FOUNDATIONS SHALL BE REMOVED AND REWORKED, UNDER THE DIRECTION OF A GEOTECHNICAL ENGINEER, TO PROVIDE SUITABLE BEARING MATERIAL.				
AXIMUM OF OF 10'-0" (4 ER TO H AS	NAIL SPE	CIFICATION CHART	7		
	NAIL SIZE	DIAMETER LENGTH	_		
BARS TO ALL EQUAL DK ON END	8d 10d 12d 16d	.131 2 3/8" .142 3" .120 3 1/4" .162 3 1/2"			
ETE ONCE	20d SHEATHIN	.148 4"	-		
		THING SCHEDULE THICKNESS TO BE SUPPLIED			
. ALL BY THE		7/16" OR GREATER 1/2" OR GREATER		revisions:	
TED OR UCTURES,	5/8"	5/8" OR GREATER			
ATION OF PRACTICE"	AS AN EXAMPLE, PROVIDING 7	3/4" 3/4" OR GREATER AS AN EXAMPLE, PROVIDING 7/16" SHEATHING WHEN 1/2" SHEATHING IS SPECIFIED, IS NOT ACCEPTABLE.			
DIMENSIONS OMPACTED			IGAN RESIDENTIAL		

CODE.



1. CONSTRUCTION SHALL BE INSPECTED PER SECTION R109 OF THE MICHIGAN RESIDENTIAL

5. ALL WORK MUST RECEIVE APPROVAL FROM THE BUILDING OFFICIAL PER SECTION R109.4.

2. REFER TO SECTION R109.1.1 FOR FOUNDATION INSPECTIONS.

4. REQUESTS FOR ALL INSPECTIONS ARE TO BE MADE PER SECTION R109.3.

3. REFER TO SECTION R109.1.4 FOR FRAMING INSPECTIONS.

CONSTRUCTION SET

05-20-22

STRUCTURAL NOTES

AND LOADING

SCALE: 1/4" = 1'-0"

no. date

GARY E. MEDLER

gary.medler@yahoo.com 461 Vine Street PO Box 461 Saugatuck, Michigan 49453 312-848-2453 November 16, 2022

BY EMAIL DELIVERY

PLANNING COMMISSION

Jamie Wolters City Clerk City of Saugatuck 102 Butler Street/PO Box 86 Saugatuck, Michigan 49453 jwolters@saugatuckcity.com

Ryan Cummins Director, Planning, Zoning & Proj. Mngt. rcummins@saugatuckcity.com Steven Manns, Chair Ann Broeker, Vice Chair Bobbie Gaunt Russ Gardner Richard Gardner Mark LaChey

David M. Jirousek, AICP Consultant

Re: Planning Commission Special Meeting November 17, 2022, Agenda Item 6 (A) <u>383 DuneGrass Circle – Site Plan Review</u>

Dear Ms. Wolters:

This comment letter is submitted for inclusion in the Record for the Planning Commission Public Hearing on the Site Plan Review Application of Edward and Melissa Harmening for the proposed build at 383 DuneGrass Circle ("Application").

As presented, the Application cannot be approved:

 Fails to comply with, and is violation of, the terms and conditions of the Saugatuck Planning Commission Resolution No. 1312203-A, dated December 3, 2013, recorded December 6, 2013 ("SLU Resolution") and the Saugatuck City Council Resolution 150610-A ("PUD Resolution");

NOTES: SLU "STANDARDS" starts at page 10: Section 1 (a) "5% maximum lot coverage" Section 1 (b) "limit removal of trees and other vegetation as much as possible in an effort to maintain the rural character of the site. SLU process provides for the required in-depth review of the proposed single family residential uses"

Section 1 (c) "development has more environmental restrictions than most other developments due to steep slopes and state-regulated critical dunes" and "Developer must preserve the natural topography and existing native vegetation on the site as much as possible"

Section 1 (j) "retention of the natural vegetation and topography are like to mitigate many of the listed objectionable conditions."(B) (2) (a) and (b) "Developer is proposing to include regulations that will limit the removal of vegetation" (Association Rules) and "landscape will be preserved by removing only those areas of vegetation or making those alterations to the topography which are reasonably necessary" and "Developer indicates that only vegetation that will directly interfere with the minimum development requirements will be removed."

Section B (2) (h) "home owners association agreement to further restrict the removal of any tree larger than 6 inches in diameter and replacement."

Section B (3) (d) "Alteration of dune vegetation shall be minimal"

Section B (3) (m) Planning Commission "Restoration review"

SLU GENERAL ZONING DECISION/STATEMENTS OF CONCLUSION starts page 31 "each individual dwelling must still obtain final site plan approval from PC Section 154.061 (c) (2) (M)

SLU CONDITIONS AND REQUIREMENTS/STATEMENT OF CONDITIONS starts at page 31 Section (b) "all lots, structures must comply at all time with the Approved Site Plan" (Developer Site Plan) and "No aspect of Approved Site Plan may be altered, amended or changed except with express approval of the City pursuant to a formal amendment to the Approved Site Plan and SLU approval" and "No vegetation or trees shall be removed, destroyed or damaged until and unless Developer submits a vegetative removal plans to the City and City approves"

Section (o) "No vegetation shall be destroyed or removed from the residential sites or elsewhere except as is absolutely necessary for the construction of a single family dwelling"

Section (r) "No house or residential dwelling shall be built until and unless a final site plan for each such dwelling has been submitted to and approved by the PC as a final site plan for each such dwelling. Site plan shall include a vegetation plan showing which trees and other vegetation are to be removed and reason for removal."

Section (y) "Any violation of SLU or Approved Site Plan or any approved final site plan for a dwelling shall also constitute a violation of the Zoning Ordinance."

2

Section (z) "SLU as well as conditions and requirements shall run with he lands involved and shall bind not only the Developer but also the Developer's successors and assigns." Section (cc) "Prior to any lot being sold or transferred a binding deed restriction/restrictive covenant shall be executed and recorded referencing SLU and provide enforceable by the City."

PUD page 2 Section 1 (c) "Individual site plans for each home subject to review and approval by the ZA and PC." PUD Section 1 (l) "June 1, 2015, representations at City Council Meeting and condition that strict compliance and enforcement applied."

Medler September 24, 2020, Notice of Breach letter to City.

- 2. Building height exceeds permitted height restriction; and
- 3. Building footprint of 1,545 exceeds the 5% lot coverage restriction in the Conservation, Recreation and Camp Zoning District (CRC).

Under City Code Site Plan Review Provisions and the SLU/PUD this Application on its face should simply have been returned to Applicants detailing the basic failures to comply with the Code, SLU/PUD.

In light of the egregious tree removal in violation of State law and the SLU/PUD and the material misstatement on vegetation removal, this Application should be returned until site review and appropriate enforcement action taken.

Sincerely

Gary E. Medler



Planning Commission Agenda Item Report

FROM: Ryan Cummins

MEETING DATE: 12-15-22

SUBJECT: Public Hearing Signage

DESCRIPTION:

The Planning Commission has expressed interest in signage being placed outside of properties subject to an upcoming public hearing. The belief is that this will assist with better informing the community of zoning matters. The signage would not take the place of any statutory requirements for public hearing mailings and newspaper notices.

The City Clerk has three large metal A-frames that can have signage swapped out as needed. The frames and metal signage would be able to withstand poor weather conditions and would avoid anything being placed into the ground.

Signage would be general and direct interested community members to contact the Zoning Administrator or access the City website for details. An example is below.

If the Planning Commission is supportive of the proposed signage, staff will work to have the signage created and placed outside of properties prior to public hearings.



A Frame Signage



Message Example

SAMPLE MOTION: Discussion item only.



October 24, 2022

Planning and Zoning

- Contacted MML for short term rental presentation on HB 4722. Aiming for a presentation to Council on November 9.
- Watched the March 18 Planning Commission Meeting to hear master plan presentation from the planning consultant and 2022/2023 goals discussion.
- Attended ZBA meeting.
- Attended Planning Commission meeting. Due to an unexpected event, there was not a quorum. A special meeting was set for October 26.
- Attended Kalamazoo Lake Water Sewer Authority meeting.
- Reviewed draft Northshore Development resolution/letter.
- Reviewed BS&A complaint/enforcement tracking functionality.
- Reviewed outdoor seating history and changes.
- Completed planning and zoning casework as outlined in the chart below.

- Attended pre-construction meeting and on-site review for the Water St Sidewalk Project. Tentative start date is week of October 24.
- Attended Christmas Parade planning meeting.
- Continued working with the County Administrator and Sheriff's Office to finalize agreement related to patrol vehicles.
- Began reviewing proposed amended and restated sewer system operations contract.
- Reviewed Michigan Sparks grant information forwarded by the City Engineer.
- Attended a meeting with Redwater Group, City Attorney, and City Manager to discuss current agreements.

Planning and Zoning Casework		
		Revised plans received. Variance requests for height, waterfront setback and first floor dwelling. Public notice published. Scheduled for
640/650 Water Street	ZBA Use and Dimensional Variance	November ZBA meeting. Worked with consultant and legal on concerns with submitted application and materials. Applicant was advised of various options.
350 Mason Street	Bed and Breakfast and Auxillary Structure	Working with legal on answering additional applicant questions.
584 Lake Street	New Motor Court Unit/HDC Review	Applicant returning to future HDC meeting with material cut-sheets. Reviewed project with planning consultant and legal. Applicant was advised special land use and site plan review will be needed as well. Met with applicant to answer questions. Still awaiting applications.
700 Maple Street	Lot Split Request	Reviewed with planning consultant. Initial request was denied. Meeting held with applicant at their request. New application was received and under review.
102 Butler	City Hall Exterior Work	Will be on the November HDC meeting agenda for review. Also forwarding to historical society for feedback.
221 Water St	ZBA Dimensional Variance Request/HDC Review	ZBA approved variances for a deck extension, shed and hot tub. Historic District Commission review scheduled for November. Applicant will need to submit zoning permit application as well.
841 Holland St	Historic District Review	Additional wall was built that wasn't part of original HDC approval. Historic District Commission review scheduled for November.
383 Dunegrass Circle	New Home	Located in the PUD residential overlay. Scheduled for site plan review by Planning Commission in November.
439 Butler	Short Term Rental Applications	New owner of a previously existing STR. Apps for three units. Awaiting fire department inspections.
860 Simonson	Short Term Rental Application	Application for new STR. Sent to fire department for inspection.

Planning and Zoning Casework Continued		
831 Holland St	Parcel Combination	Received application to combine a recently purchased parcel. Discussed process with assessing. Under review for zoning compliance.
Jones Park Historic Marker	Historic District Review	Council approved on 10/10 subject to HDC approval. Will be reviewed at November HDC meeting.
525 Butler St	ZBA Dimensional Variance Request	Variance request for side yard setback and lot coverage for addition of a new bedroom, new covered porch, and living room extension. Public notice published. Scheduled for November ZBA meeting. Will also need HDC review.
302 Culver	Enforcement	Complaint of sidewalk seating items remaining after business closed for season. Contacted owner.
404 Griffith	Short Term Rental Application	Existing STR submitted a renewal application. Sent to Fire Department for inspection.
347 Park	Short Term Rental Application	Existing STR submitted a renewal application. Sent to Fire Department for inspection.
1026 Holland	Short Term Rental Application	Existing STR submitted a renewal application. Sent to Fire Department for inspection.
Unknown	Inquiry	Questions about new water and sewer connection permitting processes. Provided application and fees.
1021 Allegan	Drainage Concerns	DPW and Engineering met building contracators and advised issue addressed to their satisfaction.
TBD	Inquiry	Received call about short-term rental ordinance. Provided application and ordinance information.
117 Perryman St	Inquiry	Questions about zoning for an addition. Provided zoning information.
1039 N Maple	Inquiry	Requested information on roof replacement permits. No strcutural work. Provided MTS contact information.

	Planning and Zoning Casew	ork Continued
Unknown	Inquiry	Question about setbacks for hot tubs in the CR district. Provided zoning ordinance information.
237 Butler	Enforcement	Complaint of vehicles parking in alley or blocking alley so they are unable to leave. Requested no parking signage. DPW to install sign.
132 Mason	Enforcement	Expanded Outdoor Dining Area License Expired. Structures/Objects still in place. Contacted owner. Now removed.
449 Water St	Inquiry	Questions/concerns about sidewalk seating approval and conditions. Information provided.
665 Spear	Home Relocation and Additions	Planning consultant and legal reviewed. Phase 1 approved. Met with applicant. Applicant advised more detail needed on phase 2 before it can be reviewed/approved.
145 Grant	Inquiry	Questions about temporary zoning permits for construction storage. Provided zoning ordinance requirements.
Mason St	Inquiry	Questions about Mason St. street end. Forwarded to City Manager who discussed with caller.
807 Lake	Inquiry	Attorney for condominium has questions about confirming planning commission approvals for amended master deed. Forwarded to legal to assist.



November 14, 2022

Planning and Zoning

- Coordinated details with MML for short term rental presentation on HB 4722.
- Attended Historic District Commission meeting.
- Attended Parks and Public Works Committee meeting.
- Attended Planning Commission meeting.
- Updated land division/lot line adjustment application.
- Created major waterfront construction permit application.
- Began MSU Extension Zoning Administrator Certificate Program pre-requisites.
- Completed planning and zoning casework as outlined in the chart below.

- Finalized Sheriff's Department Law Enforcement Services Agreement.
- Reviewed and provided feedback on BID documents for City Hall and Jones Park Information Booth exterior repairs and restoration.
- Attended a GoGov demonstration meeting.
- Attended Beach Safety Summit in South Haven.
- Attended Public Accuracy Test for November election.

	Planning and Zoning	Casework
640/650 Water Street	ZBA Use and Dimensional Variance	Variance requests for height, waterfront setback and first floor dwelling. Scheduled for November ZBA meeting.
700 Maple Street	Lot Split Request	Reviewed with planning consultant. Initial request was denied. Meeting held with applicant at their request. New application was received and under continued review.
102 Butler - City Hall	Historic District Review	The HDC reviewed the plans for exterior repair and restoration to City Hall and Jones Park information booth. The HDC approved the plans with the condition that the signs for both structures remain as is and the window wells are filled in.
831 Holland St	Enforcement	Complaint about condition of the fence. Contacted owners and working on bringing fence into compliance. Will need historic district review.
383 Dunegrass Circle	New Home	Located in the PUD residential overlay. Scheduled for site plan review by Planning Commission in November.
439 Butler	Short Term Rental Applications	New owner of a previously existing STR. Applications for three units. Two passed and certificates were issued. Third unit awaiting re- inspection.
525 Butler St	ZBA Dimensional Variance Request	Variance request for side yard setback and lot coverage for addition of a new bedroom, new covered porch, and living room extension. Scheduled for November ZBA meeting. Will also need HDC review.
347 Park	Short Term Rental Application	Existing STR submitted a renewal application. Awaiting Fire Department inspection.
1026 Holland	Short Term Rental Application	Existing STR submitted a renewal application. Awaiting Fire Department inspection. Due to 60 ft length, requires a major waterfront construction permit. Major waterfront construction permit application provided. Will
836 Park St	New Dock	need Planning Commission review.

Planning and Zoning Casework Continued		
348 Main St	Short Term Rental Approval	Existing STR submitted a renewal application. Fire Department inspected and approved. Issued STR certificate.
		Fence permit application submitted. Application not complete. Proposed fence was too high in waterfront. Referrred to zoning ordinance
985 Park St	New Fence	requirements and requested resubmittal. Issue finding curb stop for permitted water connection. E-mailed engineer and KLSWA. Provided general GIS info
990 Ridgeview	Water Connection	engineer had. Architect requested clarification on height requirements under PUD overlay. Working with fire department,
150 Dunegrass 560 Mill St	New Home Enforcement	consultant, and legal on a response.Complaint of a fence being installedwithout a permit. Contacted owner andlandscaper. They agreed to stop work.They will submit a fence permit and HDCpermit applications. Info provided onboth.
1026 Holland	Short Term Rental Application	New STR . Sent to Fire Department for inspection.
807 Lake St	Master Deed Update	Shady Shore condos. Questions about Planning Commission confirmation of 2009 special land use approval to update master deed. Legal reviewed. Prior condition not met (13 years ago), must reapply for SLU for single family dwellings.
1021 Allegan St	Sewer Connection and Street Cut	Looking to connect to sewer and needs to cut into street. Advised sewer connection permit and street cut permit will be needed. Provided applications.
638 Allegan	Final Inspections	Final inspections on remodel and addition completed.
647 Butler	Historic District Review	Plans to replace windows and shutter work. Contributing structure. Provided HDC application, link to brochure, and guidelines.

Planning and Zoning Casework Continued		
302 Culver	Enforcement	Complaint of outdoor seating items left on sidewalk after business closed for the season. Contacted owners who advised they were conducting business/events on weekends still. Now removed.
237 Francis	Short Term Rental Approval	Existing STR submitted a renewal application. Fire Department inspected and approved. Issued certificate.
Unknown	Inquiry	Call about short term rental regulations and whether there are caps on numbers. Provided zoning ordinance information.
831 Holland St	Lot Combination	Received application to combine a recently purchased parcel. Approved and sent to equalization.
350 Mason Street	Bed and Breakfast and Auxillary Structure	Worked with consultant and legal on concerns with submitted application and materials. Applicant was advised of various options. Worked with legal on answering additional applicant questions.
758 Pleasant	Inquiry	Planning on installing new fence and wanted to know requirements. Advised of zoning ordinance requirements and fence permit will be needed.
230 Culver	Asphalt Repairs	City engineer and DPW reviewed and advised no concerns if no change to grade or drainage.
125 Elizabeth	Inquiry	Questions about setback requirements for lot. Providing zoning ordinance information for this lot.
Sugar Hill	Inquiry	Questions about STR being allowed. Provided application and zoning ordinance info.
755 Holland St	Tree Damage Repairs	Damaged by tree. Repairing roof, no height or pitch changes, no footprint changes. Zoning permit issued.
860 Simonson	Short Term Rental Approval	New Short Term Rental. Passed re-inspection. Certificate issued.
404 Griffith	Short Term Rental Approval	Existing STR, renewing. Passed inspection. Certificate issued.

Planning and Zoning Casework Continued		
790 Simonson	Short Term Rental Approval	Existing STR, renewing. Passed re-inspection. Certificate issued.
665 Spear	Inquiry	Builder had questions about fire code. Provided ordinance sections.
610 N Maple	Inquiry	Questions about lot split requirements. Provided ordinance info and application.
1050 Holland St	Curb Cut	Curb cut application to change location of driveway. Consultant, DPW, and Engineer reviewed. Curb cut permit issued.
221 Water St	ZBA Dimensional Variance Request/HDC Review	ZBA approved variances for a deck extension, shed and hot tub. Historic District Commission approved work with the condition that the shed be wood. Permits issued.
Jones Park Historic Marker	Historic District Review	Council approved on 10/10 subject to HDC approval. HDC approved on 11/3.
841 Holland St	Historic District Review	Additional privacy wall was built that wasn't part of original HDC approval. Historic District Commission reviewed and approved.
Unknown	Inquiry	Questions about where boats may be stored. Provided zoning ordinance information on parking of major recreational equipment.



November 28, 2022

Planning and Zoning

- Continued MSU Extension Zoning Administrator Certificate Program pre-requisites.
- Completed planning and zoning casework as outlined in the chart below.
- Note: I had a pre-planned trip to Morocco scheduled for November 9-20 prior to starting in Saugatuck and was gone for most of this reporting period.

- Attended Parks and Public Works Committee Meeting
- Began reviewing Maple St Drainage Study

Diagning and Zaning Cosequery		
	Planning and Zoning	ZBA heard variance requests at 11/10 meeting. The ZBA found the variance standards were not
640/650 Water Street	ZBA Use and Dimensional Variance	met for height or waterfront setback. Applicant withdrew the use variance request at the meeting.
700 Marila Street		Initial request was denied. Meeting held with applicant at their request. New application was received and extensively reviewed and researched. Application will be referred to the
700 Maple Street	Lot Split Request	Planning Commission for a decision. Located in the PUD residential overlay. Was scheduled for site plan review by Planning Commission in November but a quorum (per bylaw requirements) was not available.
383 Dunegrass Circle 525 Butler St	ZBA Dimensional Variance Request and Historic District review	Working with Chair on re-scheduling. Variance request for side yard setback and lot coverage for addition of a new bedroom, new covered porch, and living room extension. ZBA granted variances. Historic District permit application received and will be heard at 12/1 HDC meeting.
347 Park	Short Term Rental Application	Existing STR submitted a renewal application. Passed Fire Department inspection. Certificate issued.
1026 Holland	Short Term Rental Application	Existing STR submitted a renewal application. Passed Fire Department inspection. Certificate issued.
1021 Allegan St	Water/Sewer Connection and Street Cut	Street cut and connections completed with engineering oversight.
647 Butler	Historic District Review	Historic District application received for various work including new windows, roof, doors, lights, fence and new deck and porch addition. Will be heard at January HDC meeting. Applicant advised zoning permit will also be needed.
150 Dunegrass	Inquiry	Questions about PUD overlay height language. Worked with legal, consultant and fire department to provide a response.
560 Mill St	New Fence	Historic District and fence permit application received and under review.

Pla	anning and Zoning Casewo	rk Continued
1044 Holland (1034 Holland)	New Home	Zoning permit application and water/sewer connection application received. Initially was not complete but applicant has since provided required information. Sent to consultant to review. Floor area ratio also under review and if it exceeds .3:1 will need Planning Commission review.
423 Grand St	New Home	Zoning permit application for new home. Application was not complete. Requested required information to review.
133 Main St	Historic District Review	Historic District application received for new siding. Application was not complete. Requested required information.
233 Lucy St	Home Alteration and Addition	Zoning permit application received for a front porch demolition and rebuild. HDC previously approved. Application not complete. Researching non-conforming setback with consultant.
125 Mason St	Short Term Rental Application	Existing STR, renewing. Sent to Fire Department for inspection.
311 Water St	Short Term Rental Application	Existing STR, renewing. Failed inspection. Sent invoice for re-inspection.
Unknown	Inquiry	Questions about historic district boundaries. Map provided.
102 North St	Short Term Rental Application	New STR. Passed Fire Department inspection. Certificate issued.



December 12, 2022

Planning and Zoning

- Set up Planning Commissioner and ZBA Member interviews.
- Completed MSU Extension Zoning Administrator Certificate Program pre-requisites. Registered for in person sessions in February.
- Attended meetings with planning consultant and legal regarding various zoning matters.
- Reviewed 631 Perryman PUD historical documents.
- Reviewed Maple St. lot split historical documents.
- Attended Historic District Commission meeting.
- Sent letters to expired and soon to be expired short term rental owners.
- Reviewed ZBA Decision Forms from recent cases and corresponded with ZBA Chair.
- Completed planning and zoning casework as outlined in the chart below.

- Set up new Council Member orientation for January 11.
- Reviewed annual audit.
- Reviewed historical documents related to water/sewer connection fees.
- Attended City Hall exterior pre-bid meeting with prospective bidders. Bids are due December 20.

	Planning and Zoning	Casework
640/650 Water Street	Inquiry	Met with applicants and consultant to discuss non-conforming rights and options under the zoning ordinance.
		Continued review with planning consultant. After extensive review and research, application is being referred to the Planning Commission. Applicant advised they did not wish for their application to be considered at
700 Maple Street	Lot Split Request	the December meeting. Located in 631 Perryman PUD residential overlay. Was scheduled for site plan review by Planning Commission in November but a quorum (per bylaw requirements) was not available. Continued extensive review with consultant and legal. Scheduled for December
383 Dunegrass Circle	New Home ZBA Dimensional Variance Request	15 Planning Commission meeting. ZBA granted variance request for side yard setback and lot coverage for addition of a new bedroom, new covered porch, and living room extension. Historic District Commission
525 Butler St	and Historic District review Water/Sewer Connection and Street	approved on 12/1 with conditions. Followed up with builders to collect connection
1021 Allegan St 647 Butler	Cut Historic District Review	fees. Historic District application received for various work including new windows, roof, doors, lights, fence and new deck and porch addition. Will be heard at January HDC meeting. Applicant advised zoning permit will also be needed.
150 Dunegrass	Inquiry	Questions about driveway slope. Coordinated with Fire Authority.
560 Mill St	New Fence	Historic District and fence permit application received. Permits issued for both. Talked with applicant about landscaping concerns raised by a complainant. Zoning permit application and water/sewer connection application submitted for new
1044 Holland (1034 Holland)	New Home	home. Applicant revised floor area ratio calculations. Sent to consultant for review. Coordinated water/sewer connection review with city engineer and provided applicant with feedback.

Planning and Zoning Casework Continued		
423 Grand St	New Home	Zoning permit application and water/sewer connection application submitted for new home. Sent to consultant for review. Coordinated water/sewer connection review with city engineer and provided applicant with feedback.
233 Lucy St	Home Alteration and Addition	Zoning permit application received for a front porch demolition and rebuild. HDC previously approved. Application not complete. Researching non-conforming setbacks with consultant.
726 Water St	Short Term Rental Application	Existing STR units. Renewing. Sent to Fire Department for inspection.
15 Park St	Inquiry	Questions about replacing existing (60- year-old) tennis court and whether permits needed. Same footprint. May extend fence 1 ft at later date. Reviewed prior site plan approvals and site plan review triggers. Sent to consultant for review.
602 Francis	Short Term Rental Application	Existing STR. New Owner. Sent to Fire Department for inspection.
255 Spear St	Short Term Rental Application	Existing STR changed ownership. Sent to Fire Department for inspection.
807 Lake #7	Short Term Rental Application	Existing STR renewing. Sent to Fire Department for inspection.
712 Lake St	Short Term Rental Application	Existing STR renewing. Sent to Fire Department for inspection.
201 Butler	Inquiry	Questions about permitting and requirements to add a "lobby ATM with enclosure" outside the drug store. Sent to consultant for review. Reviewed history and other code of ordinance provisions. Advised applicant survey will be needed.

Planning and Zoning Casework Continued		
Sugar Hill (previously Vine Street Cottages)	Land Division Application	Lot split application. Did not use current application so it was not complete. Provided current application and checklist.
275 North St	Inquiry	Discussed preliminary lot split plans with applicant. Discussed zoning ordinance requirements and provided resources. Provided same to surveyor.
510 Butler St	Inquiry	Questions about turning an accessory structure into an ADU and renting it as another unit of the B&B. Advised this is not allowable without a ZBA variance.
890 Simsonson	Inquiry	Questions about water connection fees for proposed new home. Fees provided.
35 and 37 Park St	Inquiry	Questions about separating water service lines. Provided application. City Engineer reviewed unique circumstances and provided feedback.
560 Mill St	Inquiry	Questions about setbacks and historic district requirements for possible renovation. Provided requested information.
749 Holland St	Inquiry	Questions about front and rear lot lines on irregular shaped lot. Provided zoning ordinance definitions.
149 Griffith	Inquiry	Questions about permitting for remodeling. Contributing structure in the historic district. Restaurant use historically. Provided resources and forms depending on type of work as well as MTS info. Advised Planning Commission reviews may be needed.
143 West	Inquiry	Questions about prior building plans.
16 Park St	Inquiry	Questions about ADU requirements. Discussed prior approvals and current zoning regulations.

Jamie Wolters

From:	Craig Baldwin < craigbaldwin312@gmail.com>
Sent:	Friday, December 9, 2022 11:09 AM
То:	Jamie Wolters
Subject:	Fwd: Short Term Rentals
Attachments:	STR Regulations Summary Dec 9 2022.doc

Hello Jamie,

Please include the message below and its attachment as correspondence in the packet for the next planning commission meeting. Thank you.

Craig Baldwin 787 Manchester Drive, Saugatuck

------ Forwarded message ------From: **Craig Baldwin** <<u>craigbaldwin312@gmail.com</u>> Date: Fri, Dec 9, 2022 at 11:06 AM Subject: Short Term Rentals To: <u>mannssteven@hotmail.com</u> <<u>mannssteven@hotmail.com</u>>

Dear Chairman Manns:

I understand that the Planning Commission intends to review the issue of short term rentals in the near future to decide what, if any, changes should be made to our ordinances. I am writing to provide both comments from my personal experience as well as information that will hopefully be of use as you take on this topic.

When Helen and I bought our home on Manchester Drive five years ago, part of the charm was that it was on a quiet, dead end street with only sixteen homes in the immediate neighborhood. The only short term rental activity was from our next door neighbors who rented their second home for a few weeks each summer to offset some of the cost of ownership. They have since made that home their permanent residence.

But over the last two years, four of the sixteen homes in our neighborhood have become active short term rentals. The rental closest to my home has persistent issues with parking, trash and noise. More importantly, we have lost several great neighbors that were an active part of our little community. An abrupt 25% saturation rate of short term rental properties has had a significant negative impact on our neighborhood.

I have researched how several comparable resort towns on Lake Michigan have handled this issue. The attached memo summarizes what I discovered from my review of the ordinances and policies in the following towns: Charlevoix; Harbor Springs; Petoskey; Grand Haven; South Haven; Holland; and Park Township. I also reviewed and summarized Saugatuck's current ordinances regarding short term rentals and other types of lodging.



In a nutshell, some communities have banned short term rentals (Petoskey, Park Township). Others permit property owners to rent for a few weeks per year but otherwise place restrictions on the number and/or location of investor-owned short term rentals (Charlevoix, Grand Haven, South Haven, Holland). Harbor Springs is the only one on my list that does not restrict the number or location of short term rentals, but they have very restrictive rules regarding parking, trash and noise and take a zero tolerance policy toward code violations before a rental license can be revoked.

It is clear to me that Saugatuck now has a class of short-term rentals that are essentially commercial lodging operations. In my view, these have a comparable impact on the surrounding neighborhood as would a bed and breakfast establishment. Saugatuck zoning ordinances have taken a thoughtful approach to bed and breakfasts by allowing them in some districts, designating them as a special land use in others, and determining that they are not a permitted use in the remaining districts. Saugatuck would benefit from a similarly careful approach to commercial-grade short-term rentals.

I hope this legwork is useful to the Planning Commission as you review what is obviously a very important issue for Saugatuck. Thank you.

Sincerely,

Craig Baldwin

787 Manchester Drive

Saugatuck

Short Term Rental Regulations December 9, 2022

A Sample of West Michigan Resort Town STR regulations:

<u>Petoskey</u>: Short term rentals are not a permitted use except for bed and breakfast establishments that operate in the business district.

<u>Charlevoix</u>: Distinguishes between "Business Unit" STRs and "Personal Unit" STRs. Business Unit STRs can be rented for an unlimited number of days in a calendar year but are capped at 80 units in residential districts. Occupancy is limited to 2 people per BR plus 2 per finished floor. All property owners can rent their property as a Personal Unit STR for up to 28 days in a calendar year and Personal Units do not count against the STR cap. Property owners can have only one Personal Unit.

STR tenants must park vehicles in designated driveways or properly park at the street. On-street parking is not allowed in the winter. The city publishes a Good Visitor Guide for tenants that summarizes city ordinances regarding parking, trash, noise, etc.. STR registrations will be suspended for 12 months if there are three ordinance violations in a 12 month period. If there is a fourth violation in a 24 month period, the property owner permanently loses the right to use the property as an STR.

<u>South Haven</u>: They also distinguish between STR "personal units" and "business units." Business unit STRs may not comprise more than 25% of the residential community. Personal unit STRs can be rented up to 28 total calendar days but with no more than 6 separate rental periods. For business units, occupancy is the lesser of 16 people or 2 per BR plus 2 more per finished floor. For personal units, occupancy is capped at 12.

STRs must circulate the city's "good neighbor guide" to tenants. Personal STRs must notify the city of the dates of their rental contracts. STRs will lose their registration if there are three or more complaints in a calendar year regarding a violation of city ordinances.

<u>Grand Haven</u>: Short term rentals are only available in a handful of zoning districts except for any STRs that are grandfathered in. STR owners must provide tenants with copies of city ordinances regarding noise, trash, parking and occupancy. STR registrations can be revoked for repeated violations of city ordinances (no specific number is given).

<u>Harbor Springs</u>: There are no caps on STRs. Occupancy is limited to 2 people per BR. Trash cans are not permitted to be placed in public view except on the day before pickup. Renters and guests must park in the garage, carport or driveway of the property if one exists. Vehicles may not be parked in the yard. STR licenses can be suspended for up to 90 days for a single violation of city ordinances and for 12 months if there is a second violation. The city publishes a "good neighbor guide" for the benefit of tenants.

<u>Holland</u>: A property owner may rent their <u>primary residence</u> as an STR without restriction on the number of days. Other uses are considered investor-owned properties and are limited to specific zoning districts, subject to a cap of 25 units in the entire city, and subject to a 500 foot spacing requirement between units. STRs must notify surrounding neighbors that the property will be used as an STR and provide the property owner's contact information. Licenses can be revoked if there are more than 3 police calls or 4 ordinance violations for the property in a 12 month period.

<u>Park Township</u>: After significant debate and public hearings, they decided not to amend their zoning ordinances to permit STRs. They are allowing a 12 month grace period before enforcing existing zoning codes that prohibit STRs.

Michigan Legislature:

House Bill 4722 passed in October 2022 and would forbid any local regulation that treated STRs differently than other residential properties. Municipalities could cap STR saturation at no less than 30% of the total of residential units. This bill was not taken up by the Senate and is likely to expire without action in the lame duck session. HB 4722 is supported by Airbnb, the Michigan Association of Realtors and the Rental Property Owners Association.

The Michigan Municipal League, Michigan Township Association and Michigan Restaurant & Lodging Association oppose the legislation and have offered HB 5466 as a compromise, which protects "qualified short term rentals" (i.e., personal unit STRs) from caps or limitations but does not prohibit local regulations on commercial/investor short term rentals. Qualified short term rentals are defined as those that rent for no more than 30 days per calendar year. This bill has not passed the house.

Current Saugatuck Ordinances:

Short term rentals are currently a permitted land use in most, but not all, zoning districts. STRs are regulated in City Charter Sec. 154.022(V) (attached). The regulations are permissive and provide no limits on the number of STRs, no required distance between STRs, and no limits on the number of days a unit can be rented as an STR. Occupancy restrictions are only limited by the standards in the BOCA Property Maintenance Code, which requires only that every room occupied for sleeping purposes must have 50 sq. ft. per occupant.

Full-time Business Unit STRs arguably have a similar impact on residential communities as bed and breakfast establishments, except that STRs lack a resident owner who can actively mitigate any nuisances. Saugatuck regulates bed and breakfast establishments as follows:

- They are a permitted land use in the following districts: Water Street South; Neighborhood Marine; Resort District; and City Center Transitional Residential District.
- They are a special land use in the following districts: Water Street East; Water Street North, City Center Commercial; Lake Street; and Multi-Family Residential District.
- They are not allowed in the following districts: Community Residential; Maple Street Peninsula North; Peninsula South; Peninsula West; Blue Star; Conservation Recreation and Camp; Summer Resort and Park Association; and Cultural/Community District.

Potential Changes:

If the city wishes to place limits on STRs, the following approach would be in the spirit of the compromise supported by the Michigan Municipal League:

- 1. Distinguish between business unit STRs and personal unit STRs. Limit personal unit STRs to a small number of rental days in a calendar year, such as 30.
- 2. Allow an unlimited number of personal unit STRs in any zoning district where STRs are currently a permitted use.
- 3. Review the character of each zoning district to determine which districts should allow unlimited business unit STRs, which districts should permit business STRs subject to a cap or a special land use designation, and which districts should prohibit business STRs.

Note that existing STR uses that would become nonconforming under revised zoning rules must be allowed to continue in the same manner and to the same extent. The Michigan Zoning Enabling Act of 2006, Section 125.3208, says:

If the use of a dwelling, building, or structure or of the land is lawful at the time of enactment of a zoning ordinance or an amendment to a zoning ordinance, then that use may be continued although the use does not conform to the zoning ordinance or amendment.

This right of use can be passed on to subsequent owners (travels with the land) but is extinguished if the nonconforming STR usage is abandoned. (*See De Mull v City of Lowell*, 368 Mich 242 (1962)).

A variety of other changes could also be considered:

- 1. Limit occupancy of personal unit STRs to a reasonable number (e.g., 12 max, 2 people per BR, etc.). Consider occupancy limits for business unit STRs that are tied to the number of bedrooms/floors.
- 2. Impose limits on the number of parked cars (e.g., 1 per BR). Consider other restrictions such as prohibiting overnight street parking or prohibiting parking on the lawn.
- 3. Require garbage containers to be stored where they are not visible from the street.
- 4. The city could more actively enforce the existing rules regarding when garbage cans may be placed at the street and when they must be returned.
- 5. Rules should be established for suspension and/or forfeiture of an STR license after repeated ordinance violations
- 6. Meaningful fines could be established for ordinance violations by STRs.
- 7. The city could publish an updated list of registered STRs on the city website with the local contact information and the occupancy limit.
- 8. The city could prepare a good neighbor guide that STRs are required to provide to tenants.

SAUGATUCK STR ORDINANCE:

154.022 (V) Short-term rental unit.

(1) The owner of the dwelling unit which is to be rented for any period of less than 30 days, shall obtain a short term rental certificate from the city before the dwelling is rented or used;

(2) The property owner or applicant shall include the following information on the certificate application:

(a) Address of the subject parcel containing the dwelling unit to be rented;

(b) Name and contact information, including e-mail, of the owner of the dwelling unit;

(c) Name and contact information, including e-mail, of the required local representative or the rental agency, within 45 miles of the City of Saugatuck;

(d) Proposed maximum occupancy of the dwelling unit;

(e) Owner's signature stating that the dwelling unit will be operated in conformance with all applicable ordinance requirements; and

(f) The property owner shall notify the city of any changes to the approved application within 30 days of the date of the change, including change of mailing address, contract information, or rental agency.

(3) The short-term rental unit shall meet all applicable building, health, fire, and related safety codes at all times and shall be inspected by the Saugatuck Township Fire District within 30 days of the submittal of the application. Violations found by the Saugatuck Township Fire District shall be corrected within 15 days of notification from the Fire Inspector. No certificate shall be issued until after the fire inspection has been completed and approved. The property owner or rental agency shall submit a completed safety checklist, designed by the Saugatuck Township Fire District, to the city for the second and third year of each certificate cycle for the certificate to remain in good standing.

(4) Signs shall be subject to the applicable provisions of § 154.141 of this chapter;

(5) The use of outdoor yard areas, open decks, pools and the like shall not result in the production of excessive off-site noise, odor, other external disturbances or other nuisances as regulated within the City Code of Ordinances;

(6) In no event shall the owner of the short-term rental unit or their agent rent solely an individual room in the short-term rental unit to a person, family, or other group of persons, nor shall the renter of the dwelling so sublet any room. All dwelling units rented for short term use shall be fully rented under a single contract;

(7) The use of tents, campers, or similar temporary sleeping facilities shall be prohibited;

(8) A short term rental certificate shall be valid for three seasons (January 1 through December 31) unless there is a change of ownership for the subject parcel;

(9) Occupancy of each dwelling unit shall be limited based on the calculations in the BOCA National Property Maintenance Code as approved in § 150.03; and

(10) All short term rentals shall have a local representative who resides within 45 miles of the outer boundaries of the city. This contact shall have access to the property at all times and shall have working knowledge of the house.

BOCA Occupancy Requirement:

PM-405.3 Area for sleeping purposes: Every room occupied for sleeping purposes by one occupant shall contain at least 70 square feet (6.5 m2) of floor area, and every room occupied for sleeping purposes by more than one person shall contain at least 50 square feet (4.6 m2) of floor area for each o

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