



**Planning Commission Regular Meeting
August 17, 2023 7:00PM
City Hall
102 Butler Street, Saugatuck, MI**

1. Call to Order/Roll Call:

2. Approval of Agenda: (Voice Vote)

3. Approval of Minutes: (*Voice Vote*)

A. Regular Meeting Minutes – July 20, 2023 *Pg. 3*

4. Public Comments on Agenda Items: (Limit 3 minutes)

5. Old Business:

A. Short-Term Rental Task Force – Verbal Update

6. New Business:

A. 291, 292, 293, 296, 297, 298, 301 Sugar Hill Ct – Formal Site Plan Review *Pg. 11*

B. 248 Culver – Public Hearing and Site Plan Review for a Brewery and Restaurant *Pg. 210*

C. Waterfront Development Zoning Ordinance Review – Public Input and Recommendations Report *Pg. 227*

7. Communication:

a. Denise Barowicz

8. Reports of Officers and Committees:

a. Zoning Administrator Activity Report

9. Public Comment: (Limit 3 minutes)

NOTICE:
Join online by visiting:
<https://us02web.zoom.us/j/2698572603>
Join by phone by dialing:
**(312) 626-6799 -or-
(646) 518-9805**
Then enter "Meeting ID":
2698572603
Please send questions or comments
regarding meeting agenda items
prior to meeting to:
rcummins@saugatuckcity.com

10. Commissioner Comments:

11. Adjourn (Voice Vote)

***Public Hearing Procedure**

- A. Hearing is called to order by the Chair
- B. Summary by the Zoning Administrator
- C. Presentation by the Applicant
- D. Public comment regarding the application
 - 1) Participants shall identify themselves by name and address
 - 2) Comments/Questions shall be addressed to the Chair
 - 3) Comments/Questions shall be limited to **three** minutes
 - 1. Supporting comments (audience and letters)
 - 2. Opposing comments (audience and letters)
 - 3. General comments (audience and letters)
 - 4. Repeat comment opportunity (Supporting, Opposing, General)
- E. Public comment portion closed by the Chair
- F. Commission deliberation
- G. Commission action



Planning Commission Meeting Minutes - *Proposed*

The Planning Commission met for a Regular Committee Meeting, July 20, 2023, at
7:00 p.m. at City Hall
102 Butler St., Saugatuck, MI 49453.

1. Call to Order/Attendance:

The meeting was called to order by Chair Manns at 7:00 p.m.

Present: Chairman Manns, Vice-Chair Broeker, Commission members: Anderson, Bagierek, Gardner, Gaunt, LaChey.

Absent: None.

Others Present: Director of Planning, Zoning, and Project Management Ryan Cummins, Deputy Clerk Sara Williams.

2. Approval of Agenda:

Motion by Gaunt, second by Broeker to approve the agenda as presented for July 20, 2023. Upon voice vote, motion carried unanimously.

3. Approval of Minutes:

Motion by Gardner, second by Anderson to approve the minutes as presented for regular meeting June 15, 2023. Upon voice vote, motion carried unanimously.

4. Public Comment on Agenda Items: None.

5. Old Business:

A. Short-Term Rental Task Force – Verbal Update

Short-Term Rental Taskforce Chairwoman Anderson gave an update on the STR Rental Task Force. They have had two meetings since the last Planning Commission meeting. The meeting on July 6th focused a lot on the data McKenna had pulled together for their review regarding home value trends and STR trends. They have been looking at maps of where STR's fall within the City. A chunk of the sixth meeting was spent discussing the survey that went out, getting feedback from all of the taskforce members on what they wanted to include, and then talking about what the town hall may look like. Anderson reminded the taskforce that the survey was going out, that it has been added to the website, and that the town hall was scheduled for Tuesday at the High School. Ryan Cummins worked on a postcard that should be arriving to residents either over the weekend or early next week. There was also an article in the

Commercial Record today. At today's meeting, they went over some more data, and they are really trying to get their heads wrapped around how many parcels, dwelling units, and STR's are in each of the zones. She said that McKenna did a great job of pulling together different maps and a chart that they can break down by zone.

Zoning Administrator Cummins said that McKenna provided some additional data on how the gap between what you can rent a short-term rental for versus what the cost would be to purchase the property, what you are paying in taxes, and other estimated expenses that would cost to operate a short-term rental and take the feedback from the short-term rental agents that were present and how many days you could actually expect at low rates. They ran some analysis and they're getting to a point where the homes are just more expensive. It is more difficult to actually make your money on it and make it if you're going to do it just for that purpose.

Chair Anderson said that in the last couple of years it has been harder to make money on STR's, especially people who have just bought. They spent some time talking about what objectives they would recommend to Planning and City Council to guide the discussion around any changes that they would consider to short-term rentals. They will have that information and feedback at the town hall and people can weigh in on that. They are pretty much done with the data gathering and analysis other than the survey and Town Hall which she considers more of that in the engagement. By early August, this survey will close. By mid-August, they should really have a good sense of all of the input and can start framing some of the recommendations.

6. New Business:

A. 149 Griffith – Site Plan Review

The applicant has applied to construct a single-level walk-in refrigerator/freezer attached to the principal restaurant building, new fencing, and a replacement deck. Privacy fences and a gate are proposed to screen the rear of the property, and lower fences are proposed for the front of the building. The purpose of this memo is to provide a compliance review related to all applicable zoning standards and requirements and to assist the Planning Commission with developing findings of fact related to the request.

Chris Nelson from Nelson Architects was there to present the application. He said that this was an existing restaurant that they want to rehab. The owners Alison Maxwell and her husband Matt Bush, have two other restaurants that they've done this same kind of thing to one in Plainwell and one down in Mattawan. He said that there is a giant two-story walk-in freezer cooler in the backyard that is dilapidated. They would like to replace it with a single-story, walk-in cooler and essentially tie it into where the garage is right now, and the garage space will be turned into a kitchen prep area. They would like to screen it off from the street, so the cooler isn't visible, and extend the existing fence that is there now and install a gate. The deck in the back is an existing deck that was rotting and falling apart so they plan to replace that with the same type of deck. The outdoor restaurant area is like a little makeshift tiki bar area that they will either rehab or replace with the same thing. Seating outside will be the same as it was before. He has mentioned to David Jirousek that one of the things that they have to do in their full set of drawings for the rehab of the building is an occupancy count. He said that it was

pointed out to him that they could easily have a lot more people occupy the space, but the owner will be limiting that because they cannot run that many people through their small kitchen. When they submit for the permit, they will include that information. The owner's submitted to the Historic District Commission twice because they changed the fence in the front yard after the fact, so they came back a second time to get that approved. They will also add a privacy fence in the back just extending to the existing fence. He is here to answer any questions that the Commission has.

A. All elements of the site plan shall be harmoniously and efficiently organized in relation to topography, the size and type of lot, the character of adjoining property and the type and size of the buildings. The site will be so developed as not to impede the normal and orderly development or improvement of surrounding property for uses permitted in this chapter.

Comment: The walk-in refrigerator/freezer and fencing allows for reasonable expansion of, and improvement to, the restaurant. The six (6) foot fence/gate will primarily screen the freezer, but the top will be visible. The proposed site development is not anticipated to impact nearby properties negatively.

B. The landscape shall be preserved in its natural state, insofar as practical, by removing only those areas of vegetation or making those alterations to the topography which are reasonably necessary to develop the site in accordance with the requirements of this chapter.

Comment: The rear yard landscaping is not proposed to be impacted. However, the details of the rear yard use for activities or dining are not clear.

C. The site plan shall provide reasonable visual and sound privacy for all dwelling units located therein. Fences, walls, barriers, and landscaping shall be used, as appropriate, to accomplish these purposes.

Comment: Existing and proposed fencing will provide reasonable screening of the exterior equipment, walk-in refrigerator/freezer, dumpster, and outdoor area.

D. All buildings or groups of buildings shall be arranged so as to permit necessary emergency vehicle access as required by the Fire Department.

Comment: The Fire Department must review the site layout regarding site access and the ability to respond to emergencies.

E. There shall be provided a pedestrian circulation system which is separated from the vehicular circulation system. In order to ensure public safety, special pedestrian measures, such as crosswalks, crossing signals and other such facilities may be required in the vicinity of schools,

playgrounds, local shopping areas and other uses which generate a considerable amount of pedestrian traffic. All federal, state, and local barrier free requirements shall be met.

Comment: Not applicable.

F. The arrangement of public or common ways for vehicular and pedestrian circulation shall be connected to existing or planned streets and pedestrian or bicycle pathways in the area. Streets and drives which are part of an existing or planned street pattern serving adjacent development shall be of a width appropriate to the traffic volume they will carry and shall have a dedicated right-of-way equal to that specified in the City's land use plan.

Comment: Not applicable.

G. All streets shall be developed in accordance with city specifications, unless developed as a private road.

Comment: Not applicable.

H. Appropriate measures shall be taken to ensure that removal of surface waters will not adversely affect neighboring properties or the public storm drainage system. Provisions shall be made to accommodate storm water, prevent erosion and the formation of dust. The use of detention/retention ponds may be required. Surface water on all paved areas shall be collected at intervals so that it will not obstruct the flow of vehicular or pedestrian traffic, create puddles in paved areas or create erosion problems.

Comment: The increase in impervious surface is minimal, and the impact of stormwater will be negligible.

I. All loading and unloading areas and outside storage areas, including areas for the storage of trash, which face or are visible from residential districts or public thoroughfares, shall be screened by an opaque wall or landscaped screen not less than six feet in height. (See §§ 154.142 through 154.144).

Comment: The loading and service area to the rear of the site is proposed to be screened by existing fencing and a new six (6) foot fence/gate.

J. Exterior lighting shall be arranged so that it is deflected away from adjacent properties and so that it does not impede the vision of traffic along adjacent streets. Flashing or intermittent lights shall not be permitted.

Comment: New light fixtures are not proposed.

K. In approving the site plan, the Planning Commission may recommend that a bond or other financial guarantee of ample sum be furnished by the developer to ensure compliance for such requirements as drives, walks, utilities, parking, landscaping and the like (see §154.173).

Comment: Not applicable.

Recommendation:

The applicant must clarify the setback of the proposed fence/gate along Mason Street and the extent of the deck replacement project. Further, the general use of the rear yard for activities and outdoor dining must be clarified. If this information is provided and all improvements are compliant, the Planning Commission may approve the site plan, as only the walk-in refrigerator/freezer triggered the site plan review. However, fire department review should be a condition of approval.

Motion by Anderson, second by Bagierek to approve the application for 149 Griffith St with condition that it receives fire department approval. Upon roll call vote, motion carried unanimously.

B. Waterfront Development Zoning Ordinance Review – Initial Assessment Report

Planning Consultant Jirousek gave the Planning Commission an update and said that this is the first of two reports and the first half of the assessment. This is the background basis for the recommendations that will be coming out for next month's meeting. As you note from the report, this is a really a character assessment of both of the study areas on each side of the river. Kind of an overarching redevelopment assessment about how much land might be available and suitable for redevelopments or development, a review of the master plan and review of the zoning ordinance regulations that apply to the underlying zoning districts. He also wanted to report on the survey, the visual preference survey is online and both surveys will be available for another 11 days. They have 179 participants so far for the visual preference survey and 208 for the general waterfront regulation survey. Jirousek says this is good participation, as he does check on the results from time to time, though he has not prepared a summary of that. For the visual preference, most of the one to two story buildings have the more traditional design pitched roofs. A lot of the more modern looking buildings from the visual preference survey were not preferred for either side of the river. Those that are one, two, and two and a half stories with pitch roofs with more traditional design are really the only ones that have been preferred by the responding participants concerning the general study or the general survey. The vast majority of folks responded that they would only like to see two and a half stories or less. A lot of the priorities of folks were to look into access to the waterfront walkability of the waterfront open space and really controlling the overall bulk and scale of a building. The survey results really reinforced a lot of what we assumed going into the project. They really reinforced the conversations of the City Council and the Planning Commission. There were also a number of opportunities for open-ended responses so there have been a lot of thoughtful comments put

into the survey questions as well. Jurasik says he is looking forward to putting that into a summary for you to review over the next two weeks or so when the surveys close. As discussed in their last meeting, they did put together three boards that were available for your public events. He wants to hear back from those who were at those events. He is curious to see if there was a positive reaction to the board's recommendations or the project in general. He said he would love to hear input from those that staffed those stations.

Jirousek thinks that the boards are a good opportunity to give people a taste of what the surveys involve and to get people talking and aware of this project. He said that it is a good thing to be out there in the community and have conversations that get people interested and excited to provide input. They think that they are not going to get like a quantitative analysis from the boards, but it is just good to have people go through the exercise and indicator, which are going to affect waterfront development in the community. He appreciates everyone who has put their time into sitting out there and soliciting the input.

So, the report itself is really the first half of the assessment. This is the kind of basis that they will be using to create the recommendations for the waterfront zoning districts. A lot of you are very familiar with the character of your community. Walking through each corridor parcel by parcel was very important for him to really understand the types of common architectural traits that they can find. There are many architectural features and a lot of different building types. They are able to identify some trends and the types of buildings that they see within the area. The overall development and redevelopment assessment he found interesting to work through parcel by parcel. He didn't really look at the smaller boat lots or the parking area for the house boats and things like that but looked more at the significant size of the parcels, pretty much everything on the east side, three major parcels on the west side including the Marina Casa Loma and the two multi-family buildings. The east side had about 6.3 total acres of parcels that they looked at. He thought that around 1.85 acres, five parcels of 15, would have a higher potential for redevelopment. This is really looking at the size of the parcel, the ownership, and the age of the structure, if there has been a lot of investment in the buildings in the last few years, or if the building are less than 20-25 years old, he wouldn't count them as great redevelopment potential. Those buildings that are built in the early 1900's, to the 1950's and 1960's is starting to age. The potential for someone to buy with the intention to redevelop is high. Some sites like the Singapore Yacht Club parking lot, any time you have a surface parking lot with a great location like that, there will be a high likelihood of redevelopment. Overall, they have just under two acres on the east side that would really have a higher potential for redevelopment proposals. Then on the west side, there is 1.23 acres of parcel that was studied. He said that the Casa Loma Marina and the structures there are older buildings and there is a lot of land there .65 acres, that he would see as a potential for a redevelopment proposal at some point. Overall, about 2.5 acres of the study area, which is about 1/3. He would expect to have a higher likelihood for redevelopment than the remaining 2/3.

In the next report, they are really going to get in a bit deeper on what could happen to those parcels based on the current zoning regulations. After the development assessments, Jirousek looked through the Tri-Master Plan. The goals of policies are definitely a bit more

general in nature. There is no specific guidance on buildings scale, form, and design, like you might have in an area specific plan or a downtown specific plan. He thinks there is a lot of great guidance in those general goals and principles that they can hang their hat on when they are looking at zoning regulations. So those words which really ensure sensitive development, which preserves views and access to the waterfront, reasonable limitations on development, and preservation of historic buildings is really considered the compatibility of future development and land use with existing land use and buildings. He thinks there is a lot of good guidance within the master plan, even though there's not specific design guidance concerning buildings, he thinks that there is a lot that they can base their recommendations on.

Jirousek said that it was requested from the Planning Commission that they put together a comparison of the dimensional requirements, as well as the land use regulations between the three subject zoning districts. Originally, they had a fourth zoning district, but he conferred with Zoning Administrator Cummins that the Water Street South was expanded northward. So, there is Water Street Commercials that include Wicks Park and some properties to the north. There was some rezoning that was done several years ago to include them in Water Street. With the land use relations, general comments on the land use regulation, some of the line items are obviously using an older code and at some point, they will have to do an overhaul of the full code. He doesn't think that they need to get too deep into the updating all the way to modernizing the terminology and in doing a full zoning ordinance update, but there may be some opportunity to modernize some of the uses into assess that the land uses between districts. Between Water Street North and Water Street South, those are similar character, and he thinks that Water Street North was intended to be a bit denser, with smaller lot sizes, and no side and rear setbacks, where on Water Street South the lot sizes are a bit larger in there are side setbacks. He doesn't have anything else for recommendations. At this meeting, he just wanted to report on how they are beginning to make the basis for the zoning recommendations next month. Next month, they will have the survey results and be able to discuss them with. They will have the best practices, and any recommendations on zoning. The general questions the Planning Commission may want to consider tonight are: What are the characteristics of the study area and the most important elements to consider, to encourage or require the implications of the redevelopment of higher potential properties? He was wondering what the Commissions reactions would be or were on the redevelopment assessment. Consideration of the dimensional requirements between the districts, land use regulation between districts, and the general public input from the local events.

7. **Communications:** None.

8. **Reports of Officers and Committees:**

A. Zoning Administrator Activity Report: Director of Planning, Zoning, and Project Management Cummins gave brief update on his report.

9. **Public Comments:** None.

10. Commission Comments:

- Commissioner Gardner: Said that he was over at the Yacht Club for Fourth of July watching the fireworks and something that was brought up by numerous people is, if you have not seen it at night, the Butler lights are really intense. He wasn't sure if the lighting was addressed in the original approval or not but said that it stands out and bright to the extent that it was obliterating some of the fireworks and some of the laser show. Gardner has had a citizen complaint about their lights in the parking lot. They have some very high LED lights, which are literally flooding into the buildings across the street. He thinks that there is probably not much they can do other than ask if they can tone things down a bit at the deck.
- Commissioner Anderson: Said that it was interesting on the Waterfront Survey, she had several people share their unhappy thoughts about the Butler expansion. They were thrilled that the Task Force was taking a look.
- Commissioner LaChey: He said that when they were talking about a band at the back of what used to be Fish Camp, he found it interesting because he can hear the Butler band up on the hill by his house virtually every night. The upside to this is that this rule would apply to 149 Griffith if they put a band behind the restaurant is that the music has to stop at 11pm. He and his partner say that they are in town and it's part of that but to say that it is peaceful and quiet at night is absurd. There is a lot of noise that goes on, he hears Music in the Park at his house every Wednesday. It is part of living in a resort town, but he is glad that it stops at 11pm.

11. Adjournment:

Motion by Gaunt, second by Bagierek, to approve adjournment of the meeting. Upon voice vote, motion carried unanimously. Chair Manns adjourned at 8:27 pm.

Respectfully Submitted,

Sara Williams, City Deputy Clerk & DPW Administrative Assistant



MEMORANDUM

City of Saugatuck Planning Commission

Memo Date:	August 14, 2023	Meeting Date:	August 17, 2023
Request:	Site Plan Review	Applicant:	Brad Rottschafer
Address:	Sugar Hill Ct.	Project Name:	Vine Street Cottages
Parcel:	03-54-009-051 (12-18)	Plan Date:	November 7, 2012
Lot Size:	6.46 acres	Zoning District:	R-1 Peninsula West
Complete:	Yes	Recommendation:	Conditional Approval
Staff:	Ryan Cummins	Consultant:	David M. Jirousek, AICP

Overview

The applicant requests site plan approval for the overall Vine Street Cottages plan. This review is a comprehensive consideration of the project as a whole and a summary of each individual administrative and outside agency approval. The project involves seven (7) individual lots created through the City’s land division ordinance and served by a private street.

Background

Land Divisions. Two separate land division applications were approved administratively. Lots 3-6 were approved on May 2, 2023, and lots 1, 2, and 7 were approved on June 14, 2023. During the review of each land division application, all dimensional requirements for lots were confirmed (minimum lot area, minimum lot width, and compliant building envelopes).

Outside Agency Reviews. The 570-foot private street, Sugar Hill Court, was approved on November 14, 2019, and was constructed in 2021. The overall project was reviewed by the Michigan Department of Environment, Great Lakes, and Energy (EGLE) Water Resources Division and the Allegan County Health Department (SESC) prior to construction.

During the land division process, City staff coordinated with the Fire Department regarding the as-built conditions of the street and Fire Code compliance. The Fire Department noted several issues, and the applicant’s design engineers worked diligently to satisfy the concerns.

The Fire Department made the following recommendations:

- 1. No occupancy permits will be granted until asphalt paving is completed, inspected, and approved by the Fire District.*
- 2. Lots 3,4,5, and 6 will have fire suppression systems installed in accordance with NFPA 13D*

Buildings. While compliant building envelopes were noted during land division review, a zoning permit will be required for each building. During that review, City staff will confirm compliance with all dimensional and dwelling requirements, including but not limited to setbacks, allowable encroachments, lot coverage, floor area ratio, maximum height, minimum gross floor area, fence locations/height, driveways, accessory buildings, and parking. Further, the zoning permit applicant must secure approvals from all applicable City departments and outside agencies, including EGLE.

Site Plan Standards of Approval

The following standards for site plan review and approval apply to the project per Section 154.063. Findings related to each standard are provided for consideration by the Planning Commission.

- A. All elements of the site plan shall be harmoniously and efficiently organized in relation to topography, the size and type of lot, the character of adjoining property and the type and size of the buildings. The site will be so developed as not to impede the normal and orderly development or improvement of surrounding property for uses permitted in this chapter.*

Comment: Single-family developments are allowable and appropriate within the subject R-1 Peninsula West zoning district. The subject project is not anticipated to impact the development potential of abutting properties.

- B. The landscape shall be preserved in its natural state, insofar as practical, by removing only those areas of vegetation or making those alterations to the topography which are reasonably necessary to develop the site in accordance with the requirements of this chapter.*

Comment: Each building envelope is appropriate in relation to the lot size. Areas of disturbance are proposed to be minimized, and each individual building site will be considered against zoning requirements, topography, and other natural constraints.

- C. The site plan shall provide reasonable visual and sound privacy for all dwelling units located therein. Fences, walks, barriers and landscaping shall be used, as appropriate, to accomplish these purposes.*

Comment: As a single-family residential development where limits of disturbance must be minimized, the non-disturbed areas will provide adequate visual and sound privacy consistent with the standards and requirements for all dwellings in the City of Saugatuck.

D. All buildings or groups of buildings shall be arranged so as to permit necessary emergency vehicle access as required by the Fire Department.

Comment: As mentioned earlier in this report, Fire Department approval was secured. However, the final as-built conditions must be inspected and confirmed as compliant by the Fire Inspector.

E. There shall be provided a pedestrian circulation system which is separated from the vehicular circulation system. In order to ensure public safety, special pedestrian measures, such as crosswalks, crossing signals and other such facilities may be required in the vicinity of schools, playgrounds, local shopping areas and other uses which generate a considerable amount of pedestrian traffic. All federal, state, and local barrier free requirements shall be met.

Comment: Based on the size of the development and the number of lots, sidewalks and pathways are not proposed. The development is not in the vicinity of uses which generate considerable traffic. Rather, it is proposed in a quiet residential area.

F. The arrangement of public or common ways for vehicular and pedestrian circulation shall be connected to existing or planned streets and pedestrian or bicycle pathways in the area. Streets and drives which are part of an existing or planned street pattern serving adjacent development shall be of a width appropriate to the traffic volume they will carry and shall have a dedicated right-of-way equal to that specified in the City's land use plan.

Comment: This standard is not applicable as there are no existing or planned streets and pedestrian or bicycle pathways in the area.

G. All streets shall be developed in accordance with city specifications, unless developed as a private road.

Comment: Sugar Hill Court was previously approved in accordance with City and Fire Department specifications and requirements. However, final as-built conditions must be inspected and confirmed as compliant.

H. Appropriate measures shall be taken to ensure that removal of surface waters will not adversely affect neighboring properties or the public storm drainage system. Provisions shall be made to accommodate storm water, prevent erosion and the formation of dust. The use of detention/retention ponds may be required. Surface water on all paved areas shall be collected at intervals so that it will not obstruct the flow of vehicular or pedestrian traffic, create puddles in paved areas or create erosion problems.

Comment: Individual building sites will be graded to ensure adequate control of stormwater, and measures will be taken to reduce the potential for erosion and other impacts of runoff. Each site will require EGLE and Soil Erosion and Sedimentation Control permits.

- I. All loading and unloading areas and outside storage areas, including areas for the storage of trash, which face or are visible from residential districts or public thoroughfares, shall be screened by an opaque wall or landscaped screen not less than six feet in height. (See §§ 154.142 through 154.144).*

Comment: This standard is not applicable to single-family residential developments.

- J. Exterior lighting shall be arranged so that it is deflected away from adjacent properties and so that it does not impede the vision of traffic along adjacent streets. Flashing or intermittent lights shall not be permitted.*

Comment: Sugar Hill Court is not proposed to incorporate streetlights. Individual building lighting is anticipated to be of a standard residential specification.

- K. In approving the site plan, the Planning Commission may recommend that a bond or other financial guarantee of ample sum be furnished by the developer to ensure compliance for such requirements as drives, walks, utilities, parking, landscaping and the like (see § 154.173).*

Comment: A financial guarantee is not necessary. Building occupancy permits will not be issued for individual lots until the City and Fire Department confirm that the as-built conditions of Sugar Hill Court are compliant.

Recommendation

Based on the findings in this report, all standards of approval have been satisfied. Approval is recommended with the following conditions:

1. Zoning and building permits shall be issued for each site in accordance with the City's standard administrative review procedures and applicable zoning requirements.
2. No occupancy permits will be granted until asphalt paving is completed, inspected, and approved by the Fire District.
3. Lots 3,4,5, and 6 will have fire suppression systems installed in accordance with NFPA 13D.

July 12, 2023

Mr. Ryan Cummins
Director of Planning and Zoning
City of Saugatuck
102 Butler Street PO Box 86
Saugatuck, MI 49453

Re: Sugar Hill Site Plan Review

Dear Mr. Cummins,

Please find attached the application and accompanying documents for Planning Commission Site Plan Review. These materials are being submitted in response to Attorney Witte's May 22nd email, which states "site plan review pursuant to Section 154.060(D)" is required in order to secure building permits for the construction of seven (7) by-right single-family detached homes.

Section 154.060 (D) reads: "The Zoning Administrator may require a formal site plan review for any other use or activity not required to go through the formal site plan review process based on unique circumstances involving the use or structure in question and identified as part of the record."

Accompanying materials include:

- Site Plan Review application.
- Documentation of the approved and constructed private street, including water and sewer laterals, having been reviewed and approved by the City's Engineer of Record and the Fire Chief.
- Approved and recorded lot splits for seven (7) residential lots pursuant to the requirements of the Michigan Land Division Act, and the City of Saugatuck's Zoning Ordinance.
- Site plans for each of the seven (7) lots which identify the building envelopes for the purposes of setbacks, parking, and access. In addition, the site plans reflect where the single-family homes will be built to avoid places of environmental concern.

It is hoped that the unique circumstances that require the review of residential uses and single-family homes can be reviewed by the Planning Commission at their meeting on August 17th. Should you have any questions or require additional information, please do not hesitate to contact me at: schulzs@progressiveae.com or 616.822.1020.

Sincerely,



Suzanne M. Schulz, FAICP
Urban Planning Practice Leader

Application Fee: \$750
Escrow Deposit: \$2,000



Site Plan Review Application

City of Saugatuck Zoning Code: https://codelibrary.amlegal.com/codes/saugatuck/latest/saugatuck_mi/0-0-0-4355

LOCATION INFORMATION

Address 291,292,293,296, 297, 298, 301 Sugar Hill Ct

Parcel Number 03-54-009-051-12; 13; 14; 15; 16; 17; 18

APPLICANTS INFORMATION

Name Mr. Brad Rottschafer Address / PO Box 2050 Celadon Dr NE Ste B

City Grand Rapids State MI Zip 49525 Phone 616.340.5366

Interest In Project Owner E-Mail brad@mosaicproperties.com

I agree the statements made in this application and submitted plans are true, and if found not to be true, any zoning permit that may be issued may be void. Further, I agree to comply with the conditions and regulations provided with any permit that may be issued. I understand that this application will not be processed until it is deemed complete and the required fees and escrow deposit (if applicable) are paid. Further, I agree the permit that may be issued is with the understanding all applicable sections of the City of Saugatuck Zoning Ordinance and all other applicable laws, ordinances and regulations will be complied with. Finally, I understand this is a zoning permit application (not a permit) and that a zoning permit, if issued, does not include any representation or conveyance of rights in any other statute, building code, fire code, deed restriction or other property rights.

Signature _____

Date July 6, 2023

OWNERS INFORMATION (IF DIFFERENT FROM APPLICANTS)

Name same Address / PO Box _____

City _____ State _____ Zip _____ Phone _____

E-Mail _____

I hereby authorize the applicant listed above to make this application for proposed work as my agent. I agree the statements made in this application and submitted plans are true, and if found not to be true, any zoning permit that may be issued may be void. Further, I agree to comply with the conditions and regulations provided with any permit that may be issued. Further, I agree the permit that may be issued is with the understanding all applicable sections of the City of Saugatuck Zoning Ordinance and all other applicable laws, ordinances and regulations will be complied with. I additionally grant City of Saugatuck staff or authorized representatives thereof access to the property to inspect conditions, before, during, and after the proposed work is completed. Finally, I understand this is a zoning permit application (not a permit) and that a zoning permit, if issued, does not include any representation or conveyance of rights in any other statute, building code, fire code, deed restriction or other property rights.

Signature _____

Date _____

CONTRACTORS/ DEVELOPERS INFORMATION (UNLESS PROPOSED WORK IS TO BE DONE BY THE PROPERTY OWNER)

Name Properties to be sold individually to home owners Contact Name _____

Address / PO Box _____ City _____

State _____ Zip _____ Phone _____ Fax _____

E-Mail _____

License Number _____ Expiration Date _____

PROPERTY INFORMATION

Depth _____ Width _____ Size _____ Zoning District _____ Current Use _____

Check all that apply:

Waterfront _____ Historic District _____ Dunes _____ Vacant _____

PROJECT DESCRIPTION (ATTACH MORE SHEETS IF NECESSARY)



SITE PLAN REQUIREMENTS (SECTION 154.061)

A) Applications for preliminary site plan approval shall consist of the following information unless waived by the Zoning Administrator.

Y N NA

- Property dimensions
- Significant vegetation
- Water courses and water bodies, including human-made surface drainage ways
- Existing public right-of-way, pavements and/or private easements
- Existing and proposed uses, buildings, structures and parking areas
- Zoning classification of abutting properties
- The name, address and telephone number of the person and firm who prepared the site plan, and the date on which it was prepared
- A north arrow

B) Applications for final site plan approval shall consist of the following information unless waived by the Zoning Administrator. One (1) paper copy of a final site plan (no greater than 11" x 17") and one (1) digital copy, at a scale of not less than one inch equals ten feet, shall include:

Y N NA

- Dimensions of property of the total site area,
- Contours at 2-foot intervals
- Locations of all buildings
- Other structures on adjacent properties within 100 feet of the property, including those located across the street from the property
- Parking areas
- Driveways
- Required and proposed building setbacks
- Location of abutting streets and proposed alignment of streets, drives and easements serving the development, including existing rights-of-way and pavement widths;
- Location, screening, dimensions and heights of proposed buildings and structures, such as trash receptacles, utility pads and the like, including accessory buildings and uses, and the intended uses thereof. Rooftop or outdoor appurtenances should also be indicated, including proposed methods of screening the equipment, where appropriate;
- Location and dimensions of parking areas, including computations of parking requirements, typical parking space dimensions, including handicapped spaces, and aisle widths;
- Proposed water supply and wastewater systems locations and sizes;
- Proposed finished grades and site drainage patterns, including necessary drainage structure. Where applicable, indicate the location and elevation of the 100-year floodplain;
- Proposed common open spaces and recreational facilities, if applicable;
- Proposed landscaping, including quantity, size at planting and botanical and common names of plant materials;
- Signs, including type, locations and sizes;



Site Plan Review Application

- Location and dimensions of all access drives, including driveway dimensions, pavement markings, traffic-control signs or devices, and service drives;
- Exterior lighting showing area of illumination and indicating the type of fixture to be used.
- Elevations of proposed buildings drawn to an appropriate scale shall include:
 1. Front, side and rear views;
 2. Heights at street level, basement floor level, top of main floor, top of building, and if applicable, height above water level; and
 3. Exterior materials and colors to be used.
- Location, if any, of any views from public places to public places across the property;
- Location, height and type of fencing; and
- The name and address of the person and firm who drafted the plan, the seal of the professional responsible for the accuracy of the plan (licensed in the state) and the date on which the plan was prepared.

STANDARDS FOR APPROVAL (SECTION 154.063)

Please respond to each of the following questions by explaining how the proposed development will meet the standards for site plan approval:

*note: not all questions will apply for all requests.

(1) How will the elements of the site plan shall be harmoniously and efficiently organized in relation to topography, the size and type of lot, the character of adjoining property and the type and size of the buildings? Will the site be so developed as not to impede the normal and orderly development or improvement of surrounding property for uses permitted in this chapter? _____

(2) How will the landscape be preserved in its natural state, insofar as practical, by removing only those areas of vegetation or making those alterations to the topography which are reasonably necessary to develop the site in accordance with the requirements of this chapter? _____

(3) How will the site plan provide reasonable visual and sound privacy for all dwelling units located therein? How will fences, walks, barriers and landscaping shall be used, as appropriate, be used to accomplish these purposes? _____

(4) How will all buildings or groups of buildings be arranged so as to permit necessary emergency vehicle access as required by the Fire Department? _____

(5) How will there be provided a pedestrian circulation system which is separated from the vehicular circulation system. In order to ensure public safety, special pedestrian measures, such as crosswalks, crossing signals and other such facilities may be required in the vicinity of schools, playgrounds, local shopping areas and other uses which generate a considerable amount of pedestrian traffic? (All federal, state and local barrier free requirements shall be met.) _____



Site Plan Review Application

- (6) How will the arrangement of public or common ways for vehicular and pedestrian circulation be connected to existing or planned streets and pedestrian or bicycle pathways in the area? Will streets and drives which are part of an existing or planned street pattern serving adjacent development be of a width appropriate to the traffic volume they will carry and shall have a dedicated right-of-way equal to that specified in the City's land use plan?

- (7) How will all streets be developed in accordance with city specifications, unless developed as a private road?

- (8) How will appropriate measures be taken to ensure that removal of surface waters will not adversely affect neighboring properties or the public storm drainage system? Will provisions be made to accommodate storm water, prevent erosion and the formation of dust? The use of detention/retention ponds may be required. Surface water on all paved areas shall be collected at intervals so that it will not obstruct the flow of vehicular or pedestrian traffic, create puddles in paved areas or create erosion problems. _____

- (9) How will all loading and unloading areas and outside storage areas, including areas for the storage of trash, which face or are visible from residential districts or public thoroughfares, shall be screened by an opaque wall or landscaped screen not less than six feet in height? (See §§ [154.142](#) through [154.144](#)).

- (10) How will exterior lighting be arranged so that it is deflected away from adjacent properties and so that it does not impede the vision of traffic along adjacent streets? Flashing or intermittent lights shall not be permitted.

PROJECT BACKGROUND

A pandemic and a Planning Director ago, the Vine Street Cottages project began as a partnership between Dune Grass, LLP (Paul Heule) and Mosaic in 2016. Mosaic became the sole owner in 2018. The extents of this project background is somewhat unusual for a Site Plan Review application but we feel that it is necessary to detail the various steps that have been taken to develop the site so that the Planning Commission is able to understand how we got here.

Conversations with City staff began in 2018. Mosaic proceeded at staff's direction to appear before the Planning Commission in June 2018. In Director Cindy Osman's memo to the Planning Commission, she noted that "the ordinance was amended so that these approvals could be granted administratively." Still, she wanted to bring it to the Planning Commission for site plan review. (See **Exhibit A**). Our recollection is that the item was tabled by the Planning Commission due to some confusion regarding the relevance of the review given that the land division was allowed by right.

Director Osman determined that the project did not need to return to the Planning Commission because she did have administrative approval authority to approve the site plan. The item was pulled from the Planning Commission's docket. We were directed to undergo engineering review with the City Engineer for utilities and the private street, secure Fire Department approval, obtain Critical Dunes permits, and submit a security deposit to cut into Vine Street for utilities; aligning with the suggested conditions of approval found on Page 4 of the Planning Commission memo. For the past five years we have been working to secure the necessary approvals in accordance with this direction.

It is our belief that all due diligence has been fulfilled. A private street, Sugar Hill Court, was reviewed, approved, and then constructed. Seven residential lots were reviewed, approved, and then recorded. We are now ready to proceed with building permits for new single-family homes.

Private Street

As directed, we proceeded to work on securing approvals for the private street. Correspondence occurred between Ms. Osman, Engineer Jack Barr (Nederveld), and the City's Engineer Jonathan Moxey (Fleis & VandenBrink). City Manager Harrier and Fire Chief Greg Janik were cc'd on Fleis & VandenBrink memos (see **Exhibit B**). Per the Engineer's requirements, a Critical Dunes permit needed to be secured, a Soil Erosion and Sedimentation Control (SESC) permit, and Fire Department review was undertaken. These all were accomplished, and the private road was constructed in the Summer of 2021 and completed in the Fall of that same year.

- Approved private street construction documents are in **Exhibit C**. The table on the right illustrates the engineering timeline.
- The Michigan Department of Environment, Great Lakes, and Energy (EGLE) Water Resources Division issued a Critical Dunes permit to "construct a new approximately 570-foot-long private road with underground utilities including water, sewer, electric, gas, cable and telephone to access seven residential building lots" on August 31, 2020 (see **Exhibit D**).
- An SESC permit was issued by the Allegan County Health Department for the construction of Sugar Hill Court on June 1, 2018 (see **Exhibit E**) for the construction of the private street.

REVISIONS:

Title: Submittal to KLSWA	V. Date: 03.19.19
Drawn: DTP	Checked: JB
	S. Date: 03.19.19
Title: Review	V. Date: 04.29.19
Drawn: DTP	Checked: JB
	S. Date: 04.29.19
Title: S.E.S.C. Permit	V. Date: 06.06.19
Drawn: DTP	Checked: JB
	S. Date: 06.06.19
Title: Fire Chief Review	V. Date: 04.23.19
Drawn: DTP	Checked: JB
	S. Date: 04.23.19
Title: City Engineer Review	V. Date: 04.17.19
Drawn: DTP	Checked: JB
	S. Date: 04.17.19
Title: MDEQ Review	V. Date: 07.15.19
Drawn: DTP	Checked: JB
	S. Date: 07.15.19
Title: City Engineer	V. Date: 08.12.19
Drawn: BEM	Checked: JB
	S. Date: 08.12.19
Title: Fire Chief	V. Date: 10.15.19
Drawn: BEM	Checked: JB
	S. Date: 10.15.19
Title: Developer	V. Date: 12.10.19
Drawn: DTP	Checked: JB
	S. Date: 12.10.19
Title: For Construction	V. Date: 07.15.20
Drawn: BEM	Checked: JB
	S. Date: 07.15.20

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- The Fire Chief issued a letter approving the private street and access to the individual parcels on November 14, 2019. Correspondence states: “You have approval from the fire department to begin construction for the Vine Street Cottages Development in Saugatuck, MI if you are in agreement with the above-mentioned items” (see **Exhibit F**). A turn-around, as specified by the Fire Department, was constructed to facilitate the ability of fire trucks to maneuver on the private street and assure compliance with the International Fire Code.

Lots

Although ten lot splits were discussed in the original request, during the design process the number of lots was decreased to seven. The applicant approached the City regarding finalizing the seven lots, as envisioned during the prior site plan review process and private road approval, this past March. The applicant’s intent was to begin to accept purchase agreements and commence closings on the lots.

Additional information was requested by the City regarding the parent parcel and proposed land divisions on March 24, 2023. At the City’s request, title searches were conducted and information regarding deeds and divisions supplied. A memo was prepared by Nederveld’s Director of Surveying that described the lot split methodology and the number of potential allowable divisions that could occur with the property on May 5th (see **Exhibit G**).

LOT. A description of land as identified on a recorded plat, a defined area of land with a legal description and parcel identification number, or a unit within a condominium subdivision.
~ Saugatuck Zoning Ordinance, Section 154.005 Definitions

The lot split request comported with previously submitted and approved plans (**Exhibit H**). Lot split applications were then reviewed and approved by the City. The seven lots were formally recorded on June 28, 2023 (**Exhibit I**). These lots meet all zoning requirements of the R-1 PW Zone District and have a legal description and parcel identification number. The desired use of the property is for by-right single-family homes. There currently are no structures on any of the lots.

Request

As directed by the Planning Director and the City’s legal counsel, this site plan review application is being submitted so that building permits may be secured to build seven homes.

SITE PLAN REVIEW STANDARDS

- 1) *How will the elements of the site plan be harmoniously and efficiently organized in relation to topography, the size and type of lot, the character of adjoining property and the type and size of the buildings? Will the site be developed as not to impede the normal and orderly development or improvement of surrounding property for uses permitted in this chapter?*

Single-family detached dwellings are permitted uses within the R-1 PW zone district. These single-family home sites meet the minimum lot size and lot width requirements in the PW zone district, are connected to public water and sewer, and have access via an existing private street named Sugar Hill Court. All required setbacks can be met, as demonstrated by the building envelopes shown on the site plan (see **Exhibit H**). Once the actual building footprint of each house is known on its own lot, then maximum lot coverage can be calculated. Review will also occur on an individual basis to ensure compliance with the Zoning Ordinance during the building permit process. Home sites will be sensitively located in accordance with the topography and critical dune requirements.

Recorded lots		Minimum lot area	Minimum lot width	Front Setback	Side Setback	Rear Setback
		21,780 sq ft	100 ft	25 ft	10 ft	25 ft
Lot 1	291 Sugar Hill Ct	21,784 sq ft	151'	Building envelope complies		
Lot 2	293 Sugar Hill Ct	22,140 sq ft	212'	Building envelope complies		
Lot 3	297 Sugar Hill Ct	21,914 sq ft	104'	Building envelope complies		
Lot 4	301 Sugar Hill Ct	21,960 sq ft	159'	Building envelope complies		
Lot 5	298 Sugar Hill Ct	23,268 sq ft	126'	Building envelope complies		
Lot 6	296 Sugar Hill Ct	22,112 sq ft	132'	Building envelope complies		
Lot 7	292 Sugar Hill Ct	30,151 sq ft	339'	Building envelope complies		

- 2) *How will the landscape be preserved in its natural state, insofar as practical, by removing only those areas of vegetation or making those alterations to the topography which are reasonably necessary to develop the site in accordance with the requirements of this chapter?*

The only area to be disturbed on each lot is that area where a single-family home is to be constructed. Steep slopes and the toe of the slope are in an area of non-disturbance. Individual plans for each lot and home have been provided to better illustrate the areas of non-disturbance, how slopes will be protected (see Sheet 4 of 7 for each lot), and additional detail on anticipated grading. (See **Exhibit J**). Two applications were submitted to EGLE for critical dune permitting to ensure that the prepared information and proposed home sites would be acceptable. EGLE issued permit approvals on June 3, 2022 for Lot 5 (298 Sugar Hill Ct) and on March 10, 2023 for Lot 6 (296 Sugar Hill Ct). (See **Exhibit K**).

- 3) *How will the site plan provide reasonable visual and sound privacy for all dwelling units located therein? How will fences, walks, barriers and landscaping be used, as appropriate, to accomplish these purposes?*

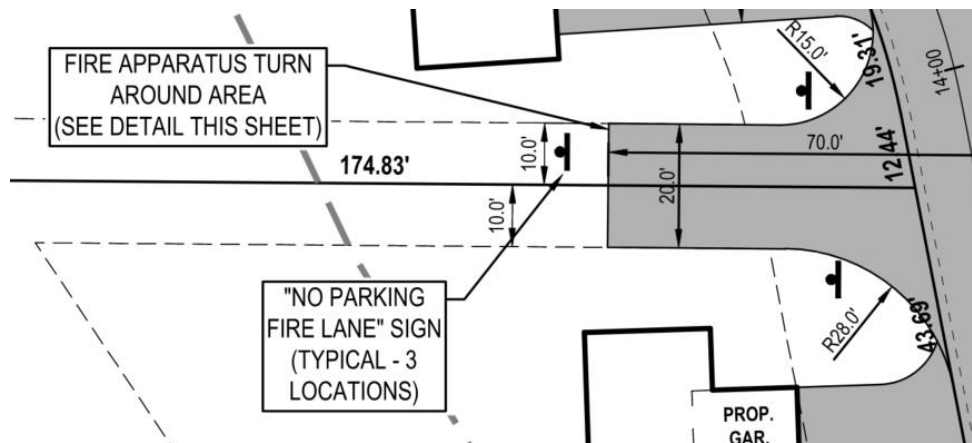
Steep slopes and wooded areas provide privacy from surrounding properties. The topography of the overall site is mostly lower than abutting properties; with the crest of the West and East dunes being approximately one-story higher than the proposed home sites. Each parcel is over a half-acre in size. Submitted site plans for each site demonstrate where walks, patios, and driveways will be located. Landscaping must be minimal to not disrupt the dune environment. Any areas of disruption will be restored with appropriate native vegetation, per the required EGLE permit.

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- 4) *How will buildings or groups of buildings be arranged so as to permit necessary emergency vehicle access as required by the Fire Department?*

The Fire Chief issued a letter approving the private street and access to the individual parcels on November 14, 2019 (**Exhibit F**). Correspondence states: "You have approval from the fire department to begin construction for the Vine Street Cottages Development in Saugatuck, MI if you are in agreement with the above-mentioned items." A turn-around, as specified by the Fire Department, was constructed to facilitate the ability of fire trucks to maneuver on the private street and assure compliance with the International Fire Code.



- 5) *How will a pedestrian circulation system which is separated from the vehicular circulation system be provided in order to ensure public safety, special pedestrian measures, such as crosswalks, crossing signals and other such facilities may be required in the vicinity of schools, playgrounds, local shopping areas and other uses which generate a considerable amount of pedestrian traffic?*

Pedestrian and vehicular traffic generated by the seven single-family homes will be minimal. There is a hiking trail nearby the interfaces minimally, if at all, with vehicular traffic. There is no need for special pedestrian measures such as crossing signals and sidewalks given that this site is not in the vicinity of schools, playgrounds, and local shopping areas where pedestrian traffic would be generated. A 4' wide walking trail easement is planned at the end of Sugar Hill Court.

- 6) *How will the arrangement of public or common ways for vehicular and pedestrian circulation be connected to existing or planned streets and pedestrian or bicycle pathways in the area? Will streets and drives which are part of an existing or planned street pattern serving adjacent development be of a width appropriate to the traffic volume they will carry and have a dedicated right-of-way equal to that specified in the city's land use plan?*

Sugar Hill Court, the private street, is a dead-end private street. This location is not part of an existing or planned street pattern to serve adjacent development.

- 7) *How will all streets be developed in accordance with city specifications, unless developed as a private road?*

Sugar Hill Court is an existing private street that has been approved by the Fire Department, EGLE, and City of Saugatuck engineers.

- 8) *How will appropriate measures be taken to ensure that removal of surface waters will not adversely affect neighboring properties or the public storm drainage system? Will provisions be made to accommodate storm water, prevent erosion and the formation of dust? The use of*

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detention/retention ponds may be required. Surface water on all paved areas shall be collected at intervals so that it will not obstruct the flow of vehicular or pedestrian traffic, create puddles in paved areas or create erosion problems.

As stated earlier, permitting by EGLE is required. As part of their permit issuance process EGLE will certify “that the activities authorized under this permit are in compliance with State Coastal Zone Management Program and certifies without conditions under the Federal Clean Water Act, Section 401 that the discharge from the activities authorized under this permit will comply with Michigan’s water quality requirements in Part 31, Water Resources Protection, of the NREPA and associated administrative rules.” Allegan County will also issue a Soil Erosion and Sedimentation Control (SESC) permit to develop individual home sites. Each home site will be required to properly manage stormwater and control erosion in accordance with submitted permit materials to the appropriate authorities.

- 9) *How will all loading and unloading areas and outside storage areas, including areas for the storage of trash, which face or are visible from residential districts or public thoroughfares, be screened by an opaque wall or landscaped screen not less than six feet in height?*

This is a single-family neighborhood comprised of seven lots. No loading areas are proposed. Refuse collection will be in standard carts. Anticipated parking areas are shown on the site plan.

- 10) *How will exterior lighting be arranged so that it is deflected away from adjacent properties and so that it does not impede the vision of traffic along adjacent streets?*

This is a low-density single-family neighborhood comprised of seven lots. No street lighting is proposed. Only typical lighting found on a home will be evident.

Exhibit A



MEMORANDUM

TO: Planning Commission
City of Saugatuck

FROM: Cindy Osman, Planning and Zoning

DATE: June 21, 2018

RE: Parcel number 0357-009-051-10 Land division application.

VINE STREET COTTAGES LLC has applied for site plan review to develop a private street and to divide the parcel shown on the attached plans into 10 parcels for 10 single family homes. The parcel is located in the critical dunes and will require approval by the DEQ. This property is located in the PW Zone District. The purpose of this memo is to provide a review of the standards for this site plan review, and how the ordinance relates to this application.

Background: The previous version of the Zoning Ordinance required formal site plan review for land division and for construction in the critical dunes. In order to streamline the process, the ordinance was amended so that these approvals could be granted administratively. However, we did reserve the right for the Planning Commission to conduct a site plan review for unusual or unique applications through the formal site plan review process. This application is exactly that. (154.060)

It is important to note that this is not an application for a PUD or for a site condo, but an application for a land division allowed by right that results in the ability to sell the resulting parcels on a fee simple basis. It is essential that this land division be open to public comment to avoid any appearance of impropriety or “back door” dealing.

Land Division Project Description: This project is regulated by the zoning ordinance and the State Land Division Act. Of the two, the State Statute is fairly complicated. It requires a look back to the status of the property as it existed in 1997; calculate the number of permitted splits based on acreage, exempt splits, again based on acreage, and bonus splits, based on shape. These permitted splits can be deeded to a resulting parcel. In this case, the resulting parcel 0357-009-051-10 will be allowed 11 splits under the Land Division Act.

Under the requirements of the Zoning Ordinance, the size of the resulting parcels is required to have a minimum area of 21,780 square feet, to be connected to public water and sewer, and have access to a public or private street. I have not analyzed the height of the buildings on the attached drawing as this will be site specific, and done on an individual basis.

102 Butler Street • P.O. Box 86 • Saugatuck, MI 49453
Phone: 269-857-2603 • Website: www.saugatuckcity.com

Completeness of Submittal: All requested materials have been submitted. The Fire Department did request some additional details for the private street.

Standards for Approval: The standards of Section 154.063 will apply. These standards are as follows:

(A) *All elements of the site plan shall be harmoniously and efficiently organized in relation to topography, the size and type of lot, the character of adjoining property and the type and size of the buildings. The site will be so developed as not to impede the normal and orderly development or improvement of surrounding property for uses permitted in this chapter.*

Comment: The home sites all meet the minimum size requirements for the PW zone district, be connected to public water and sewer, and will have access via a private street. Therefore, the Planning Commission may find that this standard is met.

(B) *The landscape shall be preserved in its natural state, insofar as practical, by removing only those areas of vegetation or making those alterations to the topography which are reasonably necessary to develop the site in accordance with the requirements of this chapter.*

Comment: The project is subject to review and approval by the DEQ to protect the critical dunes including the vegetation on the site. Therefore planning commission may find that this standard is met.

(C) *The site plan shall provide reasonable visual and sound privacy for all dwelling units located therein. Fences, walks, barriers and landscaping shall be used, as appropriate, to accomplish these purposes.*

Comment: There are steep slopes and wooded areas that will provide privacy from surrounding properties. Each site is over ½ acre in size, to enhance the privacy. Therefore planning commission may find that this standard is met.

(D) *All buildings or groups of buildings shall be arranged so as to permit necessary emergency vehicle access as required by the Fire Department.*

Comment: The Fire Department has requested details on the private street to assure compliance with the International Fire Code, and the Planning Commission should condition any approval on Fire Department approval.

(E) *There shall be provided a pedestrian circulation system which is separated from the vehicular circulation system. In order to ensure public safety, special pedestrian measures, such as crosswalks, crossing signals and other such facilities may be required in the vicinity of schools, playgrounds, local shopping areas and other uses which generate a considerable amount of pedestrian traffic. All federal, state and local barrier free requirements shall be met.*

Comment: Pedestrian and vehicular traffic generated by these 10 homes will be minimal. There is a hiking trail nearby that interfaces minimally, if at all, with vehicular traffic. Therefore planning commission may find that this standard is met.

(F) *The arrangement of public or common ways for vehicular and pedestrian circulation shall be connected to existing or planned streets and pedestrian or bicycle pathways in the area.*

Streets and drives which are part of an existing or planned street pattern serving adjacent development shall be of a width appropriate to the traffic volume they will carry and shall have a dedicated right-of-way equal to that specified in the city's land use plan.

Comment: The proposed private street, yet unnamed, will be a "dead end" street with no outlet. Therefore planning commission may find that this standard is met.

(G) All streets shall be developed in accordance with city specifications, unless developed as a private road.

Comment: This will be a private street, therefore planning commission may find that this standard is met.

(H) Appropriate measures shall be taken to ensure that removal of surface waters will not adversely affect neighboring properties or the public storm drainage system. Provisions shall be made to accommodate storm water, prevent erosion and the formation of dust. The use of detention/retention ponds may be required. Surface water on all paved areas shall be collected at intervals so that it will not obstruct the flow of vehicular or pedestrian traffic, create puddles in paved areas or create erosion problems.

Comment: The applicant is proposing an infiltration collection system to collect and direct storm water discharge. Therefore, the Planning Commission may find that this standard is met.

(I) All loading and unloading areas and outside storage areas, including areas for the storage of trash, which face or are visible from residential districts or public thoroughfares, shall be screened by an opaque wall or landscaped screen not less than six feet in height. (See §§ 154.142 through 154.144).

Comment: No loading areas are proposed, the collection of refuse will be standard carts only. Therefore planning commission may find that this standard is met.

(J) Exterior lighting shall be arranged so that it is deflected away from adjacent properties and so that it does not impede the vision of traffic along adjacent streets. Flashing or intermittent lights shall not be permitted.

Comment: No street lighting is proposed, only typical single family lighting will be installed. Therefore planning commission may find that this standard is met.

(K) In approving the site plan, the Planning Commission may recommend that a bond or other financial guarantee of ample sum be furnished by the developer to ensure compliance for such requirements as drives, walks, utilities, parking, landscaping and the like (see § 154.173).

Comment: The project will require some inspections and reviews by the City Engineer. Therefore staff recommends an escrow account deposit of \$5,000 for this project.

Recommendation: Staff can recommend approval to develop a private street, and the division into parcels for 10 single family homes at parcel number 03-57-009-015-10, if the Planning Commission finds that the standards are met. The following motion may be used:

I hereby move to (approve/deny) the application to construct a private street, and divide the property into 10 lots as shown on the attached application with the following conditions;

- 1. That the Fire Department reviews and approves the street for compliance with the International Fire Code, including the street name,*
- 2. All required DEQ permits are in place,*
- 3. The building represented in the application are not included in this approval/denial,*
- 4. That water and sewer and other utilities are installed in accordance with the specifications of the authority having jurisdiction,*
- 5. That an escrow account be established with the City in the amount of \$5,000, and;*
- 6. The above staff report as discussed is to be incorporated into the record and is adopted as part of our findings of fact.*

§ 154.060 PURPOSE AND SCOPE.

(A) It is the purpose of this subchapter to require formal site plan review approval for certain buildings, structures and uses that can be expected to have a significant impact on natural resources, traffic patterns, adjacent parcels and the character of future development. The regulations contained in this subchapter are intended to promote safe and convenient traffic movement, both within a site and in relation to an access street, harmonious relationships with adjacent sites, and conservation of natural amenities and resources.

(B) Uses subject to formal site plan review. Formal site plan review by the Planning Commission shall be required for the following:

- (1) Residential subdivisions;
- (2) Condominium subdivisions;
- (3) All new non-residential principal structures;
- (4) All expansions to existing nonresidential principal structures; and
- (5) All PUD developments (see also § 154.110).
- (6) Except as provided herein, multi-family residential developments.

(C) All uses and structures not subject to formal site plan review shall be subject to administrative review by the Zoning Administrator for conformance with the zoning ordinance.

(D) The Zoning Administrator may require a formal site plan review for any other use or activity not required to go through the formal site plan review process based on unique circumstances involving the use or structure in question and identified as part of the record.

(E) Planned unit developments, developments of sites greater than two acres in area and developments to occur in phases are subject to formal site plan review and approval by the City Council. (Ord. passed 6-24-1996; Am. Ord. 02-02, passed 2-11-2002; Am. Ord. passed 9-8-2003; Am. Ord. 091123-1, passed 11-23-2009; Am. Ord. 170626-2, passed 6-26-2017)

Statutory reference:

Site plans, see M.C.L.A. § 125.3501

Exhibit B



MEMO

To: Cindy Osman, Zoning Administrator
City of Saugatuck

From: Jonathan W. Moxey, PE
Fleis & VandenBrink

CC: Daryl VanDyke, KLSWA
Greg Janik, Fire Chief
Kirk Harrier, City Manager

Date: April 17, 2019

Re: Vine Street Cottages – Site Plan Review

We have reviewed the plan sheets (C-201, C-205, C-300, and C-400) dated March 19, 2019 for the project referenced above and have the following comments:

1. The developer will need to obtain a Critical Dunes permit from the Michigan Department of Environmental Quality / US Army Corps of Engineers for the project. A copy will be required for final plan approval.
2. The developer will need to obtain a soil erosion and sedimentation control permit from the Allegan County Environmental Health Division. A copy will be required for final plan approval.
3. The road should be labeled “private” in the plans. We recommend that the developer create a maintenance agreement to be recorded after review by the City Attorney. This is recommended to prevent future property owners from assuming that the City is responsible for maintenance and repair of the private road.
4. When Vine Street was reconstructed several years ago, a narrow cross section (7.5' lanes + 1' valley gutters) was utilized to satisfy MDEQ/USACoE Critical Dunes concerns. At the time, Vine Street only served 5 homes, and the limited width did not cause functional problems. The ongoing Frederick Street project will be adding 4 parcels. The Vine Street Cottages project is proposing another 7. The City should consider the potential for functional limitations associated with this project.
5. The Fire Chief should review the proposed road layout for truck access & maneuverability.
6. A road profile illustrating the centerline grade, underground utilities, etc. is required.
7. A set of leach basins should be installed just outside the Vine Street right of way to reduce the increase in runoff of the public storm sewer on Vine Street.

-
8. An existing unimproved trail crosses the northeast corner of the proposed development, impacting lots 3 and 4. City staff should review the ownership/function of the trail to ascertain whether this presents any accessibility/connectivity challenges.
 9. Construction drawings for the utilities must be completed to industry standards, including plans and profiles along with technical specifications.
 10. Public watermain needs to be provided of the appropriate size with properly spaced fire hydrants. The developer will be responsible for obtaining the MDEQ permit for water system construction once plans have been approved by the City and KLSWA.
 11. Sizes and connection details need to be provided for the water services and sanitary forcemains.
 12. The seven grinder pumps and their forcemains need to be labeled as privately owned on the drawings.
 13. The 20-foot easement shown may not be sufficient width for utility separation and future access. Increasing the width is recommended.
 14. Details for the proposed fire hydrant on Vine Street need to be provided.
 15. A cross section needs to be provided for the Vine Street repair. It needs to include a minimum of 12 inches Class II subbase, 8 inches 22A aggregate base and 3 inches of 13A asphalt.
-
-



July 30, 2019

Ms. Cindy Osman
City of Saugatuck
102 Butler Street
Saugatuck, MI 49453

RE: Vine Street Cottages; Site Plan Review - *Revisions*
City of Saugatuck, Allegan County, Michigan

Dear Ms. Osman:

Enclosed, along with this cover letter, please find two (2) sets of *revised* plans being submitted your review and approval for the Vine Street Cottages project.

Revisions have been made on behalf of the Fleis & VandenBrink review letter dated April 17, 2019 and the Saugatuck Township Fire Department review letter dated April 23, 2019 and include the following:

Fleis & VandenBrink Comments:

1. The developer will need to obtain a Critical Dunes permit from the Michigan Department of Environmental Quality/US Army Corps of Engineers for the project. A copy will be required for final plan approval.
 - *A critical dune permit application has been submitted and is in the review process with the State.*
2. The developer will need to obtain a soil erosion and sedimentation control permit from the Allegan County Environmental Health Division. A copy will be required for final plan approval.
 - *A soil erosion control permit has been obtained. A copy is attached.*
3. The road should be labeled "private" in the plans. We recommend that the developer create a maintenance agreement to be recorded after review by the City Attorney. This is recommended to prevent future property owners from assuming that the City is responsible for maintenance and repair of the private road.
 - *Labeling on the road as private has been added to the plans. A operation and maintenance agreement for the private road is proposed once we receive all plan approvals and prior to selling any lots.*

4. When Vine Street was reconstructed several years ago, a narrow cross section (7.5' lanes + 1' valley gutters) was utilized to satisfy MDEQ/USACoE Critical Dunes concerns. At the time, Vine Street only served 5 homes, and the limited width did not cause functional problems. The ongoing Frederick Street project will be adding 4 parcels. The Vine Street Cottages project is proposing another 7. The City should consider the potential for functional limitations associated with this project.
 - *Information only.*
5. The Fire Chief should review the proposed road layout for truck access & maneuverability.
 - *The fire chief has reviewed the plans and provided his comments.*
6. A road profile illustrating the centerline grade, underground utilities, etc. is required.
 - *A road profile has been added to the plan set as sheet C-401.*
7. A set of leach basins should be installed just outside the Vine Street right of way to reduce the increase in runoff of the public storm sewer on Vine Street.
 - *Two leach basins were added to the plan just outside the Vine Street right-of-way.*
8. An existing unimproved trail crosses the northeast corner of the proposed development, impacting lots 3 and 4. City staff should review the ownership/function of the trail to ascertain whether this presents any accessibility/connectivity challenges.
 - *Information only.*
9. Construction drawings for the utilities must be completed to industry standards, including plans and profiles along with technical specifications.
 - *Since this project is a private road without any public utility extensions, we feel the plan set is to industry standard and does not lack any required technical specifications.*
10. Public watermain needs to be provided the appropriate size with properly spaced fire hydrants. The developer will be responsible for obtaining the MDEQ permit for water system construction once plans have been approved by the City and KLSWA.
 - *No public watermain is proposed. All lots will be serviced by private water services.*
11. Sizes and connection details need to be provided for the water services and sanitary forcemains.
 - *Connections of the private water and sanitary sewer services will be per the plumbing code requirements. Such details are not typically shown or provided on our construction plans. If the City has some details they want us to provide for this feel free to email them to me.*
12. The seven grinder pumps and their forcemains need to be labeled as privately owned on the drawings.
 - *Labels have been added to the plans identifying the services as private.*
13. The 20-foot easement shown may not be sufficient width for utility separation and future access. Increasing the width is recommended.
 - *We think the easement is sufficient as is.*

14. Details for the proposed fire hydrant on Vine Street need to be provided.
 - *We are not sure why a detail is needed. We are simply adding a new hydrant to the existing Vine Street watermain. No watermain extension that requires a State permit is proposed.*
15. A cross section needs to be provided for the Vine Street repair. It needs to include a minimum of 12 inches Class II subbase, 8 inches 22A aggregate base and 3 inches of 13A asphalt.
 - *Notes have been added on sheet C-400 with the road repair specifications.*

Saugatuck Township Fire District Comments:

1. Dead end driveways and access roads in excess of 150 feet in length shall be provided with an approved area for turning around with fire apparatus (IFC 503.2.5) ***There does not appear to be a turnaround shown in the plans provided. If the driveway for Lot #3 is intended to be used as the turnaround, there would never be parking permitted in the driveway, and there would need to be a deed restriction established to allow for private driveway/property to be utilized as a turnaround. Please clarify in revised submittals where the turnaround will be.***
 - *A fire apparatus turn around was added to the plan between lots 6 and 7.*
2. "No Parking Fire Lane" signage shall be installed at the dead end of the turnaround. (IFC 503.3) ***Please include locations of Fire Lane Signage in revised submittal.***
 - *Signage for the fire lane is now noted and labeled on sheet C-205.*
3. No parking shall be allowed within the turnaround. The area must be clear and unobstructed for turnaround at all times (IFC 503.4)
 - *Signage for no parking is now noted and labeled on sheet C-205.*
4. Fire apparatus access roads and driveways shall have an unobstructed width of not less than 20 feet, exclusive of shoulders. (IFC 503.2.1) ***Approved, road is shown at 20 feet in width in the plans provided.***
 - *Information only.*
5. Minimum clear height shall be 13'6" across the entire 20ft width of driveway. (IFC 503.2.1) ***Height clearance is not noted in the plans provided, please include in revised submittals.***
 - *The minimum clear height note has been added on sheet C-205*
6. Road shall not exceed the 10% maximum grade. (IFC 503.2.7) ***Grade is does not shown in the plans provided, please include in revised submittals.***
 - *The private road profile on sheet C-401 shows that no portion of the private road exceeds 10% grade.*

7. The driveway shall be installed with asphalt, concrete or other approved driving surfaces capable of supporting the 80,000 pound imposed load of our heaviest apparatus and be installed to provide emergency access prior to commencement of building construction. (IFC 503.2.3) **Weight capacity is not noted on the plans provided, please include in revised submittals.**
 - *The required weight capacity of the road is now labeled and noted on the fire apparatus turn around detail on sheet C-205 and on the private road cross section detail on sheet C-400.*
8. The road shall be maintained free of snow and ice to provide all weather driving capabilities. (IFC 503.2.3)
 - *Information only.*
9. Fire department access roads shall be constructed and maintained for all construction sites (IFC 3310.1). **The road and turnaround shall be installed to allow for emergency access prior to construction commencing.**
 - *Information only.*
10. The installation of security gates across a fire apparatus access road shall be approved by the fire chief. Where security gates are installed, they shall have an approved means of emergency operation. The security gates and the emergency operation shall be maintained operations at all times. Electric gate operators, where provided, shall be listed in accordance with UL 325. Gates intended for automatic operation shall be designed, constructed and installed to comply with the requirements of ASTM F 2200. (IFC 503.6) **No gate appears to be shown in the plans provided, however if it is installed in the future, a Knox Key switch is required for emergency access and activation.**
 - *No security gate is proposed for this project.*
11. New and existing buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. (IFC 505.1) **Address signage must be posted prior to commencement of construction. Green reflective address signs are preferred.**
 - *Address signage will be placed on the homes prior to construction.*
12. Streets and roads shall be identified with approved signed. Temporary signs shall be installed at each street intersection when construction of new roadways allows passage by vehicles. Signs shall be of an approved size, weather resistant and be maintained until replacement by permanent signs. (IFC 505.2) **Street signage must be posted prior to commencement of construction. Please identify how the proposed road for "Vine Street Cottages" will be identified separately from "Vine Street"**
 - *A private road sign will be added at the entrance off Vine Street.*

13. An approved water supply capable of supplying the required fire flow for fire protection shall be provided to premises upon which facilities, buildings, or portions of buildings are hereafter constructed or moved into or within the jurisdiction. (IFC 507.1) **Please provide proposed hydrant fire flow calculations in revised submittals.**
- *Proposed homes on lots 3, 4, 5 and 6 will be provided with 2" water services and will be provided with fire suppression systems. Proposed homes on lots 1, 2 and 7 will be provided with 1.5" water services but will not have fire suppression systems. Our water system modelling calculations are attached. These show that these water service sizes provide adequate flow and pressure for all 7 homes.*
14. The fire code official shall be notified prior to the water supply test. Water supply tests shall be witnessed by the fire code official, or approved documentation of the test shall be provided to the fire code official prior to final approval of the water supply system. (IFC 507.4) **Upon completion of installation of the water main and fire hydrants, flow tests shall be conducted, and documentation provided to the fire department.**
- *Information only.*
15. A hydrant is required within 400 ft. of any exterior portion of a non-sprinkled building or 600 ft. for an R-3 occupancy or sprinkled building. (IFC 507.5.1) **Please include water main detail, and hydrant locations in revised submittals. Hydrants shall have a 5" Storz connection and dual 2.5" NHT connections. The road is shown as over 600 feet long, with no additional hydrants. Please detail additional hydrants or propose that all homes will be protected with automatic fire suppression sprinklers to meet the 600ft exemption in revised submittals.**
- *No new watermain extension is proposed. Proposed homes on lots 3, 4, 5 and 6 will be provided with 2" water services and will be provided with fire suppression systems. Proposed homes on lots 1, 2 and 7 will be provided with 1.5" water services but will not have fire suppression systems. Our water system modelling calculations are attached. These show that these water service sizes provide adequate flow and pressure for all 7 homes.*
16. An approved water supply for fire protection, either temporary or permanent, shall be made available as soon as combustible material arrives on the site. (IFC 3312.1) **Ensure the hydrants or approved water supply are installed and operational prior to delivery of construction materials to the site.**
- *Information only.*
17. Upon completion of construction, physical testing with apparatus will be required. If the apparatus is unable to navigate the completed road and driveway in a safe and efficient manner, modifications may be required.
- *Information only.*
18. Anything omitted in this plan review is subject to field inspection. (IFC 105.4.4)
- *Information only.*

If you have any questions or need additional information, please contact me at (616) 575-5190 or via email at jbarr@nederveld.com.

Sincerely,

A handwritten signature in blue ink, appearing to read 'J. Barr', written in a cursive style.

Jack Barr, P.E.
Director of Engineering

cc: Mr. Jonathan W. Moxey, P.E., Fleis & VandenBrink (w/attachments)
Mr. Daryl VanDyke, KLSWA (w/attachments)
Mr. Greg Janik, Saugatuck Township Fire Chief (w/attachments)
Mr. Chris Mantels, Saugatuck Township Fire Deputy Chief (w/ attachments)
Mr. Dan Poll, City of Saugatuck Building Official (w/attachments)
Mr. Kirk Harrier, City of Saugatuck Manager (w/attachments)
Mr. Brad Rottschafer, Mosaic Properties (w/attachments)

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MEMO

To: Cindy Osman, Zoning Administrator
City of Saugatuck

From: Jonathan W. Moxey, PE
Steve Bishop, PE
Fleis & VandenBrink

CC: Daryl VanDyke, KLSWA
Greg Janik, Fire Chief
Kirk Harrier, City Manager
Jack Barr, Nederveld

Date: August 12, 2019

Re: Vine Street Cottages – Site Plan Review

We have reviewed the plan sheets (C-201, C-205, C-300, C-400 and C-401) dated July 29, 2019 for the project referenced above and have the following comments:

1. We understand the critical dune permitting is in process. A copy will be required for final plan approval.
2. We have discussed the layout of the water services with Nederveld. While it appears to meet the plumbing code, we are concerned that the current layout will be difficult to construct and someday maintain. Our interpretation is that 3 feet of clearance is required between water services and sanitary services, but not between individual water or sanitary services. Nederveld is going to be reviewing the code to see whether bundling the water services and sewer services with a single 3-foot (min.) separation is viable.
3. The engineer's intent for connection of the water services and sanitary services to their respective mains should be clarified in the plans. This can be simple callouts indicating the materials required. The callout for water service connections (type K copper to HDPE) should specify direct tap with saddle or fused type connections (7 individual connections). The callout for sanitary services should indicate wye/reducer sizes (7 individual connections). We will review the proposed connections with KLSWA once information is available.
4. Details for the proposed fire hydrant on Vine Street can be handled with a simple callout as well. The callout should include the fittings required to connect to the HDPE main, 6" ductile iron hydrant lead with mechanical joints, 6" gate valve (open left), 3-section valve box, and City standard hydrant (East Jordan AWWA C502 hydrant, 5" size with 6" inlet connection, 2 – 2.5" hose nozzles and 1 – 4.5" pumper nozzle, factory yellow) (subject to KLSWA and fire chief approval).

-
5. A detail/schematic is required for the water services and sanitary services at the property end. The schematic should illustrate the incoming water service (1", 1.5" or 2", depending on the lot), the 1" domestic water service with curb stop (include curb stop location), the fitting to split the domestic service from the fire suppression line (lots 3-6), the fire suppression line (lots 3-6) and the sanitary service line (with 3' minimum offset). Curb stops should be shown on the overall plan as well to facilitate witness measurements in the record drawings.
 6. Hydraulic calculations are required to demonstrate the adequacy of the 1.5" sanitary sewer service lines with private grinder pumps and the topographic conditions for discharge.
-
-



October 25, 2019

Ms. Cindy Osman
City of Saugatuck
102 Butler Street
Saugatuck, MI 49453

RE: Vine Street Cottages; Site Plan Review - *Revisions*
City of Saugatuck, Allegan County, Michigan

Dear Ms. Osman:

Enclosed, along with this cover letter, please find two (2) sets of *revised* plans being submitted your review and approval for the Vine Street Cottages project.

Revisions have been made on behalf of the Fleis & VandenBrink review letter dated August 12, 2019 and the Saugatuck Township Fire Department review letter dated October 15, 2019 and include the following:

Fleis & VandenBrink Comments:

1. We understand the critical dune permitting is in process. A copy will be required for final plan approval.
[We will provide a copy of the critical dune permit when it is issued.](#)
2. We have discussed the layout of the water services with Nederveld. While it appears to meet the plumbing code, we are concerned that the current layout will be difficult to construct and someday maintain. Our interpretation is that 3 feet of clearance is required between water services and sanitary services, but not between individual water or sanitary services. Nederveld is going to be reviewing the code to see whether bundling the water services and sewer services with a single 3-foot (min.) separation is viable.
[We revised the water and sewer lateral layout to put them in common trenches.](#)
3. The engineer's intent for connection of the water services and sanitary services to their respective mains should be clarified in the plans. This can be simple callouts indicating the materials required. The callout for water service connections (type K copper to HDPE) should specify direct tap with saddle or fused type connections (7 individual connections). The callout for sanitary services should indicate wye/reducer sizes (7 individual connections). We will review the proposed connections with KLSWA once information is available.
[Connection notes were added to Sheet C-400.](#)

4. Details for the proposed fire hydrant on Vine Street can be handled with a simple callout as well. The callout should include the fittings required to connect to the HDPE main, 6" ductile iron hydrant lead with mechanical joints, 6" gate valve (open left), 3-section valve box, and City standard hydrant (East Jordan AWWA C502 hydrant, 5" size with 6" inlet connection, 2 – 2.5" hose nozzles and 1 – 4.5" pumper nozzle, factory yellow) (subject to KLSWA and fire chief approval).
A note with material and fittings was added to Sheet C-400.
5. A detail/schematic is required for the water services and sanitary services at the property end. The schematic should illustrate the incoming water service (1", 1.5" or 2", depending on the lot), the 1" domestic water service with curb stop (include curb stop location), the fitting to split the domestic service from the fire suppression line (lots 3-6), the fire suppression line (lots 3-6) and the sanitary service line (with 3' minimum offset). Curb stops should be shown on the overall plan as well to facilitate witness measurements in the record drawings.
A detail was added to Sheet C-400.
6. Hydraulic calculations are required to demonstrate the adequacy of the 1.5" sanitary sewer service lines with private grinder pumps and the topographic conditions for discharge.
The sanitary laterals were changed to 2" Diameter. The hydraulic calculations for Lot 4 (the longest lateral with the most elevation change) are attached.

Saugatuck Township Fire District Comments:

1. Dead end driveways and access roads in excess of 150 feet in length shall be provided with an approved area for turning around with fire apparatus (IFC 503.2.5) *Dimensions of the turnaround are approved as shown, however grass is not an approved all-weather driving surface. If the desire is to have the grass look, then Grass Pave, or GeoBlock system(s) shall be installed.*
Reinforcement was added to the detail on Sheet C-205.
2. "No Parking Fire Lane" signage shall be installed at the dead end of the turnaround. (IFC 503.3) *Approved, signage as proposed meets minimum requirements in revised submittals.*
Information only.
3. No parking shall be allowed within the turnaround. The area must be clear and unobstructed for turnaround at all times. (IFC 503.4)
No parking signage is proposed and shown on sheet C-205.
4. Fire apparatus access roads and driveways shall have an unobstructed width of not less than 20 feet, exclusive of shoulders. (IFC 503.2.1) Approved, road is shown as 20 feet in width in the plans provided.
Information only.

5. Minimum clear height shall be 13'6" across the entire 20ft width of driveway. (IFC 503.2.1) *Approved, height clearances are noted as 13'6" for the entire road width in revised submittals.*
Information only.
6. Road shall not exceed the 10% maximum grade. (IFC 503.2.7) *Grade is shown as a maximum of 9.82% in revised submittals. This is approved, provided the actual final construction does not exceed 10% final grade. If the final grade exceeds 10%, the pavement may need to be removed and modified.*
Information only.
7. The driveway shall be installed with asphalt, concrete, or other approved driving surfaces capable of supporting the 80,000-pound imposed load of our heaviest apparatus and be installed to provide emergency access prior to commencement of building construction. (IFC 503.2.3) *Approved, weight capacity is noted as 80,000 lbs in revised submittals.*
Information only.
8. The road shall be maintained free of snow and ice to provide all weather driving capabilities. (IFC 503.2.3)
Information only.
9. The angles of approach and departure for fire apparatus access roads shall be within the limits established by the fire code official based on the fire departments apparatus. (IFC 503.2.8) *Please indicate how the Fire District's 49' aerial apparatus will be able to navigate the angle of approach/departure as indicated on sheet C-401 between (10+00 to 12+00). This would have been included in the previous plan review, however sheet C-401 was added to the revised submittals. (Dimensions of the 49' aerial apparatus are provided below for your reference)*
A blow up detail of the road and fire truck maneuvering was added on Sheet C-401 and it shows there is at least 10" (0.8') vertical clearance from the road to the bottom of the fire truck.
10. Fire department access roads shall be constructed and maintained for all construction sites. (IFC 3310.1) *The road and turnaround shall be installed to allow for emergency access prior to construction commencing.*
Information only.
11. The installation of security gates across a fire apparatus access road shall be approved by the fire chief. Where security gates are installed, they shall have an approved means of emergency operation. The security gates and the emergency operation shall be maintained operational at all times. Electric gate operators, where provided, shall be listed in accordance with UL 325. Gates intended for automatic operation shall be designed, constructed and installed to comply with the requirements of ASTM F 2200. (IFC 503.6) *No gate appears to be shown in the plans provided, however if it is installed in the future, a Knox Key switch is required for emergency access and activation.*
No gates are proposed for this project.

12. New and existing buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. (IFC 505.1) *Address signage must be posted prior to commencement of construction. Green reflective address signs are preferred.*
Information only.
13. Streets and roads shall be identified with *approved* signs. Temporary signs shall be installed at each street intersection when construction of new roadways allows passage by vehicles. Signs shall be of an *approved* size, weather resistant and be maintained until replaced by permanent signs. (IFC 505.2) *Street signage must be posted prior to commencement of construction. Please identify how the proposed road for "Vine Street Cottages" will be identified separately from "Vine Street"*
A private road sign will be placed at the entrance to the private road at Vine Street. This sign location is now shown on Sheet C-205.
14. An approved water supply capable of supplying the required fire flow for fire protection shall be provided to premises upon which facilities, buildings, or portions of buildings are hereafter constructed or moved into or within the jurisdiction. (IFC 507.1) *Please provide proposed hydrant fire flow calculations in revised submittals.*
Proposed homes on lots 3, 4, 5 and 6 will be provided with 2" water services and will be provided with fire suppression systems. Proposed homes on lots 1, 2 and 7 will be provided with 1.5" water services but will not have fire suppression systems. Our water system modelling calculations are attached. These show that these water service sizes provide adequate flow and pressure for all 7 homes.
15. The fire code official shall be notified prior to the water supply test. Water supply tests shall be witnessed by the fire code official, or approved documentation of the test shall be provided to the fire code official prior to final approval of the water supply system. (IFC 507.4) *Upon completion of installation of the water main and fire hydrants, flow tests shall be conducted, and documentation provided to the fire department. Please contact the fire district to witness flow tests.*
Information only.
16. A hydrant is required within 400 ft. of any exterior portion of a non-sprinklered building or 600 ft. for an R-3 occupancy or sprinklered building. (IFC 507.5.1) Proposed hydrant location is approved as positioned on sheet C-400. *Hydrants shall have a 5" Storz connection, dual 2.5" NHT connections, and meet Saugatuck City and KLSWA specifications. The road is shown as over 600 feet long, with no additional hydrants. The additional detail provided that homes on lots 3, 4, 5, and 6 will have fire suppression systems installed in accordance with NFPA 13D, meets the minimum intent of the code and is approved per revised submittals.*
Information only.
17. An approved water supply for fire protection, either temporary or permanent, shall be made available as soon as combustible material arrives on the site. (IFC 3312.1) *Ensure the hydrants or approved water supply are installed and operational prior to delivery of construction materials to the site.*
Information only.

18. Upon completion of construction, physical testing with apparatus will be required. If the apparatus is unable to navigate the completed road and driveway in a safe and efficient manner, modifications may be required.

[Information only.](#)

19. Anything omitted in this plan review is subject to field inspection. (IFC 105.4.4)

[Information only.](#)

Other Suggestions and Recommendations (Not requirements by code):

1. Consider installing fire alarm monitoring & supervision systems for the NFPA 13D Sprinkler Suppression Systems. This allows for fire department notification in the event of a fire or accidental system discharge whether the dwelling is occupied or not.

[Information only.](#)

2. Consider installing Knox Boxes on the dwellings with suppression systems so in the event of a system discharge, the Fire District has rapid access to mitigate the emergency.

[Information only.](#)

If you have any questions or need additional information, please contact me at (616) 575-5190 or via email at jbarr@nederveld.com.

Sincerely,

A handwritten signature in blue ink, appearing to read "R. Jack B.", is positioned above the typed name.

Jack Barr, P.E.
Director of Engineering

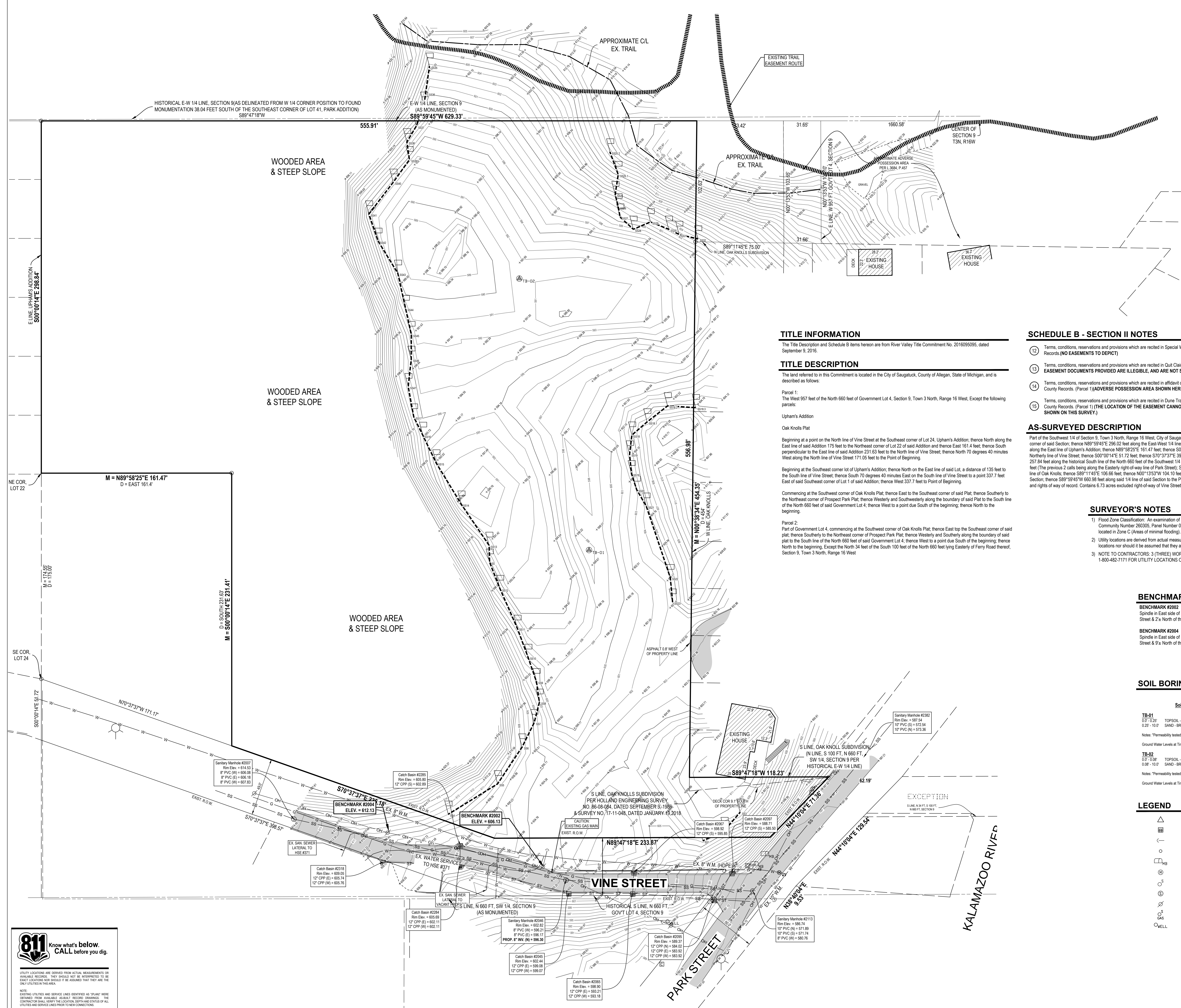
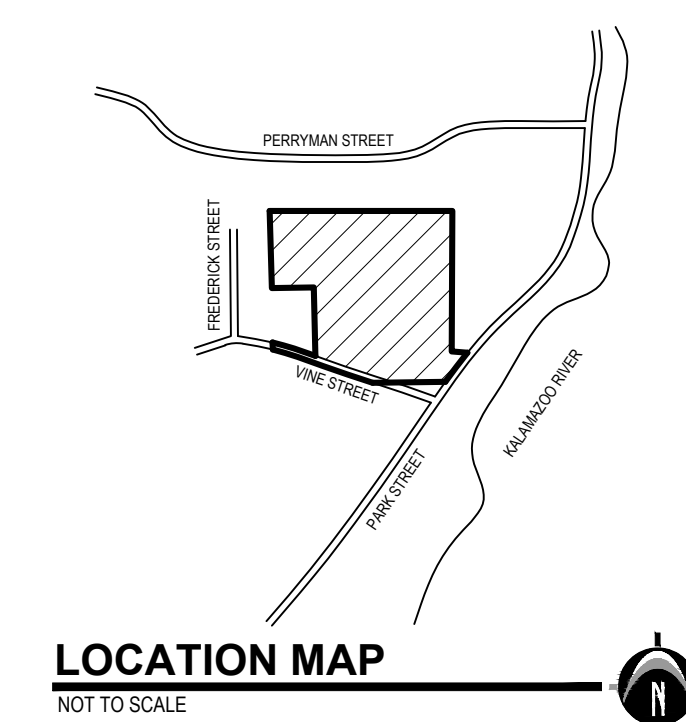
cc: Mr. Jonathan W. Moxey, P.E., Fleis & VandenBrink (w/attachments)
Mr. Steve Bishop, P.E., Fleis & VandenBrink
Mr. Daryl VanDyke, KLSWA (w/attachments)
Mr. Greg Janik, Saugatuck Township Fire Chief (w/attachments)
Mr. Chris Mantels, Saugatuck Township Fire Deputy Chief (w/ attachments)
Mr. Dan Poll, City of Saugatuck Building Official (w/attachments)
Mr. Kirk Harrier, City of Saugatuck Manager (w/attachments)
Mr. Brad Rottschafer, Mosaic Properties (w/attachments)

Exhibit C

PREPARED FOR:
 Vine Street Cottages, LLC
 ATTN: Brad Rottschaefer
 2050 Caledon Drive
 Suite B
 Grand Rapids, MI 49525

REVISIONS:

Title	Submitted to	Y. Date	Y. Date
Title: Submittal to PL/SPR	Checked: JB	S. Date: 03.19.19	S. Date: 03.19.19
Title: Review	Checked: JB	S. Date: 04.29.19	S. Date: 04.29.19
Title: Review	Checked: JB	S. Date: 04.29.19	S. Date: 04.29.19
Title: Review	Checked: JB	S. Date: 06.06.19	S. Date: 06.06.19
Title: Review	Checked: JB	S. Date: 04.23.19	S. Date: 04.23.19
Title: Review	Checked: JB	S. Date: 04.23.19	S. Date: 04.23.19
Title: Review	Checked: JB	S. Date: 04.17.19	S. Date: 04.17.19
Title: Review	Checked: JB	S. Date: 04.17.19	S. Date: 04.17.19
Title: Review	Checked: JB	S. Date: 08.12.19	S. Date: 08.12.19
Title: Review	Checked: JB	S. Date: 10.15.19	S. Date: 10.15.19
Title: Review	Checked: JB	S. Date: 12.10.19	S. Date: 12.10.19
Title: Review	Checked: JB	S. Date: 07.15.20	S. Date: 07.15.20



TITLE INFORMATION

The Title Description and Schedule B items hereon are from River Valley Title Commitment No. 2016090305, dated September 9, 2016.

TITLE DESCRIPTION

The land referred to in this Commitment is located in the City of Saugatuck, County of Allegan, State of Michigan, and is described as follows:
 Parcel 1:
 The West 957 feet of the North 660 feet of Government Lot 4, Section 9, Town 3 North, Range 16 West, Except the following parcels:
 Upham's Addition
 Oak Knolls Plat

Beginning at a point on the North line of Vine Street at the Southeast corner of Lot 24, Upham's Addition; thence North along the East line of said Addition 175 feet to the Northeast corner of Lot 22 of said Addition and thence East 161.4 feet; thence South perpendicular to the East line of said Addition 231.63 feet to the North line of Vine Street; thence North 70 degrees 40 minutes West along the North line of Vine Street 171.05 feet to the Point of Beginning.

Beginning at the Southeast corner of Upham's Addition; thence North on the East line of said Lot, a distance of 135 feet to the South line of Vine Street; thence South 70 degrees 40 minutes East on the South line of Vine Street to a point 337.7 feet East of said Southeast corner of Lot 1 of said Addition; thence West 337.7 feet to Point of Beginning.

Commencing at the Southwest corner of Oak Knolls Plat; thence East to the Southeast corner of said Plat; thence Southerly to the Northeast corner of Prospect Park Plat; thence Westerly and Southwesterly along the boundary of said Plat to the South line of the North 660 feet of said Government Lot 4; thence West to a point due South of the beginning; thence North to the beginning.

Parcel 2:
 Part of Government Lot 4, commencing at the Southwest corner of Oak Knolls Plat; thence East to the Southeast corner of said plat; thence Southerly to the Northeast corner of Prospect Park Plat; thence Westerly and Southwesterly along the boundary of said plat to the South line of the North 660 feet of said Government Lot 4; thence West to a point due South of the beginning; thence North to the beginning. Except the North 34 feet of the South 100 feet of the North 660 feet lying Easterly of Ferry Road thereon, Section 9, Town 3 North, Range 16 West

SCHEDULE B - SECTION II NOTES

- 1) Terms, conditions, reservations and provisions which are recited in Special Warranty Deed recorded in Liber 450, Page 183, Allegan County Records (NO EASEMENTS TO DEPICT)
- 2) Terms, conditions, reservations and provisions which are recited in Quit Claim Deed recorded in Liber 653, Page 328, Allegan County Records (THE EASEMENT DOCUMENTS PROVIDED ARE ILLEGIBLE, AND ARE NOT SHOWN ON THIS SURVEY)
- 3) Terms, conditions, reservations and provisions which are recited in Affidavit of Interest in Real Property recorded in Liber 3814, Page 457, Allegan County Records (Parcel 1) (ADVERSE POSSESSION AREA SHOWN HEREON)
- 4) Terms, conditions, reservations and provisions which are recited in Dune Trail Easement Agreement recorded in Liber 3892, Page 736, Allegan County Records (Parcel 1) (THE LOCATION OF THE EASEMENT CANNOT BE DETERMINED FROM THE RECORD DOCUMENT, AND IS NOT SHOWN ON THIS SURVEY)

AS-SURVEYED DESCRIPTION

Part of the Southwest 1/4 of Section 9, Town 3 North, Range 16 West, City of Saugatuck, Allegan County, Michigan, described as: Commencing at the West 1/4 corner of said Section; thence N89°50'45"E 296.02 feet along the East-West 1/4 line of said Section to the Point of Beginning; thence S00°00'14"E 298.84 feet along the East line of Upham's Addition; thence N89°58'25"E 161.47 feet; thence S00°00'14"E 231.41 feet; thence N70°37'37"W 171.17 feet along the Northernly line of Vine Street; thence S00°00'14"E 51.72 feet; thence S70°37'37"E 396.57 feet along the Southernly line of Vine Street; thence N89°47'18"E 257.84 feet along the historical South line of the North 660 feet of the Southwest 1/4 of said Section; thence N38°40'04"E 9.53 feet; thence N44°10'04"E 129.54 feet (The previous 2 calls being along the Easterly right-of-way line of Park Street); thence S89°47'18"W 180.42 feet; thence N00°38'34"E 454.35 feet along the West line of Oak Knolls; thence S89°11'45"E 106.66 feet; thence N00°13'52"W 104.10 feet along the East line of the West 957 feet of the Southwest 1/4 of said Section; thence S89°50'44"W 660.88 feet along said 1/4 line of said Section to the Point of Beginning. Contains 7.58 acres. Subject to easements, restrictions, and rights of way of record. Contains 6.73 acres excluded right-of-way of Vine Street and Park Street.

SURVEYOR'S NOTES

- 1) Flood Zone Classification: An examination of the National Flood Insurance Program's Flood Insurance Rate Map for Community Number 260305, Panel Number 0001C, with an Effective Date of February 1, 1980, shows this parcel to be located in Zone C (Areas of minimal flooding). No field surveying was performed to determine this zone.
- 2) Utility locations are derived from actual measurements or available records. They should not be interpreted to be exact locations nor should it be assumed that they are the only utilities in this area.
- 3) NOTE TO CONTRACTORS: (THREE) WORKING DAYS BEFORE YOU DIG, CALL MISS DIG AT TOLL FREE 1-800-482-7171 FOR UTILITY LOCATIONS ON THE GROUND.

BENCHMARKS

BENCHMARK #2002 ELEV. = 606.13 (IGLD85)
 Spindle in East side of utility pole, 1.5'± above grade. Located 152'± West of the centerline of Park Street & 2'± North of the edge of asphalt for Vine Street.

BENCHMARK #2004 ELEV. = 612.13 (IGLD85)
 Spindle in East side of utility pole, 1.0'± above grade. Located 274'± West of the centerline of Park Street & 9'± North of the edge of asphalt for Vine Street.

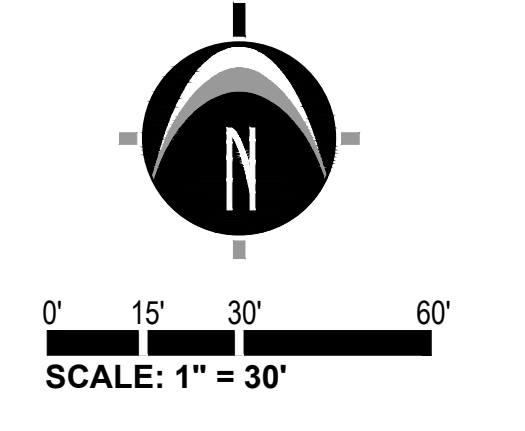
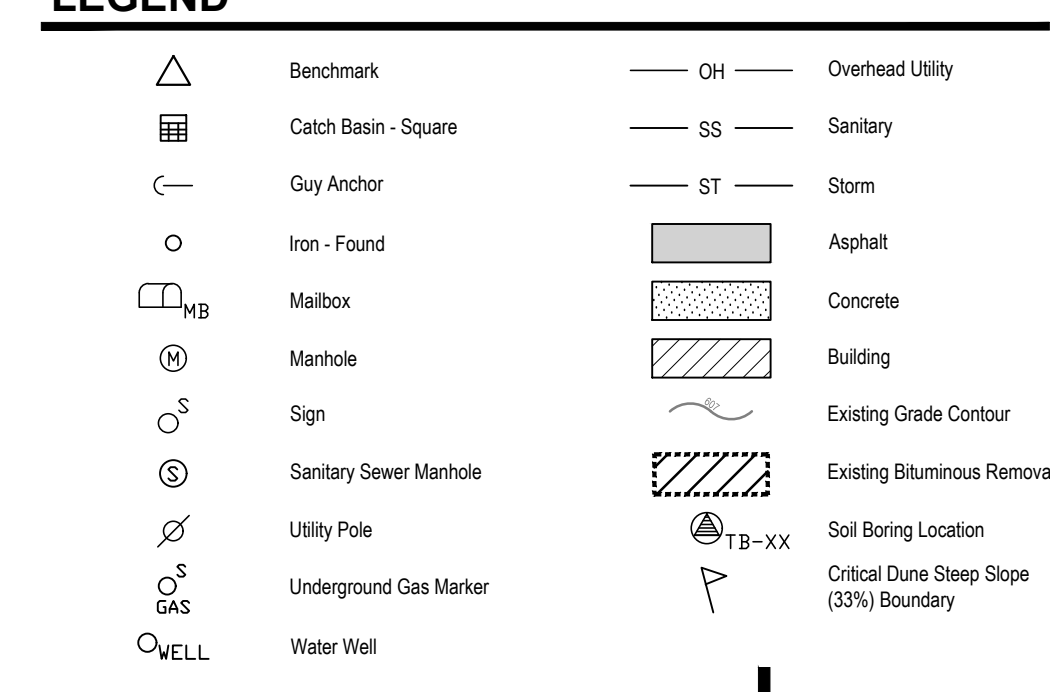
SOIL BORING LOGS

16201802 - Vine Street Cottages
 Soil Borings completed by Soils & Structures on 05-10-2018

TB-01
 0.25' - 10.0' TOPSOIL - DARK SANDY (D 0')
 10' PVC (S) = 572.54
 12" CPP (S) = 573.38
 10' PVC (N) = 573.38
 Notes: "Permeability tested at 5 feet - 17.1 inches/hour"
 Ground Water Levels at Time of Drilling: "Water not encountered"

TB-02
 0.08' - 10.0' TOPSOIL - DARK SANDY (1 0')
 0.08' - 10.0' SAND - BROWN FINE
 Notes: "Permeability tested at 5 feet - 26.3 inches/hour"
 Ground Water Levels at Time of Drilling: "Water not encountered"

LEGEND



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 UTILITY LOCATIONS ARE DERIVED FROM ACTUAL MEASUREMENTS OR AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATIONS NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THIS AREA.
 NOTE: EXISTING UTILITIES AND SERVICE LINES IDENTIFIED AS "PLANS" WERE OBTAINED FROM AVAILABLE ALREADY RECORDED DRAWINGS. THE CONTRACTOR SHALL VERIFY THE LOCATION, DEPTH AND STATUS OF ALL UTILITIES AND SERVICE LINES PRIOR TO ANY CONSTRUCTION.

Vine Street Cottages
 Existing Site Conditions & Removals Plan
 PART OF GOVERNMENT LOT 4 OF SECTION 9 T3N, R16W, CITY OF SAUGATUCK, ALLEGAN COUNTY, MICHIGAN

STAMP:

PROJECT NO:
16201802

SHEET NO:
C-201

PREPARED FOR:
 Vine Street Cottages, LLC
 ATTN: Brad Rottschafner
 2050 Celadon Drive
 Suite B
 Grand Rapids, MI 49525

REVISIONS:

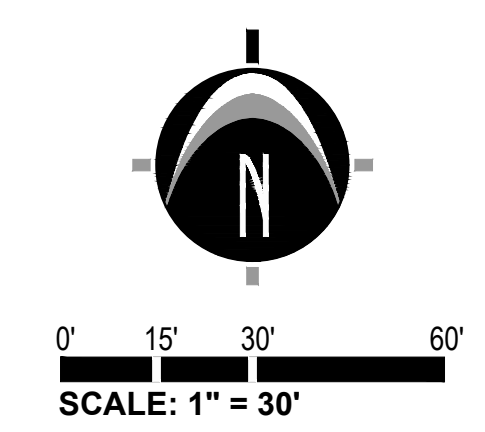
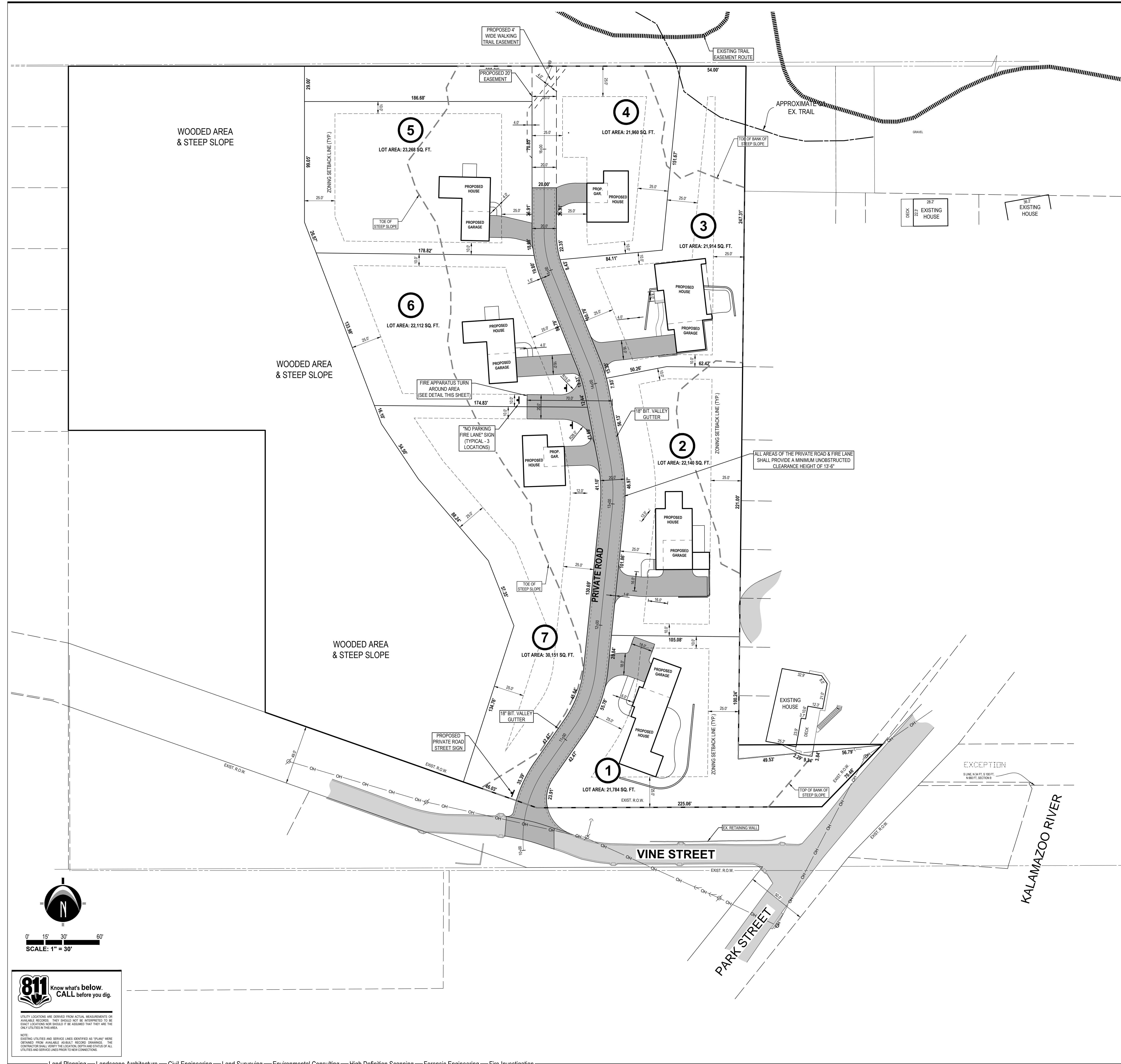
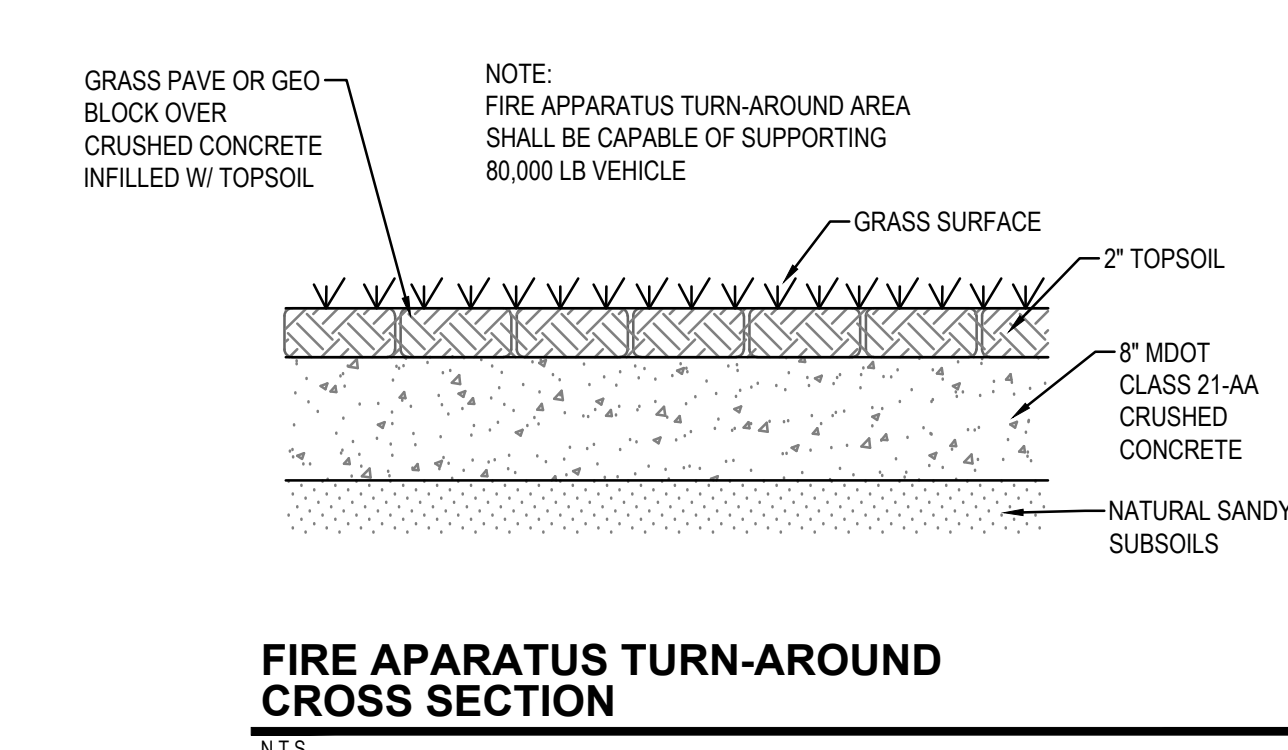
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Title: Review	V. Date: 04.29.19
Drawn: DTP	Checked: JB
Title: S.E.S.C. Permit	V. Date: 06.06.19
Drawn: DTP	Checked: JB
Title: Fire Chief Review	V. Date: 04.23.19
Drawn: DTP	Checked: JB
Title: City Engineer Review	V. Date: 04.17.19
Drawn: DTP	Checked: JB
Title: MDCG Review	V. Date: 07.15.19
Drawn: DTP	Checked: JB
Title: City Engineer	V. Date: 08.12.19
Drawn: BEM	Checked: JB
Title: Fire Chief	V. Date: 10.15.19
Drawn: BEM	Checked: JB
Title: Developer	V. Date: 12.10.19
Drawn: DTP	Checked: JB
Title: For Construction	V. Date: 07.15.20
Drawn: BEM	Checked: JB

LEGEND

	EXISTING BITUMINOUS
	EXISTING CONCRETE
	PROPOSED BITUMINOUS
	PROPOSED CONCRETE

GENERAL NOTES

- ZONING IS PROPERTY: R-1 PENINSULA WEST DISTRICT (PW)
 - MINIMUM LOT AREA = 21,780 SQ. FT.
 - MINIMUM LOT WIDTH = 100 FT.
 - MAXIMUM LOT COVERAGE = 25%
- SETBACKS:
 - FRONT YARD = 25 FT.
 - SIDE YARD = 10 FT.
 - REAR YARD = 25 FT.
- SUMMARY OF LAND USE:
 - TOTAL ACREAGE = 6.46 ACRES (281,420 SQ. FT.) (EXCLUDING R.O.W.)
 - TOTAL LOTS = 7
 - SMALLEST LOT = 21,784 SQ. FT.
 - LARGEST LOT = 30,151 SQ. FT.
 - LENGTH OF PRIVATE ROAD = 644 LF.



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Vine Street Cottages
 Site Layout Plan

PART OF GOVERNMENT LOT 4 OF SECTION 9 T3M, R10W, CITY OF SAUGATUCK, ALLEGAN COUNTY, MICHIGAN

STAMP:

ROGER JACK BARR II
 ENGINEER
 No. 41990

PROJECT NO:
 16201802

SHEET NO:
C-205

CITY FIRE TRUCK DETAIL
 N.T.S.

REVISIONS:

Title: Submitted to KLSWA	V. Date: 03.19.19
Drawn: DTP	Checked: JB
Title: Review	V. Date: 04.29.19
Drawn: DTP	Checked: JB
Title: S.E.S.C. Permit	V. Date: 06.06.19
Drawn: DTP	Checked: JB
Title: City Engineer Review	V. Date: 06.08.19
Drawn: DTP	Checked: JB
Title: Final Review	V. Date: 04.23.19
Drawn: DTP	Checked: JB
Title: MCEG Review	V. Date: 07.15.19
Drawn: DTP	Checked: JB
Title: City Engineer	V. Date: 08.12.19
Drawn: BEM	Checked: JB
Title: Final Check	V. Date: 10.15.19
Drawn: BEM	Checked: JB
Title: Developer	V. Date: 12.10.19
Drawn: DTP	Checked: JB
Title: For Construction	V. Date: 07.15.20
Drawn: BEM	Checked: JB

LEGEND

- EX GRADE CONTOUR
- PROP. GRADE CONTOUR
- EX BITUMINOUS
- EX CONCRETE
- PROPOSED BITUMINOUS
- PROPOSED CONCRETE
- PROPOSED STORM
- PROPOSED SANITARY
- PROPOSED WATERMAN
- PROPOSED SILT FENCE
- SOIL BORING LOCATION
- LIMITS OF GRADING/TREE CLEARING

LOCATION MAP
 NOT TO SCALE

SOIL BORING LOGS

16201802 - Vine Street Cottages
 Soil Borings completed by Soils & Structures on 05-10-2018

TB-01
 0.0' - 0.25' TOPSOIL - DARK SANDY (3.0')
 0.25' - 10.0' SAND - BROWN FINE
 Notes: "Permeability tested at 5 feet - 17.1 inches/hour"
 Ground Water Levels at Time of Drilling: "Water not encountered"

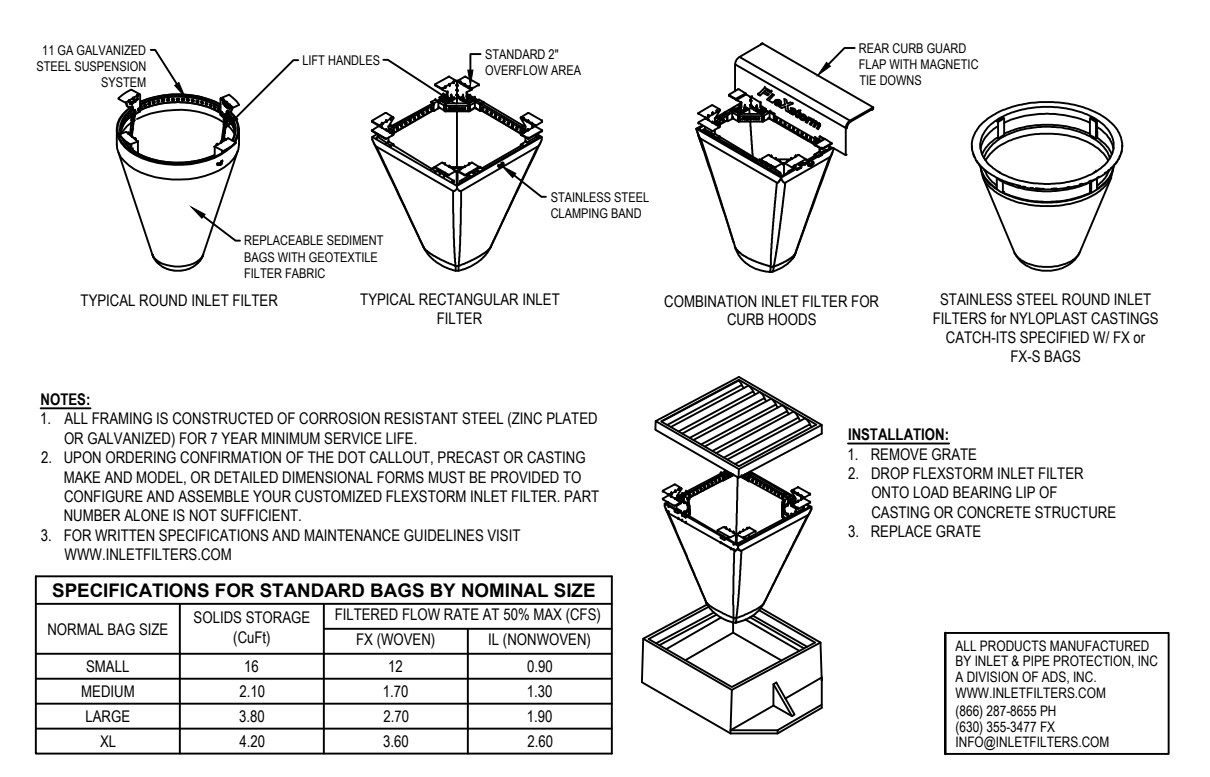
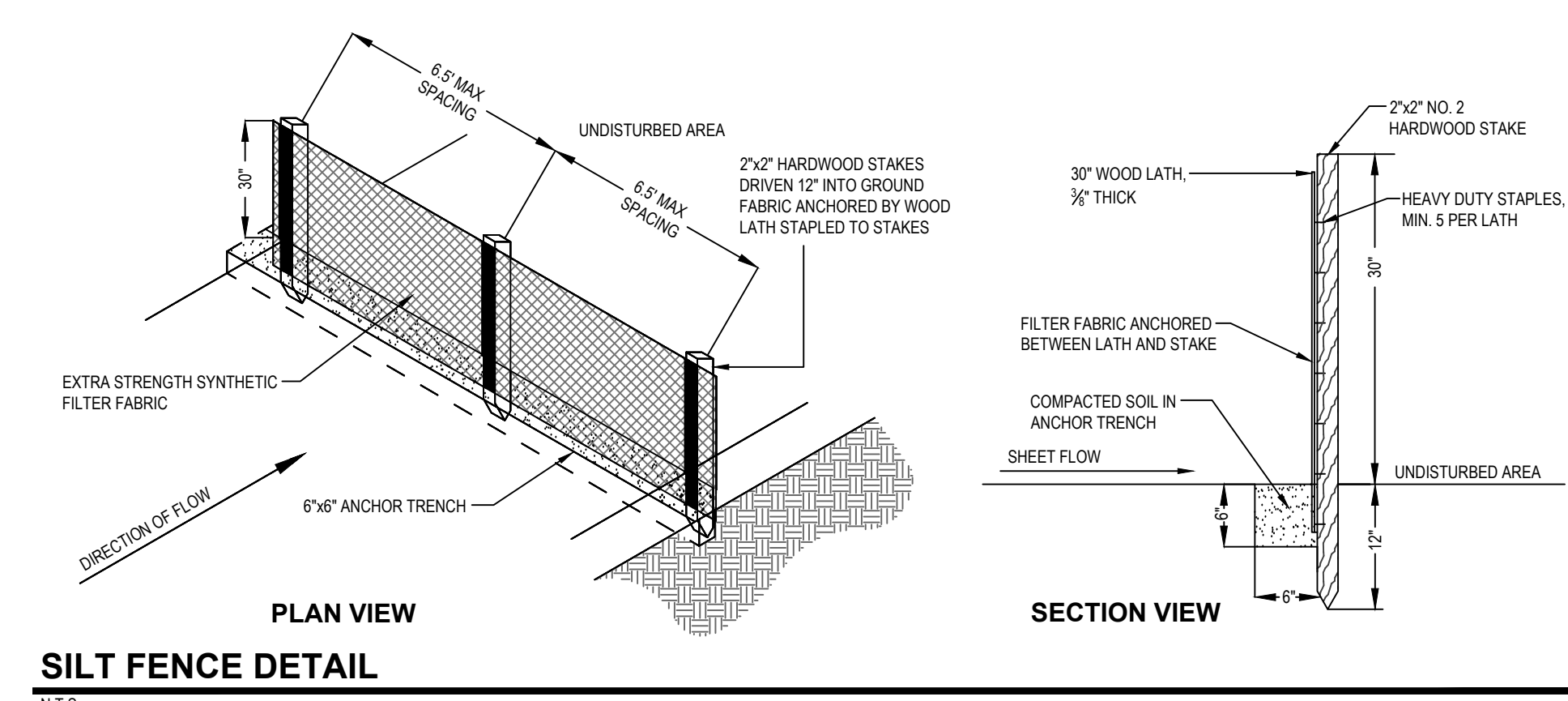
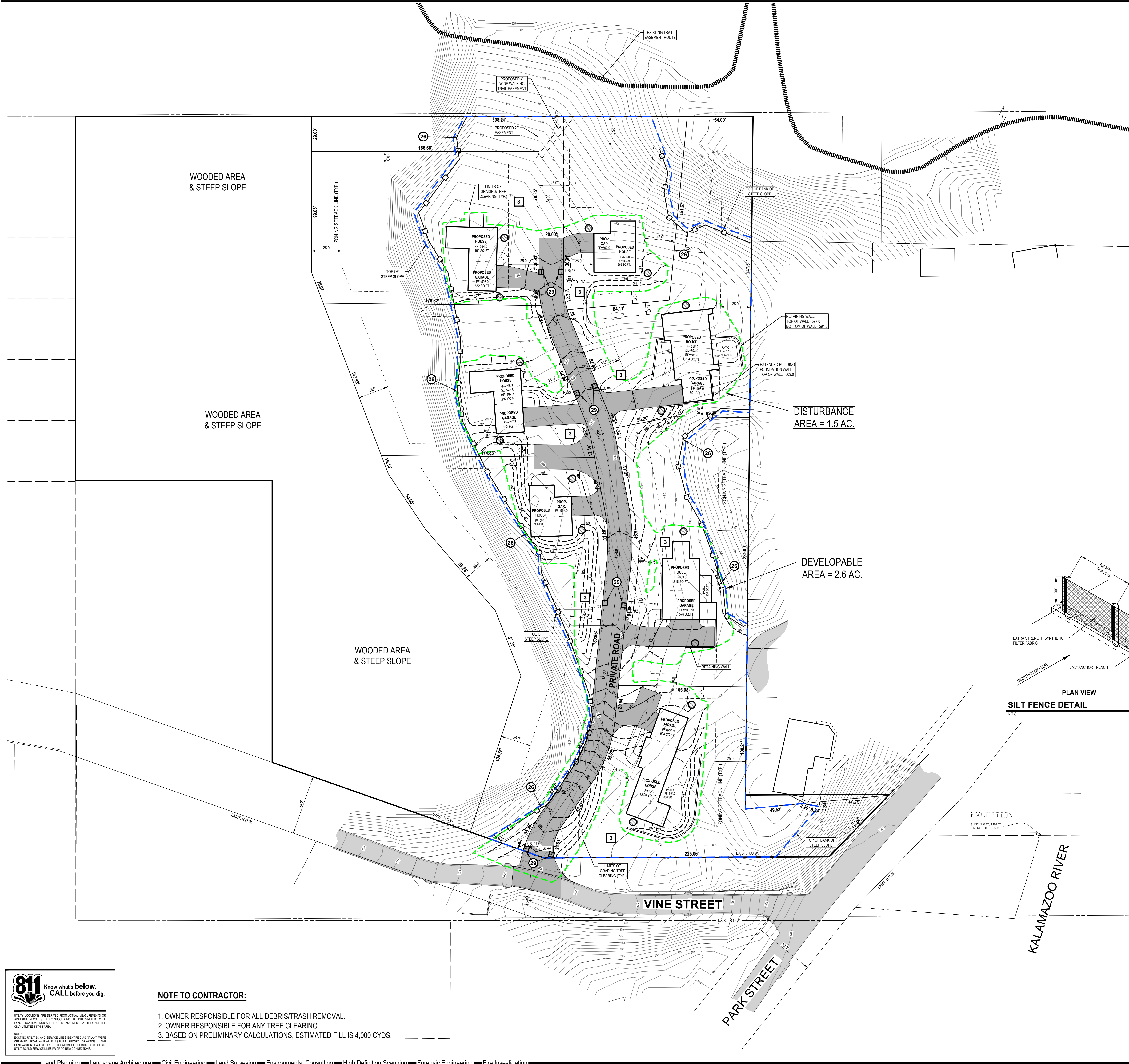
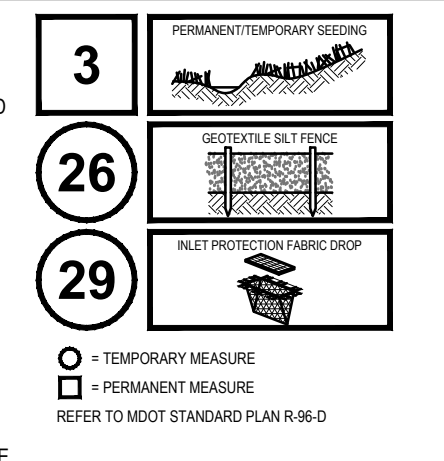
TB-02
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 0.25' - 10.0' SAND - BROWN FINE
 Notes: "Permeability tested at 5 feet - 26.3 inches/hour"
 Ground Water Levels at Time of Drilling: "Water not encountered"

SOIL EROSION CONTROL SCHEDULE

	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC
PLACE SILT FENCE												
STRIP & STOCKPILE TOPSOIL												
ROUGH GRADE SITE												
CONSTRUCT UTILITY LINES												
FINISH GRADE SITE												
PAVE SITE												
RESURF TOPSOIL/COMPACTION												
SEED DISTURBED AREAS												
SITE RESTORATION/CLEAN UP												

SOIL EROSION AND SEDIMENTATION CONTROL NOTES

- CONTRACTOR SHALL POSSESS THE SOIL EROSION AND SEDIMENTATION CONTROL PERMIT PRIOR TO START OF ANY EARTH WORK.
- CONTRACTOR SHALL MODIFY THIS SOIL EROSION AND SEDIMENTATION CONTROL PLAN TO SHOW THE ADDITIONAL CONTROL MEASURES INTENDED TO BE USED DURING CONSTRUCTION. SUBMIT MODIFICATIONS TO THE CONTROLLING AGENCY, THE OWNER, AND THE ENGINEER.
- EROSION PROTECTION SHALL BE PROVIDED AT ALL STORM SEWER INLETS AND OUTLETS. ALL BARE EARTH SHALL BE STABILIZED WITH SEEDING.
- REFER TO THE M.D.O.T. "SOIL EROSION AND SEDIMENTATION CONTROL MANUAL" (APRIL 2009) FOR ADDITIONAL INFORMATION.
- THE ENTIRE STORM SEWER SYSTEM SHALL BE CLEANED AND FLUSHED FOLLOWING CONSTRUCTION AND PAID RECEIPT THEREOF PROVIDED TO THE ENGINEER AND COUNTY SESC AGENT PRIOR TO FINAL PAYMENT TO THE CONTRACTOR OR FINAL ACCEPTANCE OF THE CONSTRUCTION BY THE OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO INSPECT, TAKE CORRECTIVE ACTION AND MAINTAIN ALL TEMPORARY SESC MEASURES DAILY AND AFTER EACH RAIN EVENT UNTIL FINAL COMPLETION AND ACCEPTANCE OF THE PROJECT.



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- NOTE TO CONTRACTOR:**
- OWNER RESPONSIBLE FOR ALL DEBRIS/TRASH REMOVAL.
 - OWNER RESPONSIBLE FOR ANY TREE CLEARING.
 - BASED ON PRELIMINARY CALCULATIONS, ESTIMATED FILL IS 4,000 CYDS.

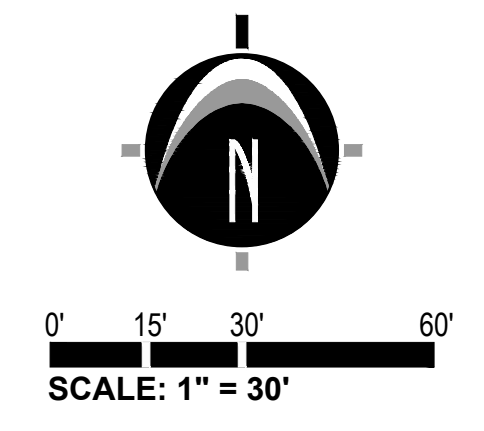
Vine Street Cottages
 Overall S.E.S.C. & Final Grading Plan

STAMP:

STATE OF MICHIGAN
 ROGER JACK
 ENGINEER
 No. 41990

PROJECT NO:
 16201802

SHEET NO:
C-300



LEGEND

- EX GRADE CONTOUR
- PROP. GRADE CONTOUR
- EX BITUMINOUS
- EX CONCRETE
- PROPOSED BITUMINOUS
- PROPOSED CONCRETE
- PROPOSED STORM
- PROPOSED SANITARY
- PROPOSED WATERMAN
- PROPOSED SILT FENCE
- SOIL BORING LOCATION
- LIMITS OF GRADING/TREE CLEARING

LOCATION MAP
NOT TO SCALE

SOIL BORING LOGS

16201802 - Vine Street Cottages
Soil Borings completed by Soils & Structures on 05-10-2018

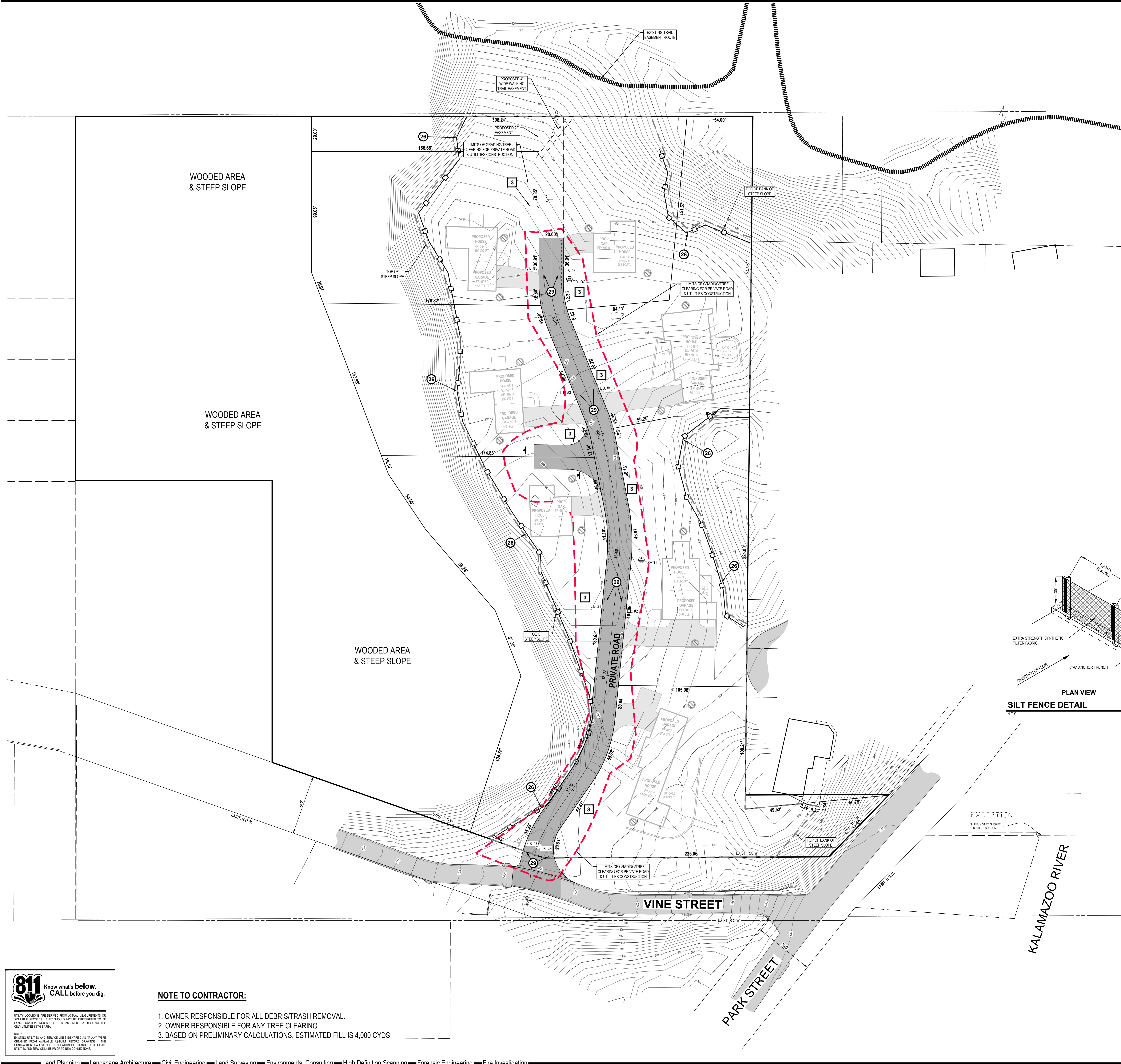
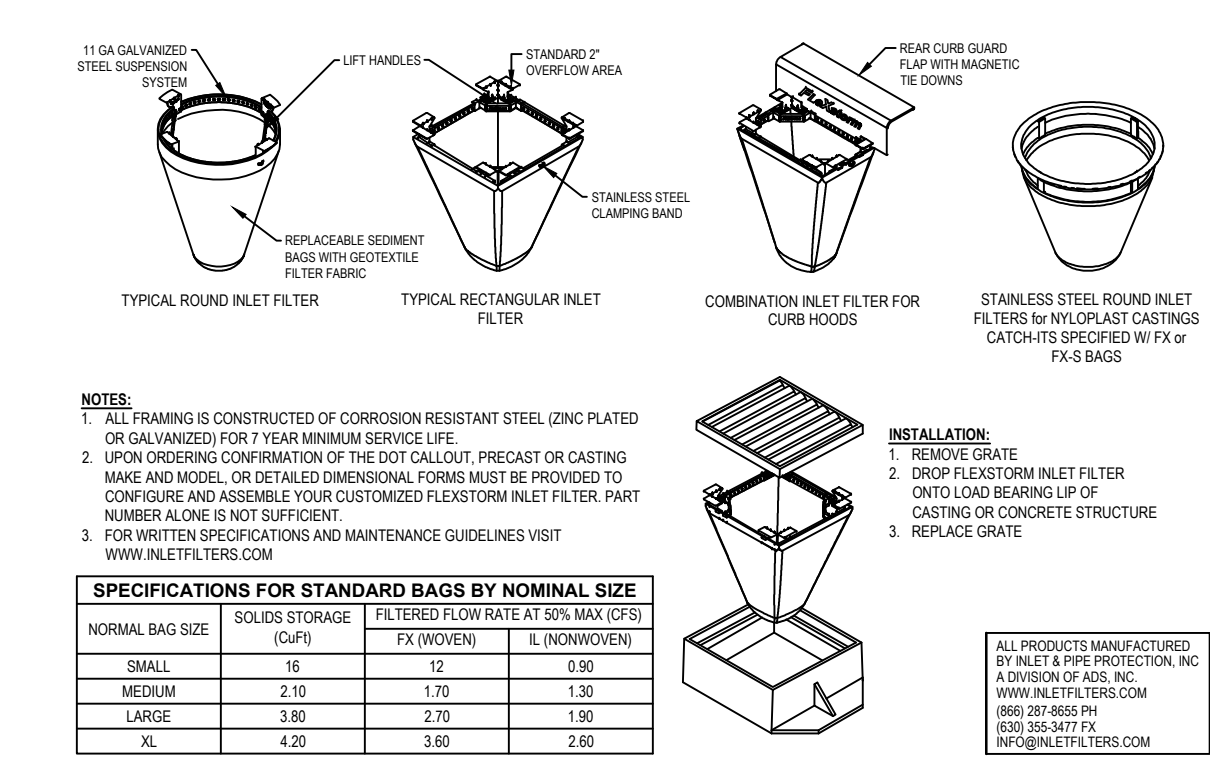
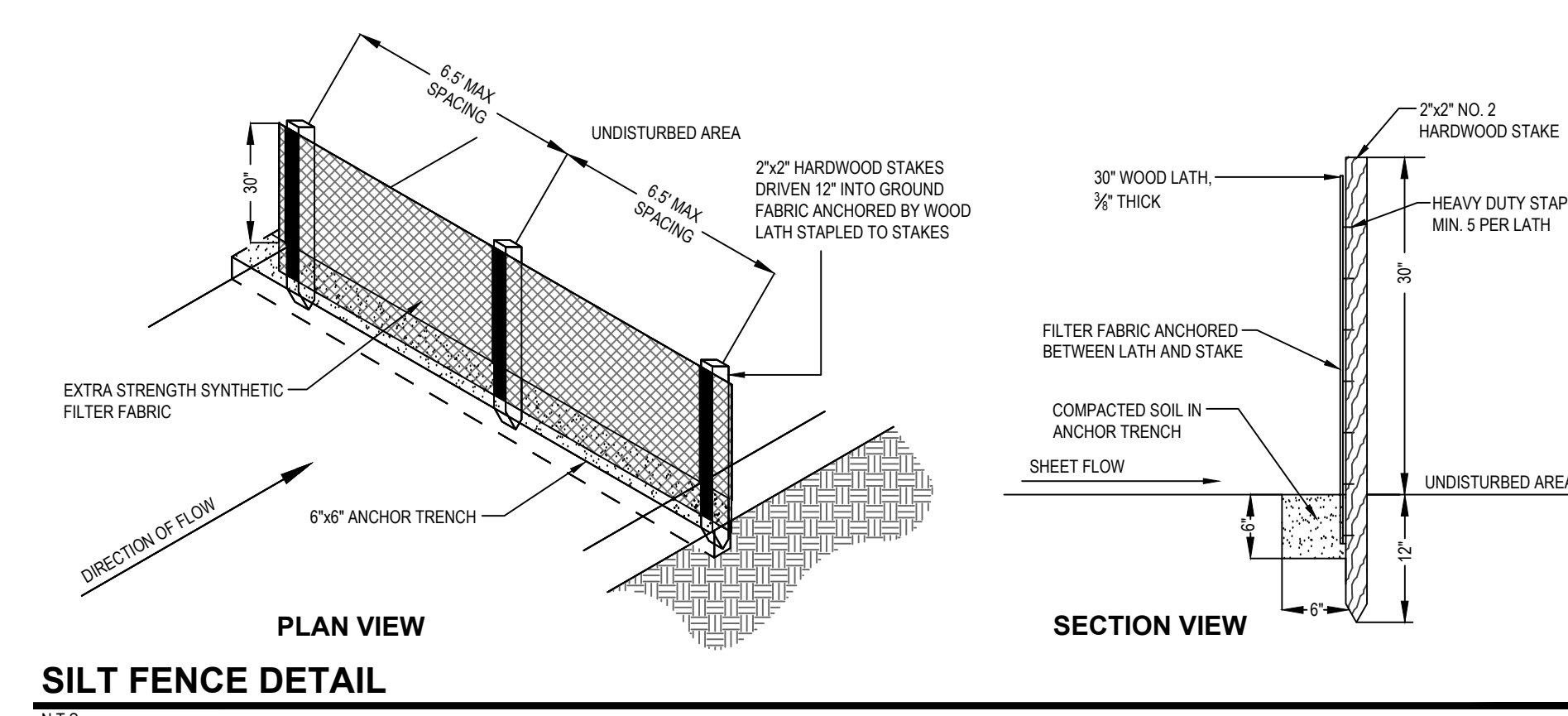
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SOIL EROSION CONTROL SCHEDULE 2020

	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC
PLACE SILT FENCE												
STRIP & STOCKPILE TOPSOIL												
ROUGH GRADE SITE												
CONSTRUCT UTILITY LINES												
FINISH GRADE SITE												
PAVE SITE												
RESURFACE TOPSOIL/COMPACTION												
SEED DISTURBED AREAS												
SITE RESTORATION/CLEAN UP												

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NEDERVELD
www.nederveld.com
800.222.1868
GRAND RAPIDS
217 Grandville Ave., Suite 302
Grand Rapids, MI 49503
Phone: 616.575.5190

ANN ARBOR
CHICAGO
COLUMBUS
HOLLAND
INDIANAPOLIS
ST. LOUIS

PREPARED FOR:
Vine Street Cottages, LLC
ATTN: Brad Rottschäfer
2050 Celandon Drive
Suite B
Grand Rapids, MI 49525

REVISIONS:

Rev	Date	By	Check	Description
1	03.19.19	KL/SWA		Submittal
2	03.19.19	DTP	Checked	
3	04.29.19	DTP	Checked	
4	04.29.19	DTP	Checked	
5	04.29.19	DTP	Checked	
6	06.06.19	DTP	Checked	
7	06.06.19	DTP	Checked	
8	06.06.19	DTP	Checked	
9	06.06.19	DTP	Checked	
10	06.06.19	DTP	Checked	
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27	06.06.19	DTP	Checked	
28	06.06.19	DTP	Checked	
29	06.06.19	DTP	Checked	
30	06.06.19	DTP	Checked	

Vine Street Cottages
Private Road & Utilities Grading Plan
PART OF GOVERNMENT LOT 4 OF SECTION 9, T3N, R18W,
CITY OF SAUGRUCK, ALLEGAN COUNTY, MICHIGAN

STAMP:

STATE OF MICHIGAN
ROGER JACK
ENGINEER
No. 41990

PROJECT NO:
16201802

SHEET NO:
C-301

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Experience... the Difference

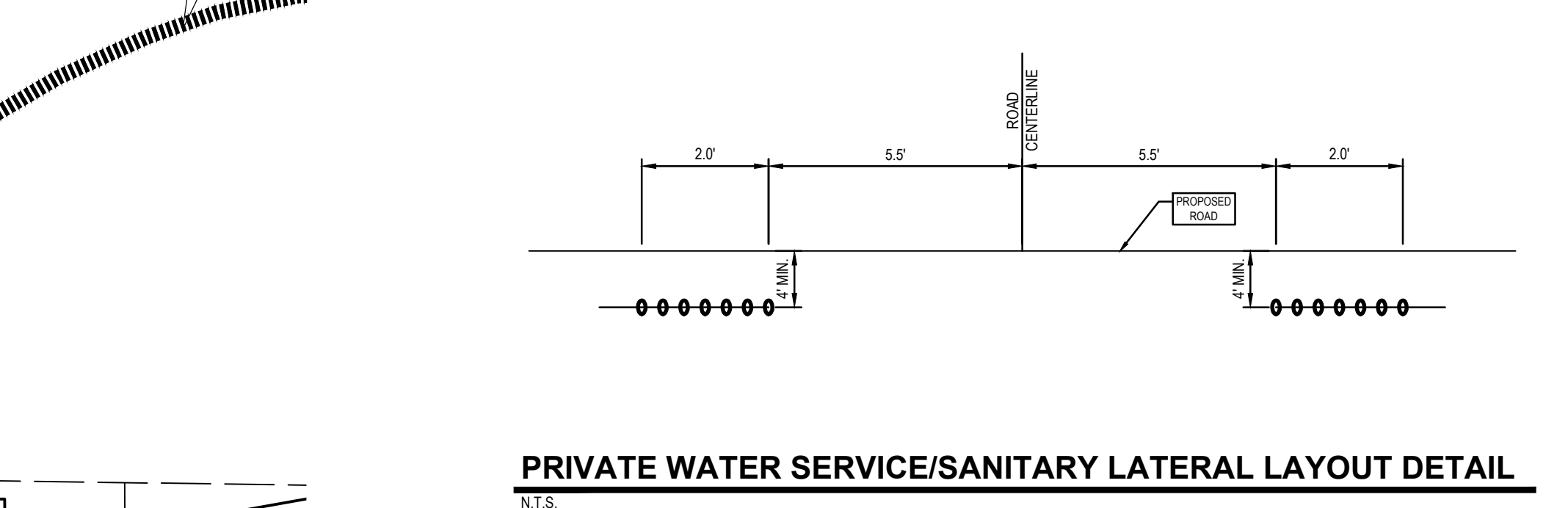
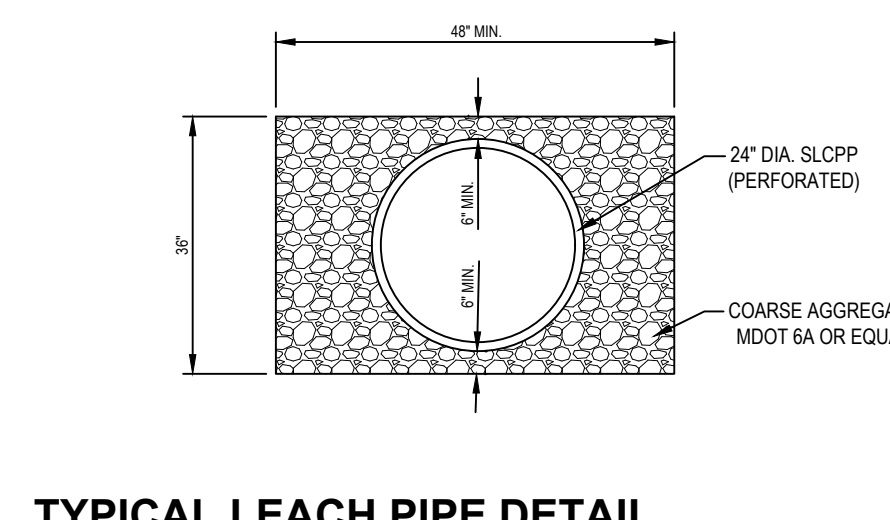
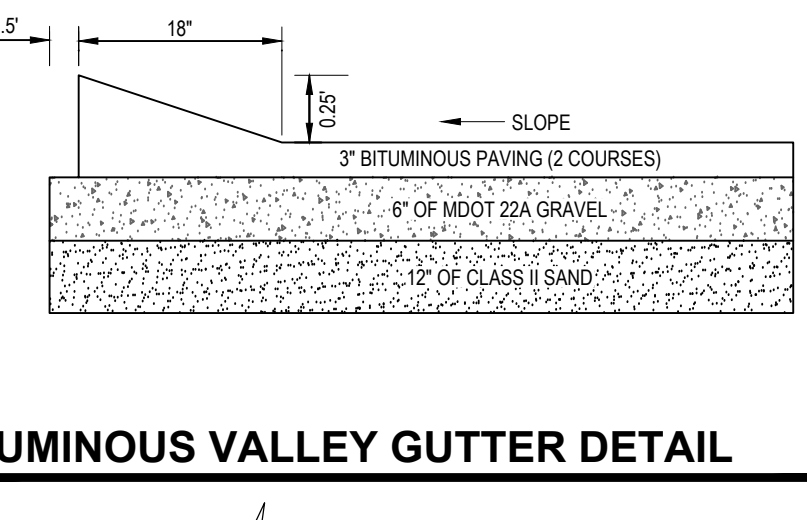
NEDERVELD
 www.nederveld.com
 800.222.1868
GRAND RAPIDS
 217 Grandville Ave., Suite 302
 Grand Rapids, MI 49503
 Phone: 616.575.5190

ANN ARBOR
 CHICAGO
 COLUMBUS
 HOLLAND
 INDIANAPOLIS
 ST. LOUIS

PREPARED FOR:
 Vine Street Cottages, LLC
 ATTN: Brad Rottschafer
 2050 Celandon Drive
 Suite B
 Grand Rapids, MI 49525

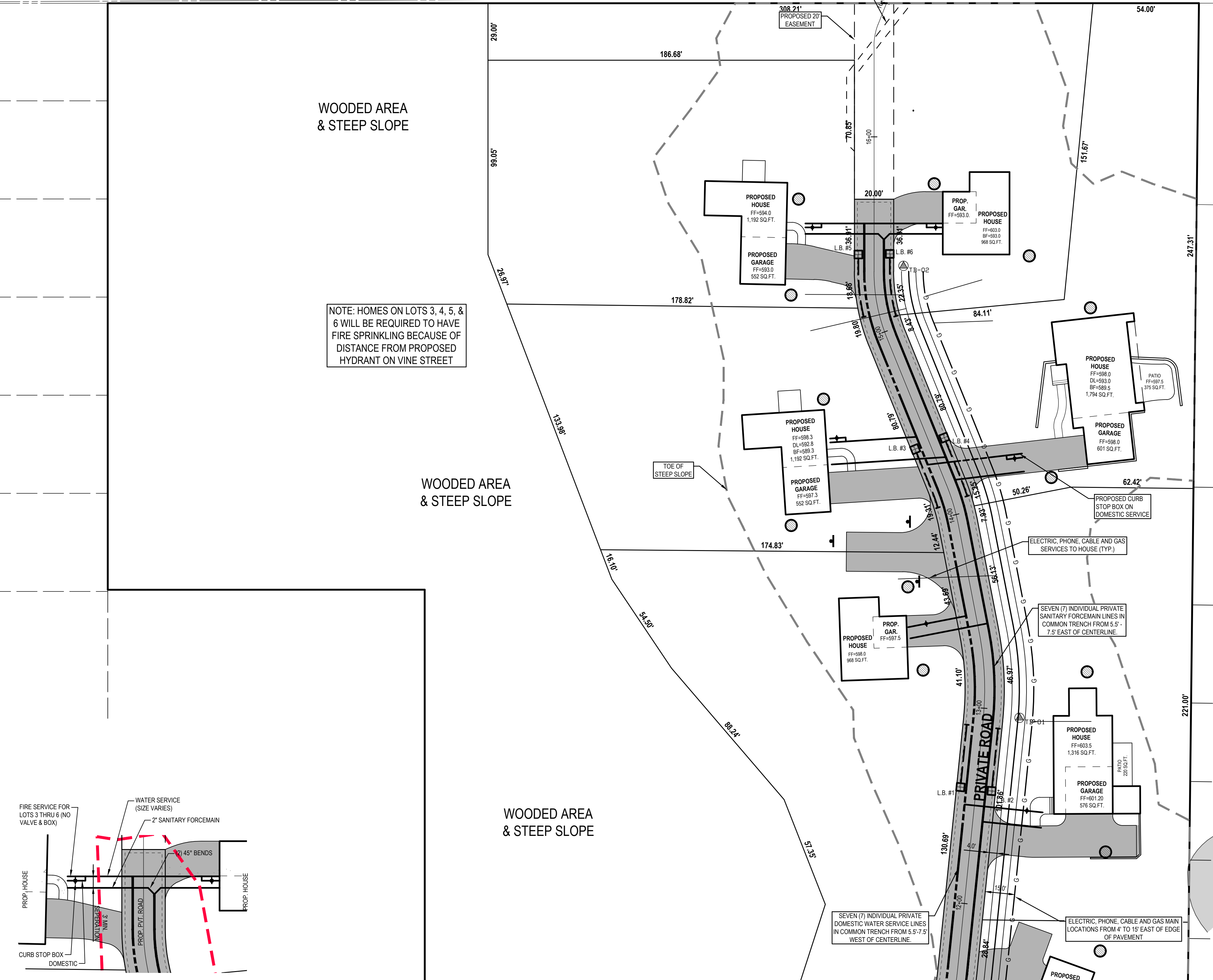
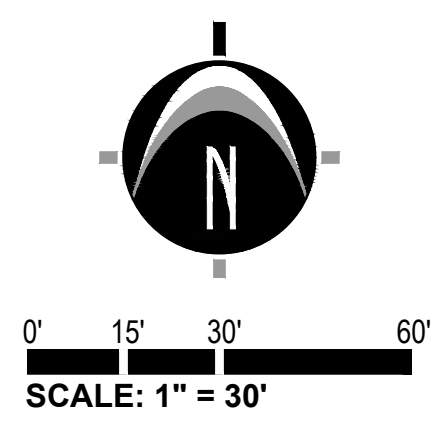
REVISIONS:

Title	Submitted to	Checked	By	Date
Title: Submit to	NLS/SA	Y	Date: 03.19.19	
Drawn: DTP	Checked: JB	S	Date: 03.19.19	
Title: Review	Y	S	Date: 04.29.19	
Drawn: DTP	Checked: JB	S	Date: 04.29.19	
Title: S.E.C. Permit	Y	S	Date: 06.06.19	
Drawn: DTP	Checked: JB	S	Date: 06.06.19	
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Drawn: DTP	Checked: JB	S	Date: 04.23.19	
Title: City Engineer Review	Y	S	Date: 04.17.19	
Drawn: DTP	Checked: JB	S	Date: 04.17.19	
Title: MDCS Review	Y	S	Date: 07.15.19	
Drawn: DTP	Checked: JB	S	Date: 07.15.19	
Title: City Engineer	Y	S	Date: 08.12.19	
Drawn: BEAM	Checked: JB	S	Date: 08.12.19	
Title: Fire Chief	Y	S	Date: 10.15.19	
Drawn: BEAM	Checked: JB	S	Date: 10.15.19	
Title: Developer	Y	S	Date: 12.10.19	
Drawn: DTP	Checked: JB	S	Date: 12.10.19	
Title: For Construction	Y	S	Date: 07.15.20	
Drawn: BEAM	Checked: JB	S	Date: 07.15.20	



PROPOSED PRIVATE ROAD CROSS SECTION
 N.T.S.

- CONSTRUCTION NOTES**
- STORM SEWER**
- ALL LEACH BASINS SHOULD BE PROVIDED WITH A MINIMUM 2' SLUMP.
 - ALL STORM SEWERS SHALL BE LEACH TYPE PIPE AND SHALL BE SMOOTH LINED CORRUGATED POLYETHYLENE PIPE (SLPP) WITH GASKETS, PER 100' MEETING THE REQUIREMENTS OF THE MICHIGAN PLUMBING CODE, ASHTO M-252 AND M-26, ASTM F2096, F-2086, F-2147, F-2402, F-3369 AND F-417. INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND ASTM D-2021.
 - ALL CATCH BASINS SHALL BE CONCRETE, CONFORMING TO ASTM C-900. ALL CATCH BASIN SHALL BE LEACH BASINS.
 - ALL CATCH BASINS ARE DRAWN AND WILL BE STAKED AT CENTER OF CASTING.
- WATERMAIN AND SANITARY SEWER**
- ALL WATERMAIN AND SANITARY SEWER CONSTRUCTION SHALL CONFORM TO THE CITY STANDARD CONSTRUCTION SPECIFICATIONS, INCLUDING POST CONSTRUCTION VIDEO INSPECTION OF THE SANITARY SEWER SYSTEM.
- GENERAL**
- ALL CONSTRUCTION AND MATERIAL SPECIFICATIONS INCLUDED FOR THIS PROJECT SHALL BE IN ACCORDANCE WITH THE MOST CURRENT CONSTRUCTION AND MATERIAL SPECIFICATIONS (LATEST EDITION) AND THE ORDINANCES OF THE CITY, WHERE CONFLICTS OCCUR IN THE ABOVE, THE CITY SHALL BE THE GOVERNING AUTHORITY.
 - SOIL BORINGS HAVE BEEN PERFORMED BY THE OWNER AND SHALL BE PROVIDED TO THE CONTRACTOR. VARIATION IN SOIL CONDITIONS MAY IMPACT THE EARTHWORK QUANTITIES. FINISHABLE SOILS ARE ENCOUNTERED DURING CONSTRUCTION.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGES TO THE EXISTING WATER AND SEWER SYSTEM RESULTING FROM NONCONFORMANCE WITH THE APPLICABLE STANDARDS OR THROUGH GENERAL NEGLIGENCE.
 - ALL WORK, INCLUDING INSPECTION AND TESTING COSTS REQUIRED FOR REMOVAL, RELOCATION OR NEW CONSTRUCTION FOR PRIVATE OR PUBLIC UTILITIES, WILL BE DONE BY AND AT THE EXPENSE OF THE CONTRACTOR AND IS INCLUDED IN THE BID PRICE FOR THE VARIOUS WORK ITEMS UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND PAYING FOR ALL NECESSARY PERMITS FROM THE CITY AND COUNTY AND ANY OTHER AGENCY FOR ALL WORK DONE BY THE CONTRACTOR. ANY DEFECTS IN THE CONSTRUCTION, INCLUDING MATERIALS OR WORKMANSHIP, SHALL BE REPLACED OR CORRECTED BY REMOVAL AND REPLACEMENT OR OTHER APPROVED METHOD PRIOR TO ACCEPTANCE BY THE CITY OR OWNER WITHOUT ANY ADDITIONAL COST TO THE CITY OR OWNER.
 - ALL MAIN AREAS REMOVED OR DISTURBED SHALL BE REPLACED WITH TOPSOIL AND SOIL WHERE NEEDED AND SHALL BE RESEEDED AND MULCHED IF SATISFACTORY.
 - RE-ESTABLISHMENT OF LAWN DOES NOT OCCUR.
 - ALL PUNCH LIST AND DEFICIENCY WORK SHALL BE COMPLETED WITHIN 1 MONTH OF THE END OF CONSTRUCTION.
 - THE CONTRACTOR SHALL OBTAIN A STREET OPENING PERMIT FROM THE CITY BEFORE BEGINNING WORK WITHIN ANY PUBLIC STREET RIGHT OF WAY.
 - THE CONTRACTOR SHALL MAINTAIN A CURRENT SET OF CONSTRUCTION DIMENSIONS ON SITE AT ALL TIMES.
 - THESE PLANS HAVE BEEN DEVELOPED FOR ELECTRONIC FIELD LAYOUT. DIMENSIONS SHOWN ARE FOR GRAPHIC PRESENTATION ONLY AND SHOULD NOT BE USED FOR LAYOUT. CONTACT THE ENGINEER IF ANY DISCREPANCIES BETWEEN THE PLAN AND ELECTRONIC DATA ARE DISCOVERED.
 - THE WORK LIMITS SHOWN ON THESE PLANS ARE FOR PHYSICAL CONSTRUCTION ONLY. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY LIGHTS, BARRICADES, FLAGMEN, ETC. AS REQUIRED TO PERFORM THE REQUIRED WORK. THE INSTALLATION AND OPERATION OF ALL TEMPORARY TRAFFIC CONTROL AND TEMPORARY TRAFFIC CONTROL DEVICES AS REQUIRED SHALL BE PROVIDED BY THE CONTRACTOR. REQUIRED WORK SHALL INCLUDE THE REMOVAL AND REPLACEMENT OF ANY EXISTING CONCRETE BLOCKOUT PAVEMENT, DAMAGED PAVEMENT, SIDEWALKS OR OTHER SUCH LOAD TRANSFER DEVICES SHALL BE REPLACED AS DIRECTED BY THE CITY AND THE ENGINEER.
 - ALL EXISTING CURBS OR STRUCTURES TO BE ADJUSTED OR RECONSTRUCTED TO GRADE SHALL BE FIELD CHECKED AT THE TIME OF CONSTRUCTION AND MARKED SUITABLE FOR SALVAGE AND REUSE OR REJECTED.
 - COMPACTED PREMIUM BACKFILL (MOOT CLASS II SAND) WILL BE REQUIRED AT ALL FILL AREAS OR ANY STREETS WHERE REMOVAL AND RECONSTRUCTION OF PAVEMENT IS REQUIRED AND FOR ALL UNDERGROUND CONSTRUCTION UNDER ANY DRIVEWAY OR PAVEMENT INCLUDING THE 45 DEGREE ANGLES OR INFLUENCES FROM THE OUTSIDE EDGE OF PAVEMENT OR TOP OF CURB. COMPACTION TESTS SHALL BE REQUIRED EVERY 50 FEET UNDER PAVEMENT. PAVEMENT INCLUDES BUT NOT LIMITED TO: STREETS, SURFACES, SIDEWALKS, BIKE LANEWAYS, SHOULDER, BUILDINGS, ETC.
 - NO SOLID WASTE MATERIAL, EQUIPMENT, VEHICLES OR CRUMBS SHALL BE STORED OR PLACED OUTSIDE MATERIALS. EQUIPMENT, VEHICLES OR CRUMBS SHALL BE PLACED PRIOR TO COMMENCING CLEARING OPERATIONS, EARTHWORK GRADING, OR ANY OTHER TYPE OF CONSTRUCTION ACTIVITY.
 - ROOF DRAIN, FOUNDATION DRAINS AND OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER ARE PROHIBITED.
 - INDICATING NO TREE REMOVAL OR DISTURBANCE OUTSIDE LIMITS, THE CITY AND OWNER SHALL BE CONTACTED PRIOR TO DETERMINATION OF LIMITS IN THE FIELD.
 - ALL ROAD SURFACE EASEMENTS OR RIGHT OF WAY DISTURBED BY CONSTRUCTION OF ANY PART OF THE IMPROVEMENT ARE TO BE RESTORED COMPLETELY TO THE SATISFACTION OF THE CITY AND THE OWNER.
 - NO PARKING OF CONTRACTOR OR CONTRACTOR EMPLOYEE'S VEHICLES ON ANY PUBLIC STREETS SHALL BE PERMITTED.
 - ALL DISTURBED SIGNS, GUARDRAILS, MAIL BOXES, AND DRIVEWAYS SHALL BE REPAIRED OR REPLACED AS DIRECTED BY THE CITY AND THE OWNER.
 - DUST CONTROL: THE CONTRACTOR SHALL SUPPLY ALL LABOR, MATERIALS, AND EQUIPMENT NECESSARY TO CONTROL DUST, WATER OR A MISTED/DUST-FREE STREET SWEEEPING DEVICES TO MAINTAIN ALL ROADWAYS BEING USED FOR ACCESS TO THE CONSTRUCTION SITE AND SHALL ADHERE TO ALL ORDINANCES OF THE CITY, COUNTY, MICHIGAN OR ANY OTHER GOVERNING AUTHORITY.
 - ALL SEWER, MANHOLES, JUNCTION CHAMBERS AND INLET BASINS MUST BE COVERED BEFORE ACCEPTANCE BY THE CITY AND OWNER.
 - IF MUD, SOIL, OR OTHER DEBRIS IS DEPOSITED ON ADJACENT STREETS, ROADS OR OTHER PROPERTY, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF SUCH AT THE END OF EACH WORK DAY OR AS REQUIRED DURING THE WORK DAY.
 - ADJUST GRAB OR OTHER SUCH LOAD TRANSFER DEVICES SHALL BE REPLACED AND REPLACEMENT OF ANY EXISTING CONCRETE BLOCKOUT PAVEMENT, DAMAGED PAVEMENT, SIDEWALKS OR OTHER SUCH LOAD TRANSFER DEVICES SHALL BE REPLACED AS DIRECTED BY THE CITY AND THE ENGINEER.
 - ALL EXISTING CURBS OR STRUCTURES TO BE ADJUSTED OR RECONSTRUCTED TO GRADE SHALL BE FIELD CHECKED AT THE TIME OF CONSTRUCTION AND MARKED SUITABLE FOR SALVAGE AND REUSE OR REJECTED.
 - COMPACTED PREMIUM BACKFILL (MOOT CLASS II SAND) WILL BE REQUIRED AT ALL FILL AREAS OR ANY STREETS WHERE REMOVAL AND RECONSTRUCTION OF PAVEMENT IS REQUIRED AND FOR ALL UNDERGROUND CONSTRUCTION UNDER ANY DRIVEWAY OR PAVEMENT INCLUDING THE 45 DEGREE ANGLES OR INFLUENCES FROM THE OUTSIDE EDGE OF PAVEMENT OR TOP OF CURB. COMPACTION TESTS SHALL BE REQUIRED EVERY 50 FEET UNDER PAVEMENT. PAVEMENT INCLUDES BUT NOT LIMITED TO: STREETS, SURFACES, SIDEWALKS, BIKE LANEWAYS, SHOULDER, BUILDINGS, ETC.
 - NO SOLID WASTE MATERIAL, EQUIPMENT, VEHICLES OR CRUMBS SHALL BE STORED OR PLACED OUTSIDE MATERIALS. EQUIPMENT, VEHICLES OR CRUMBS SHALL BE PLACED PRIOR TO COMMENCING CLEARING OPERATIONS, EARTHWORK GRADING, OR ANY OTHER TYPE OF CONSTRUCTION ACTIVITY.
 - ROOF DRAIN, FOUNDATION DRAINS AND OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER ARE PROHIBITED.
 - INDICATING NO TREE REMOVAL OR DISTURBANCE OUTSIDE LIMITS, THE CITY AND OWNER SHALL BE CONTACTED PRIOR TO DETERMINATION OF LIMITS IN THE FIELD.
 - ALL ROAD SURFACE EASEMENTS OR RIGHT OF WAY DISTURBED BY CONSTRUCTION OF ANY PART OF THE IMPROVEMENT ARE TO BE RESTORED COMPLETELY TO THE SATISFACTION OF THE CITY AND THE OWNER.



SOIL BORING LOGS
 16201802 - Vine Street Cottages
 Soil Borings completed by Soils & Structures on 05-10-2018

TB-01
 0.7' - 0.25' TOPSOIL - DARK SANDY (3.0)
 0.25' - 10.0' SAND - BROWN FINE

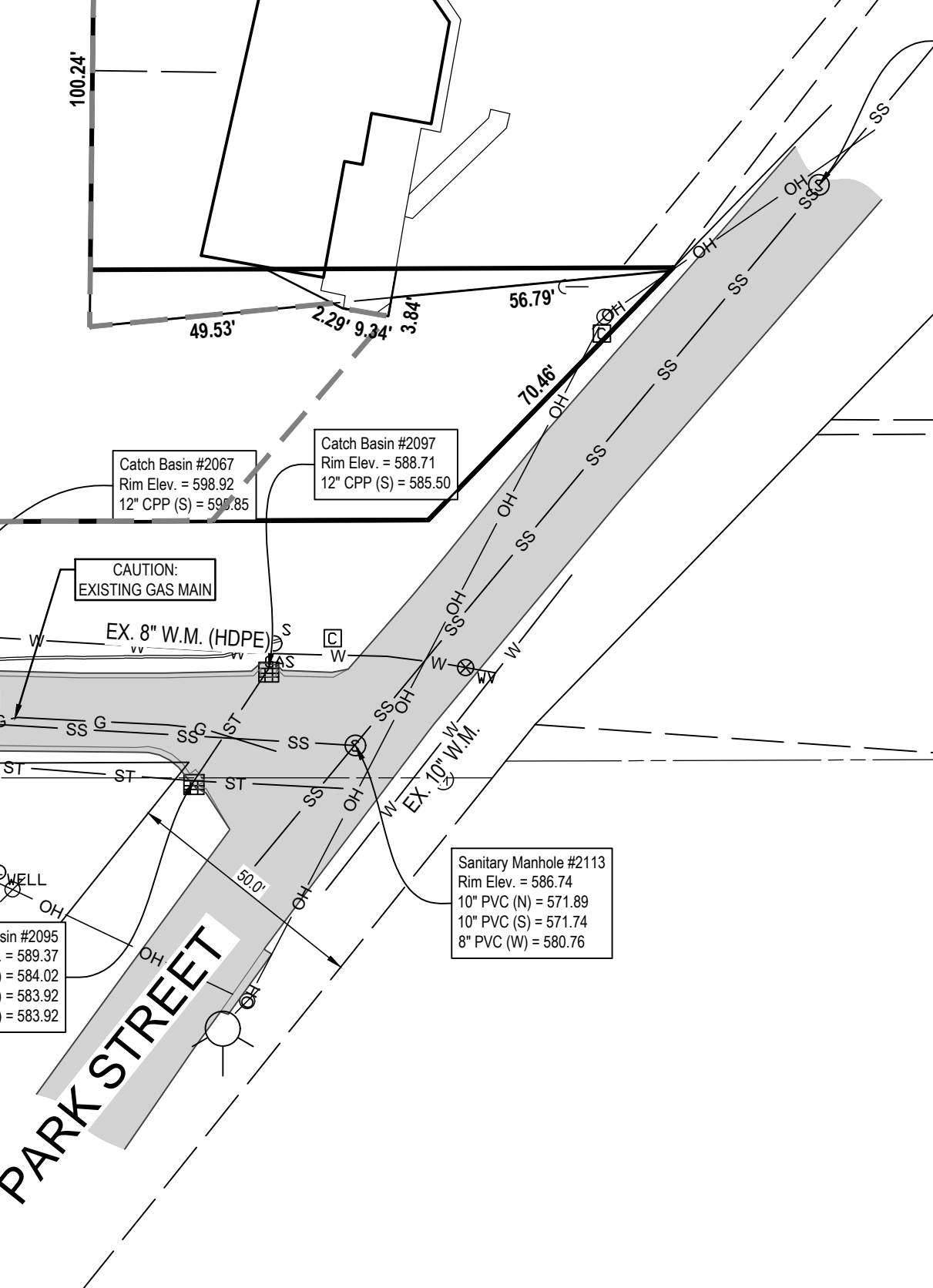
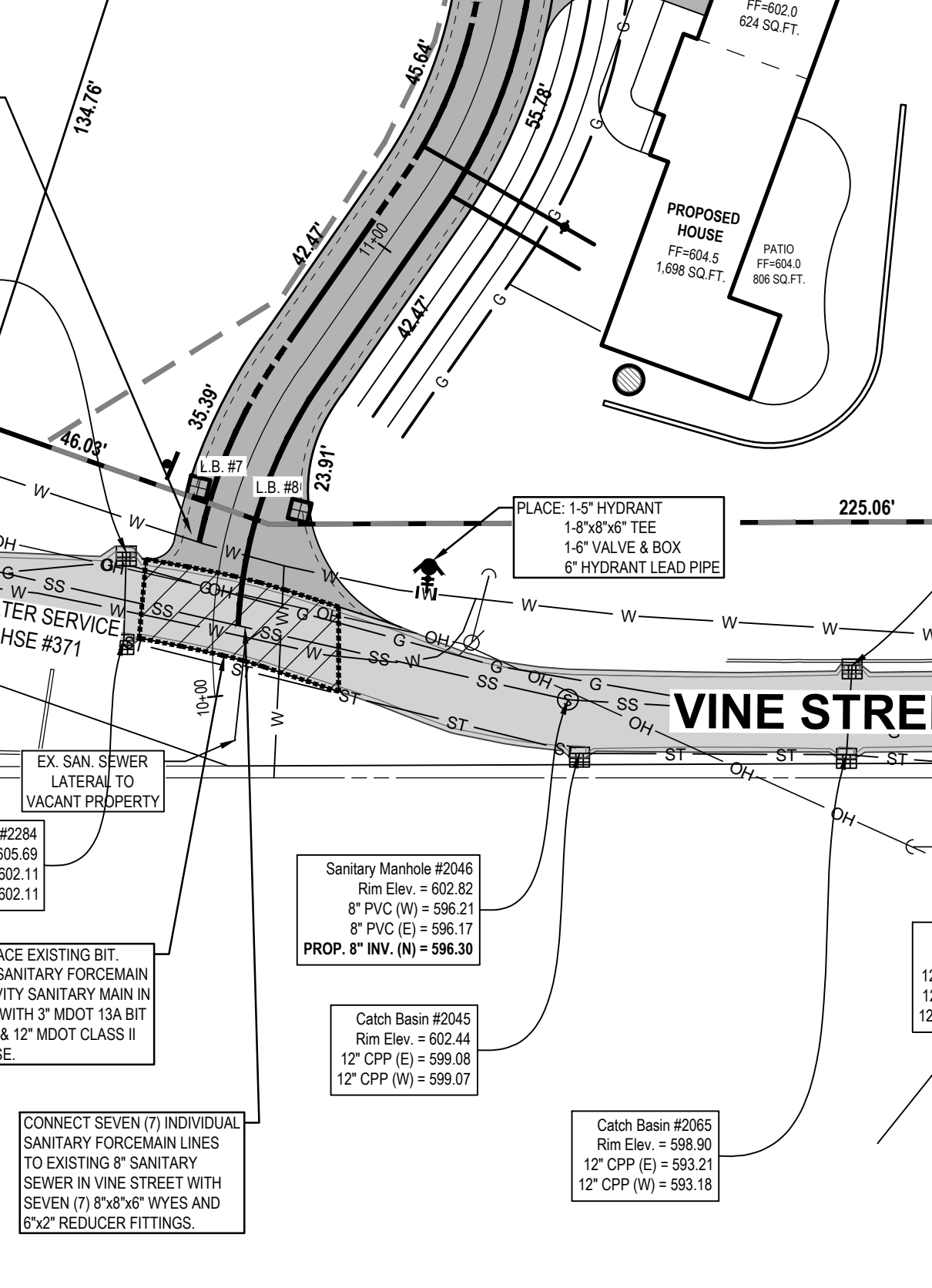
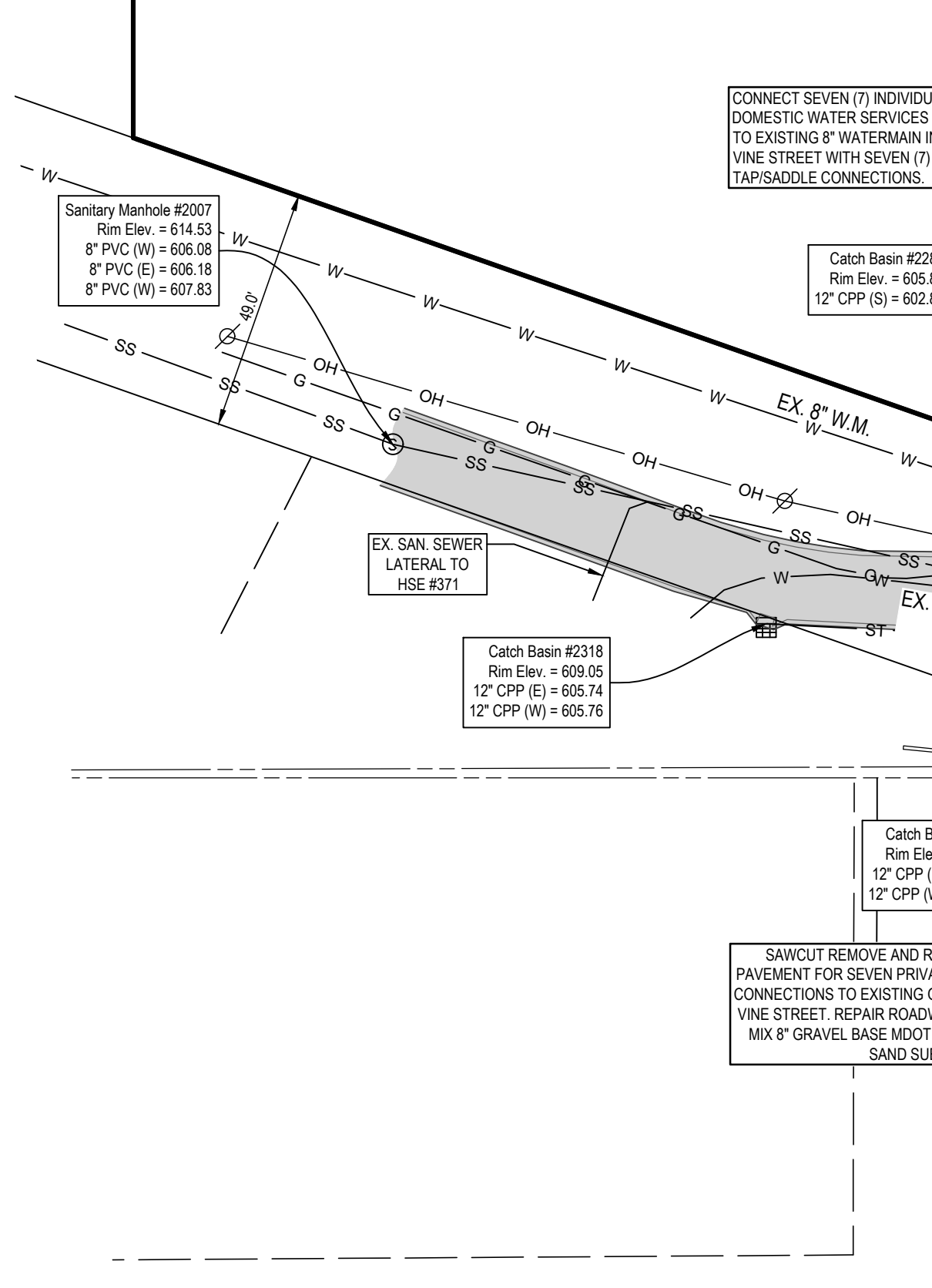
Notes: "Permeability tested at 5 feet - 17.1 inches/hour"
 Ground Water Levels at Time of Drilling: "Water not encountered"

TB-02
 0.7' - 0.08' TOPSOIL - DARK SANDY (1.0)
 0.08' - 10.0' SAND - BROWN FINE

Notes: "Permeability tested at 5 feet - 28.3 inches/hour"
 Ground Water Levels at Time of Drilling: "Water not encountered"

STORM SEWER DRAINAGE STRUCTURES

PROP.	RIM	INVERTS	DIA.	TYPE	STATION
1	597.85	24" N. INV.=592.77	5'	EJ #7030, M2, T3	-8.0 LEFT 12+59
2	597.94	24" N. INV.=592.87	5'	EJ #7030, M2, T3	8.0 RIGHT 12+58
3	595.67	24" S. INV.=590.87	5'	EJ #7030, M2, T3	-8.0 LEFT 14+39
4	595.93	24" S. INV.=590.85	5'	EJ #7030, M2, T3	8.0 RIGHT 14+39
5	592.00	24" S. INV.=586.94	5'	EJ #7030, M2, T3	-8.0 LEFT 15+40
6	592.00	24" S. INV.=586.94	5'	EJ #7030, M2, T3	8.0 RIGHT 15+40
7	606.84		5'	EJ #7030, M2, T3	-8.0 LEFT 10+40
8	606.74		5'	EJ #7030, M2, T3	13.0 RIGHT 10+42



Vine Street Cottages
 Utility Plan

PART OF GOVERNMENT LOT 4 OF SECTION 9 T3M, R16W,
 CITY OF SAULGATUCK, ALLEGAN COUNTY, MICHIGAN

STAMP:

STATE OF MICHIGAN
 BOB JACK
 RARR II
 ENGINEER
 No. 41990
 LICENSED PROFESSIONAL ENGINEER

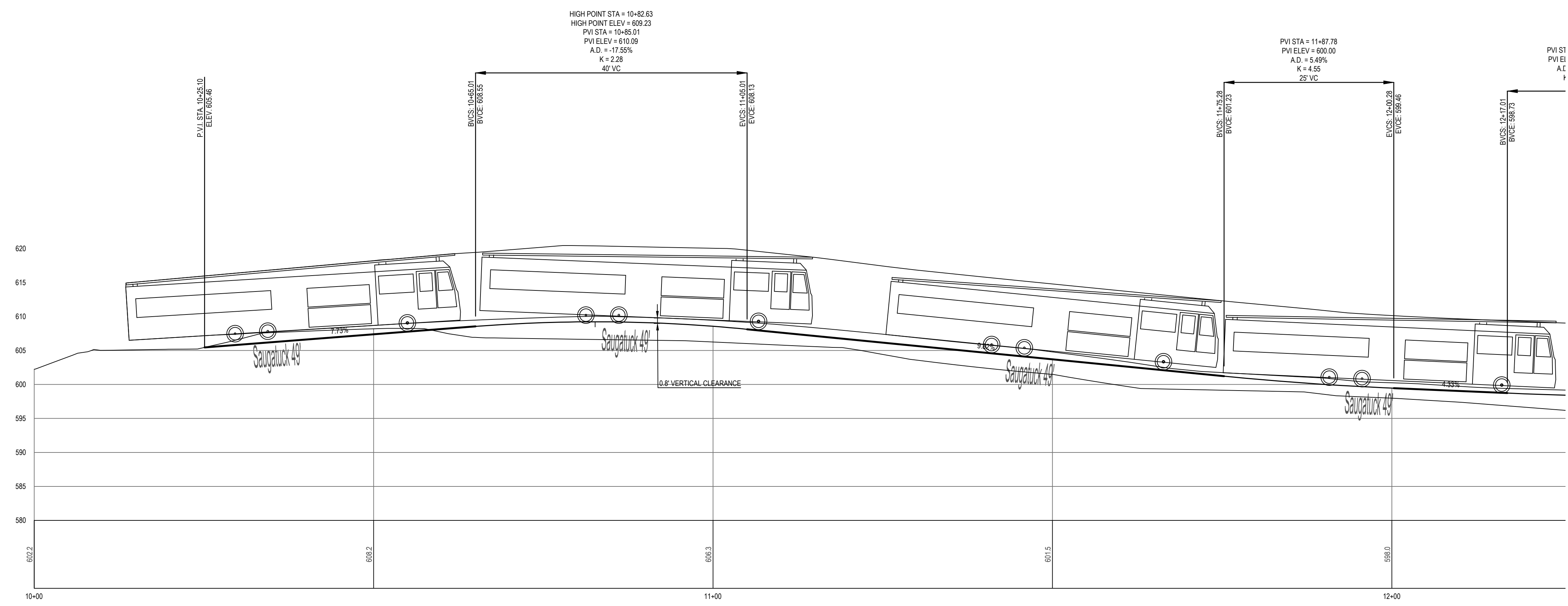
PROJECT NO:
 16201802

SHEET NO:
 C-400

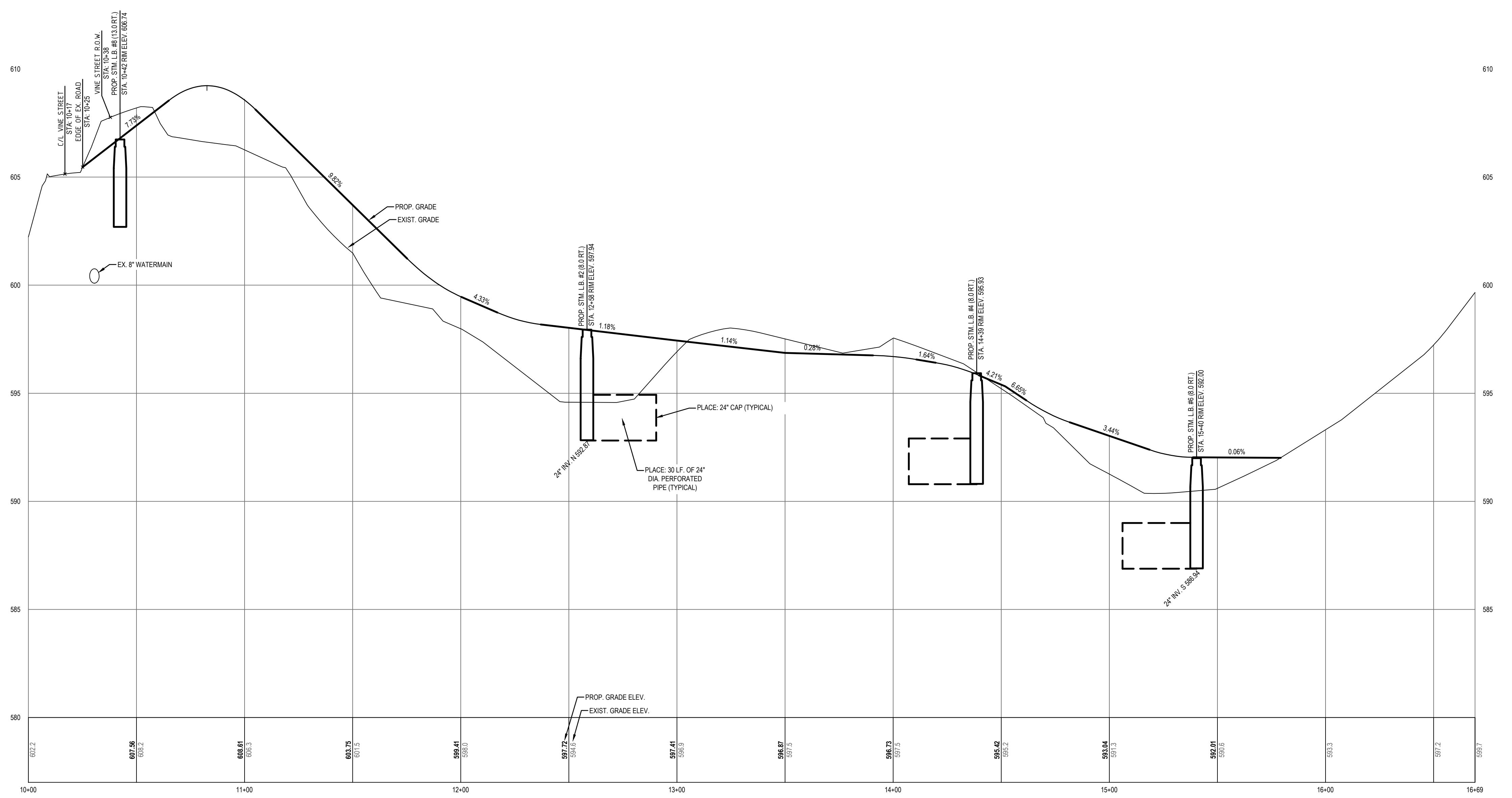
PREPARED FOR:
 Vine Street Cottages, LLC
 ATTN: Brad Rottschafer
 2050 Celadon Drive
 Suite B
 Grand Rapids, MI 49525

REVISIONS:

Title: Submitted to NLS/RA	V. Date: 03.19.19
Drawn: DTP	Checked: JB
Title: Review	V. Date: 04.29.19
Drawn: DTP	Checked: JB
Title: S.E.S.C. Permit	V. Date: 06.06.19
Drawn: DTP	Checked: JB
Title: Fire Chief Review	V. Date: 04.23.19
Drawn: DTP	Checked: JB
Title: City Engineer Review	V. Date: 04.17.19
Drawn: DTP	Checked: JB
Title: MDEQ Review	V. Date: 07.15.19
Drawn: DTP	Checked: JB
Title: City Engineer	V. Date: 07.15.19
Drawn: BEM	Checked: JB
Title: Fire Chief	V. Date: 10.15.19
Drawn: BEM	Checked: JB
Title: Developer	V. Date: 12.10.19
Drawn: DTP	Checked: JB
Title: For Construction	V. Date: 07.15.20
Drawn: BEM	Checked: JB



FIRE TRUCK APPROACH & DEPARTURE DETAIL
 HORIZ. SCALE: 1" = 10'
 VERT. SCALE: 1" = 1'



PRIVATE ROAD
 HORIZ. SCALE: 1" = 30'
 VERT. SCALE: 1" = 3'

811 Know what's below.
 CALL before you dig.

UTILITY LOCATIONS ARE DERIVED FROM ACTUAL MEASUREMENTS OR AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATIONS NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THIS AREA.

NOTE: EXISTING UTILITIES AND SERVICE LINES IDENTIFIED AS "PLAN" WERE OBTAINED FROM AVAILABLE ALREADY RECORDED DRAWINGS. THE CONTRACTOR SHALL VERIFY THE LOCATION, DEPTH AND STATUS OF ALL UTILITIES AND SERVICE LINES PRIOR TO NEW CONNECTIONS.

Vine Street Cottages
Private Road Profile
 PART OF GOVERNMENT LOT 4 OF SECTION 9 T3M, R16W,
 CITY OF SAUGATUCK, ALLEGAN COUNTY, MICHIGAN

STAMP:

STATE OF MICHIGAN
 ROGER JACK
 BARR II
 ENGINEER
 No. 41990
 PROFESSIONAL REGISTERED

R. Jack

PROJECT NO:
 16201802

SHEET NO:
C-401

Exhibit D



**MICHIGAN DEPARTMENT OF ENVIRONMENT, GREAT LAKES, AND ENERGY
WATER RESOURCES DIVISION
PERMIT**

Issued To:

Mr. Brad Rottschafer
Vine Street Cottages, LLC
2050 Celadon Drive NE, Suite B
Grand Rapids, MI 49525

Permit No: WRP023252 v1.0
Submission No: HNN-JX5G-YJVHN
Site Name: 03-Vine Street Cottages on Vine Street-Saugatuck
Issued: August 31, 2020
Revised:
Expires: August 31, 2025

This permit is being issued by the Michigan Department of Environment, Great Lakes, and Energy (EGLE), Water Resources Division, under the provisions of the Natural Resources and Environmental Protection Act, 1994 PA 451, as amended (NREPA); specifically:

Part 353, Sand Dunes Protection and Management

Permission is hereby granted, based on permittee assurance of adherence to State of Michigan requirements and permit conditions, to:

Authorized Activity:

Construct a new approximately 570-foot-long private road with underground utilities including water, sewer, electric, gas, cable and telephone to access seven residential building lots. Clear and grade the areas directly adjacent to the new private roadway. The proposed road area permanently impacts approximately 0.82 acres of wooded dune with an additional 0.68 acres impacted by grading and tree clearing activities. Restore all areas disturbed by the construction of the roadway, supporting infrastructure and all other structures with native dune vegetation per the attached revegetation plan.

All work shall be completed in accordance with the attached plans approved by EGLE on August 31, 2020 and the permit specifications listed herein.

Waterbody Affected: Lake Michigan/Kalamazoo River
Property Location: Allegan County, City of Saugatuck, Town/Range/Section 03N16W09,
Property Tax No: 03-57-009-051-10

Authority granted by this permit is subject to the following limitations:

- A. Initiation of any work on the permitted project confirms the permittee's acceptance and agreement to comply with all terms and conditions of this permit.
- B. The permittee, in exercising the authority granted by this permit, shall not cause unlawful pollution as defined by Part 31 of the NREPA.
- C. This permit shall be kept at the site of the work and available for inspection at all times during the duration of the project or until its date of expiration.
- D. All work shall be completed in accordance with the approved plans and specifications submitted with the application and/or plans and specifications attached to this permit.
- E. No attempt shall be made by the permittee to forbid the full and free use by the public of public waters at or adjacent to the structure or work approved.
- F. It is made a requirement of this permit that the permittee give notice to public utilities in accordance with 2013 PA 174 (Act 174) and comply with each of the requirements of Act 174.
- G. This permit does not convey property rights in either real estate or material, nor does it authorize any injury to private property or invasion of public or private rights, nor does it waive the necessity of seeking federal assent, all local permits, or complying with other state statutes.
- H. This permit does not prejudice or limit the right of a riparian owner or other person to institute proceedings in any circuit court of this state when necessary to protect his rights.
- I. Permittee shall notify EGLE within one week after the completion of the activity authorized by this permit by completing and forwarding the attached preaddressed postcard to the office addressed thereon.
- J. This permit shall not be assigned or transferred without the written approval of EGLE.
- K. Failure to comply with conditions of this permit may subject the permittee to revocation of permit and criminal and/or civil action as cited by the specific state act, federal act, and/or rule under which this permit is granted.
- L. All dredged or excavated materials shall be disposed of in an upland site (outside of floodplains, unless exempt under Part 31 of the NREPA, and wetlands).
- M. In issuing this permit, EGLE has relied on the information and data that the permittee has provided in connection with the submitted application for permit. If, subsequent to the issuance of a permit, such information and data prove to be false, incomplete, or inaccurate, EGLE may modify, revoke, or suspend the permit, in whole or in part, in accordance with the new information.
- N. The permittee shall indemnify and hold harmless the State of Michigan and its departments, agencies, officials, employees, agents, and representatives for any and all claims or causes of action arising from acts or omissions of the permittee, or employees, agents, or representative of the permittee, undertaken in connection with this permit. The permittee's obligation to indemnify the State of Michigan applies only if the state: (1) provides the permittee or its designated representative written notice of the claim or cause of action within 30 days after it is received by the state, and (2) consents to the permittee's participation in the proceeding on the claim or cause of action. It does not apply to contested case proceedings under the Administrative Procedures Act, 1969 PA 306, as amended, challenging the permit. This permit shall not be construed as an indemnity by the State of Michigan for the benefit of the permittee or any other person.
- O. Noncompliance with these terms and conditions and/or the initiation of other regulated activities not specifically authorized shall be cause for the modification, suspension, or revocation of this permit, in whole or in part. Further, EGLE may initiate criminal and/or civil proceedings as may be deemed necessary to correct project deficiencies, protect natural resource values, and secure compliance with statutes.
- P. If any change or deviation from the permitted activity becomes necessary, the permittee shall request, in writing, a revision of the permitted activity from EGLE. Such revision request shall include complete documentation supporting the modification and revised plans detailing the proposed modification. Proposed modifications must be approved, in writing, by EGLE prior to being implemented.
- Q. This permit may be transferred to another person upon written approval of EGLE. The permittee must submit a written request to EGLE to transfer the permit to the new owner. The new owner must also submit a written request to EGLE to accept transfer. The new owner must agree, in writing, to accept all conditions of the permit. A single letter signed by both parties that includes all the above information may

- be provided to EGLE. EGLE will review the request and, if approved, will provide written notification to the new owner.
- R. Prior to initiating permitted construction, the permittee is required to provide a copy of the permit to the contractor(s) for review. The property owner, contractor(s), and any agent involved in exercising the permit are held responsible to ensure that the project is constructed in accordance with all drawings and specifications. The contractor is required to provide a copy of the permit to all subcontractors doing work authorized by the permit.
- S. Construction must be undertaken and completed during the dry period of the wetland. If the area does not dry out, construction shall be done on equipment mats to prevent compaction of the soil.
- T. Authority granted by this permit does not waive permit requirements under Part 91, Soil Erosion and Sedimentation Control, of the NREPA, or the need to acquire applicable permits from the County Enforcing Agent (CEA).
- U. Authority granted by this permit does not waive permit requirements under the authority of Part 305, Natural Rivers, of the NREPA. A Natural Rivers Zoning Permit may be required for construction, land alteration, streambank stabilization, or vegetation removal along or near a natural river.
- V. The permittee is cautioned that grade changes resulting in increased runoff onto adjacent property is subject to civil damage litigation.
- W. Unless specifically stated in this permit, construction pads, haul roads, temporary structures, or other structural appurtenances to be placed in a wetland or on bottomland of the water body are not authorized and shall not be constructed unless authorized by a separate permit or permit revision granted in accordance with the applicable law.
- X. For projects with potential impacts to fish spawning or migration, no work shall occur within fish spawning or migration timelines (i.e., windows) unless otherwise approved in writing by the Michigan Department of Natural Resources, Fisheries Division.
- Y. Work to be done under authority of this permit is further subject to the following special instructions and specifications:
1. Authority granted by this permit does not waive permit or program requirements under Part 91 of the NREPA or the need to acquire applicable permits from the CEA. To locate the Soil Erosion Program Administrator for your county, visit www.mi.gov/eglestormwater and select "Soil Erosion and Sedimentation Control Program" under "Related Links."
 2. The authority to conduct the activity as authorized by this permit is granted solely under the provisions of the governing act as identified above. This permit does not convey, provide, or otherwise imply approval of any other governing act, ordinance, or regulation, nor does it waive the permittee's obligation to acquire any local, county, state, or federal approval or authorization necessary to conduct the activity.
 3. No fill, excess soil, or other material shall be placed in any wetland, floodplain, or surface water area not specifically authorized by this permit, its plans, and specifications.
 4. This permit does not authorize or sanction work that has been completed in violation of applicable federal, state, or local statutes.
 5. The permit placard shall be kept posted at the work site in a prominent location at all times for the duration of the project or until permit expiration.
 6. This permit is being issued for the maximum time allowed and no extensions of this permit will be granted. Initiation of the construction work authorized by this permit indicates the permittee's acceptance of this condition. The permit, when signed by EGLE, will be for a five-year period beginning on the date of issuance. If the project is not completed by the expiration date, a new permit must be sought.
 7. Notification shall be provided to EGLE by telephone 72 hours prior to commencing construction, vegetation removal, or grading activity. Contact: John Bayha at bayhaj@michigan.gov; 269-568-2680.

8. Submit to this office within 60 days of project completion "as-built" plans, signed and sealed by a qualified design professional licensed by the State of Michigan, certifying that the project has been completed in accordance with this permit.
9. All slopes steeper than one on three (33%) must not be disturbed either permanently or temporarily.
10. All earth moving and contour changes must occur within five (5) feet of the "Limits of Grading" (proposed contours) shown on the attached permit plans and further described in the site plan within the vegetation assurance.
11. The removal and re-establishment of vegetation must be in accordance with the submitted vegetation written assurance submitted by King & MacGregor Environmental, Inc., and the drawings attached to this permit. The following conditions are listed in order to clarify and/or expand on the permitted activity and the referenced written vegetation assurance:
 - a. The tree pest, Hemlock woolly adelgid (HWA), is known to infest Eastern hemlock and Tiger-tail spruce trees in this county. The Michigan Department of Agriculture and Rural Development (MDARD) has issued a quarantine on the movement of all branches, boughs, any tree part bearing twigs and needles and uncomposted, chipped/shredded/ground parts that include twigs and needles. Issuance of this permit does not obviate the need to obtain approval to move Eastern hemlock and Tiger-tail spruce parts off the project site prior to commencement of construction activity as stated in the quarantine effective on July 5, 2017 by authority of Public Act 72 of 1945, as amended. In Allegan and Ottawa counties, contact MDARD Region 2 Supervisor, Mr. Mike Hansen, HansenmG@michigan.gov or 269-429-0669. In Muskegon and Oceana counties, contact MDARD Region 1 Supervisor, Mr. John Hill, HillJ1@michigan.gov or 231-922-5233.
 - b. Vegetation changes, including tree removal, shall occur only within "Limits of Grading" shown on the attached plans.
 - c. In fill areas greater than ten (10) feet beyond the permitted road shoulder, root-mass and stumps shall be left in place, except for the locations of structures such as retaining walls, septic systems, buildings, parking areas, etc. as shown on project drawings.
 - d. Permittee shall document the number of trees that are removed and shall furthermore document that more trees are replaced than were removed.
 - e. All disturbed areas shall be re-vegetated with native dune vegetation.
 - f. Immediately upon completion of construction, all impacted areas between the "Limits of Grading" shown on the attached plans shall be restored to the designed contours and conditions, including planting of native vegetation.
12. The transport of building materials/excavated sand and access to and from the site shall be via the newly permitted private roadway.
13. A separate temporary driveway or access road is not permitted for construction activities.
14. Impacting the dunes is not permitted outside of the approved disturbance area including activities such as driving machinery on any slopes steeper than one-on-three (33%), or storing (permanently or temporarily) machinery, soil, materials, equipment, or removed vegetation, on any slopes steeper than one-on-four (25%).
15. The construction of porches, decks, landscaping (with the exception of planting native dune vegetation), on-grade walkways, on-grade stairways, and retaining walls which also includes the placement of boulders, are considered uses, and not permitted unless specified in the permit conditions.

16. The underground utility lines must be placed in areas with slopes less than one-on-four (25%) or the lines must be installed using the directional bore method or by hand digging. If the directional bore method is utilized, the bore pits must be located in areas with slopes less than one-on-four. The disturbed areas must be stabilized and repaired with temporary measures before or upon commencement of the permitted activity and shall be maintained until permanent measures are in place. Trenching areas with slopes steeper than one-on-four is not permitted.
17. All excess woody debris, concrete, building materials, or other types of soil must be deposited off site, outside of the Critical Dunes Area.
18. If it is not feasible to dispose of excess excavated sand or soil on-site, then it must be deposited off-site, outside of a regulated critical dune area, floodplain, lake, river, stream, or wetland, and stabilized with temporary measures until permanent measures are in place. Permanent measures shall be in place within five (5) days of achieving final grade.
19. Identification of non-work areas: Prior to the start of construction, all non-work areas shall be bounded by properly-trenched filter fabric fence or construction fencing to prevent impacts outside of the "Limits of Grading" described above. Non-work area fencing shall be maintained daily throughout the construction process.
20. All fill shall consist of clean inert material that does not contain pollutants or contaminants. All fill shall be contained in such a manner so as not to erode into any surface water, floodplain, or wetland.
21. If the project, or any portion of the project, is stopped and lies incomplete for any length of time other than that encountered in a normal work week, every precaution shall be taken to protect the incomplete work from erosion.
22. Temporary soil erosion and sedimentation control measures shall be installed before commencement of any earth change and shall be maintained daily. Temporary soil erosion and sedimentation control measures shall be maintained until permanent soil erosion and sedimentation control measures are in place and the area is stabilized. Permanent soil erosion and sedimentation control measures for all disturbed area shall be installed within five days after final grading or the final earth change has been completed.
23. This permit authorizes construction only of those specific "Authorized Activities" listed above. It does not authorize other regulated activities or construction, such as: houses, additional driveways, pools, decks, landscaping, tennis courts, additional buildings, parking areas, or other utilities which are not specifically depicted on the attached plans.
24. If any change or deviation from the permitted activity becomes necessary, the permittee shall request, in writing, a revision of the permitted activity and/or mitigation plan from EGLE. Such revision requests shall include complete documentation supporting the modification and revised plans detailing the proposed modification. Proposed modifications must be approved, in writing, by EGLE prior to being implemented.
25. The permittee shall provide a surety bond or letter of credit to EGLE in a form identical to the financial assurance models on EGLE's website at: https://www.michigan.gov/egle/0,9429,7-135-3313_3687-19829--00.html in the amount of twenty five thousand dollars (\$25,000.00) to ensure that the vegetation replacement measures outlined within this permit are completed, monitoring is completed, and corrective actions are performed as required to comply with the revegetation mitigation requirements and conditions of this permit. The financial assurance document will be provided and accepted by EGLE prior to signature of this permit by EGLE.
 - a. Prior to the transfer of this permit to another person or party, the new person/party must obtain and provide a financial instrument acceptable to EGLE in the name of the new person/party and in the amount required by this permit.
 - b. Upon request of the permittee and with the submittal of adequate proofs, EGLE may release portions of the financial instrument in accordance with the following guidelines:

- i. Fifty (50) percent of the financial instrument may be released after the permittee demonstrates substantial compliance with performance standards in this permit, for a minimum of two years after revegetation measures are completed as outlined in the attached Vegetation Assurance.
- ii. The remaining 50 percent of the financial instrument will be released upon all of the following:
 - 1. Submittal of all the required monitoring reports;
 - 2. Substantial compliance with all of the performance standards as outlined in this permit, and in the attached Vegetation Assurance and
 - 3. Final approval by EGLE.

Upon signing by the permittee named herein, this permit must be returned to EGLE's Water Resources Division, Kalamazoo District Office for final execution. This permit shall become effective on the date of the EGLE representative's signature.

Permittee hereby accepts and agrees to comply with the terms and conditions of this permit.

X

Permittee

Date

X

Printed Name and Title of Permittee



Issued By:

John Bayha, P.E.
District Engineer
Kalamazoo District Office
Water Resources Division
BayhaJ@michigan.gov
269-568-2680

cc: City of Saugatuck Clerk
Allegan County SESC Agent
Mr. John Vigna, Agent

Permit Application Sketches for **VINE STREET COTTAGES (PRIVATE ROAD)**



LOCATION MAP
NOT TO SCALE



[Handwritten Signature] 07/13/2020
 Permittee Date

REVISED: 06.24.2020

SHEET INDEX

- 1 SITE LOCATION MAP
- 2 EXISTING CONDITIONS MAP - OVERALL
- 3 EXISTING CONDITIONS - SOUTH END
- 4 EXISTING CONDITIONS - NORTH END
- 5 PROPOSED PARCEL SPLIT - OVERALL
- 6 PROPOSED SITE PLAN - SOUTH END
- 7 PROPOSED SITE PLAN - NORTH END
- 8 CROSS-SECTION 'A' - SOUTH END
- 9 CROSS-SECTION 'A' - NORTH END
- 10 CROSS-SECTION 'B', 'C', 'D' & 'E'

NO SCALE



NORTH

Vine Street Cottages (Private Road)

Site Location Map

SAUGATUCK, ALLEGAN COUNTY, MI

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V. DATE: 06.24.20

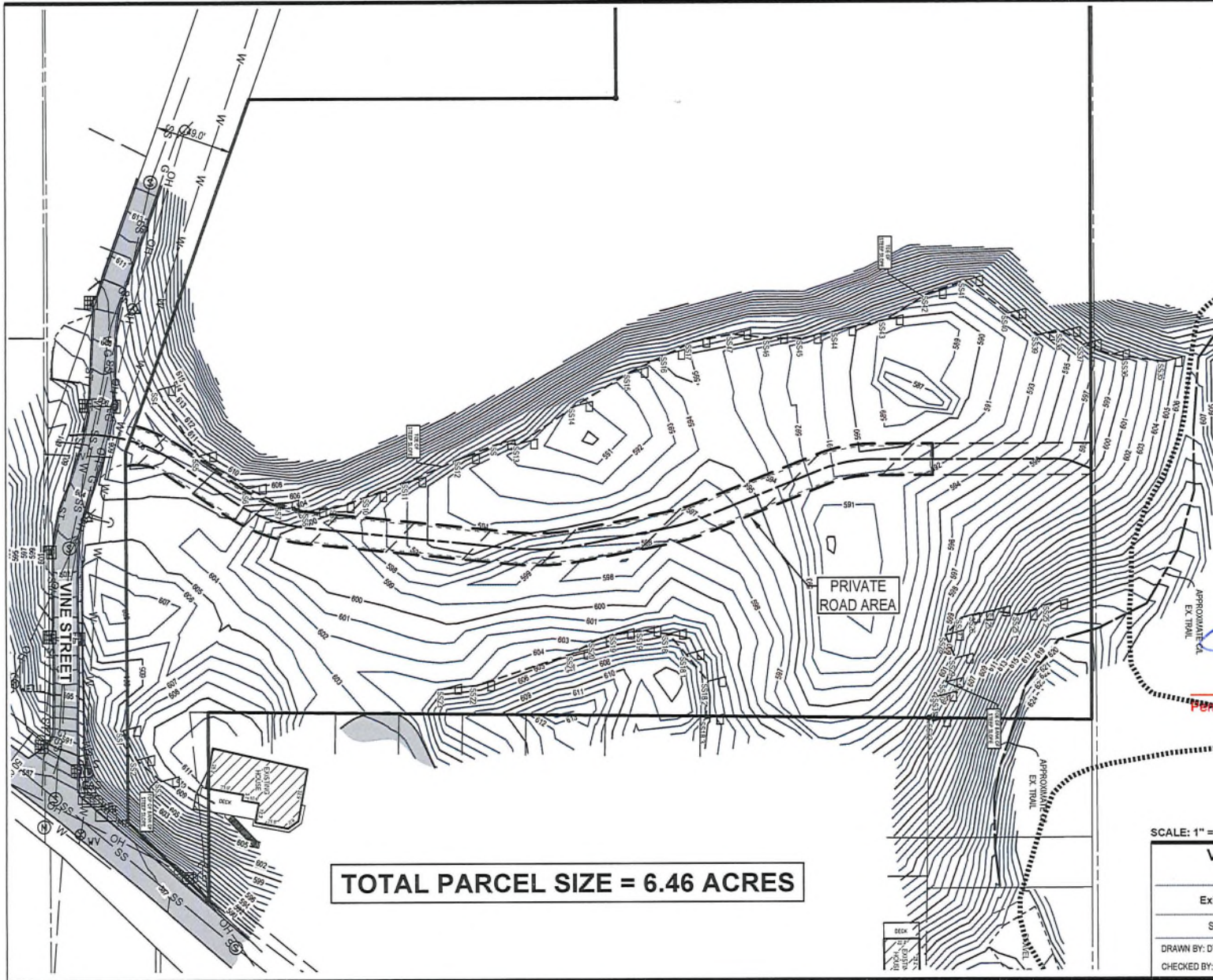
PRJ NO: 16201802

CHECKED BY: JB

S. DATE: 06.24.20

1 OF 10

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LEGEND

- Benchmark
- Catch Basin - Square
- Guy Anchor
- Manhole
- Sign
- Sanitary Sewer Manhole
- Utility Pole
- Underground Gas Marker
- Water Well
- Overhead Utility
- Sanitary
- Storm
- Watermain
- Asphalt
- Concrete
- Building
- Existing Grade Contour
- Critical Dune Steep Slope (33%) Boundary as determined by King & MacGregor

Permittee *1* Date *07/13/2020*

REVISED: 06.24.2020

SCALE: 1" = 60' 0' 30' 60'

Vine Street Cottages (Private Road)

Existing Conditions Map - Overall

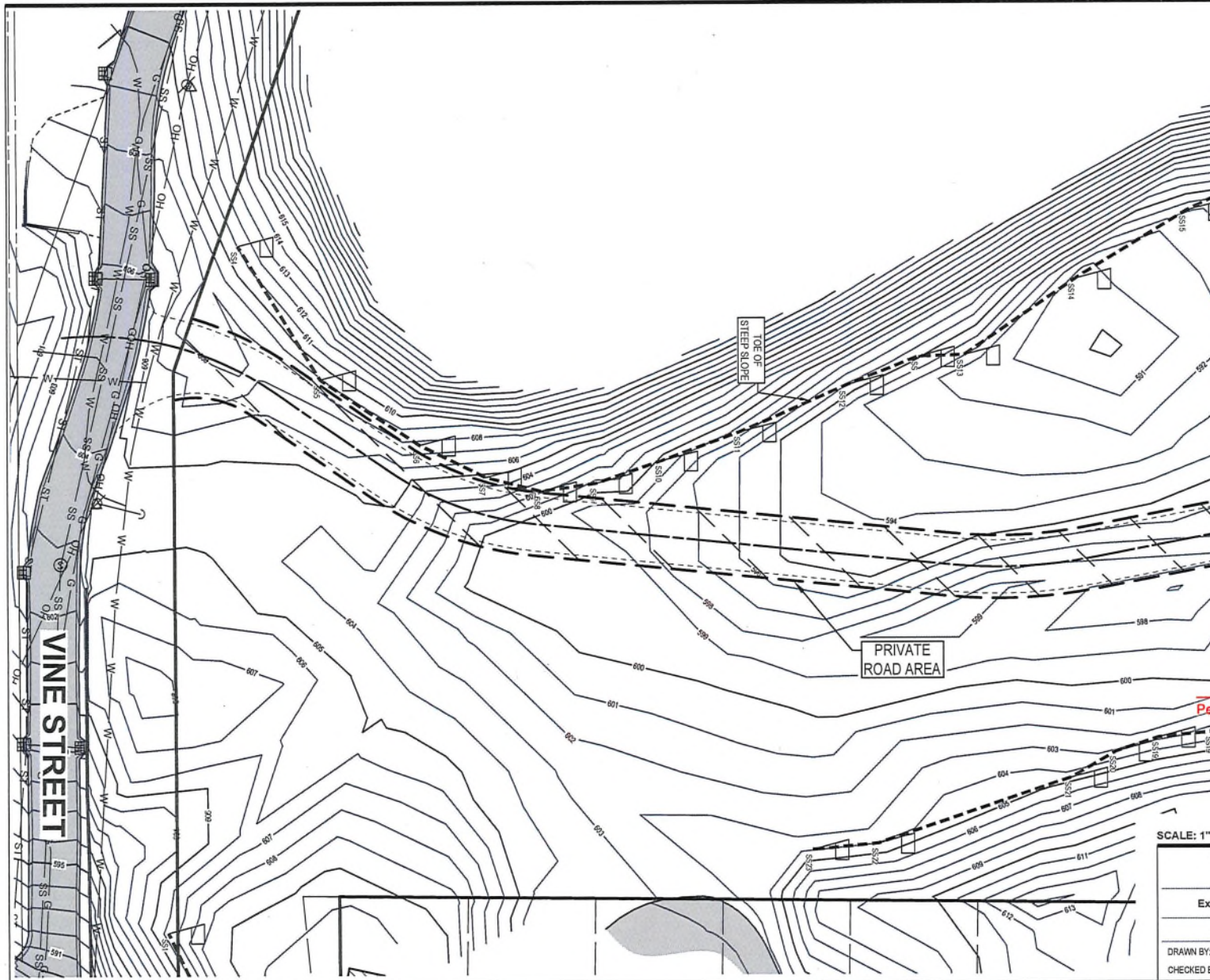
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 CHECKED BY: JB S. DATE: 06.24.20 2 OF 10

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TOTAL PARCEL SIZE = 6.46 ACRES

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LEGEND

- Benchmark
- Catch Basin - Square
- Guy Anchor
- Manhole
- Sign
- Sanitary Sewer Manhole
- Utility Pole
- Underground Gas Marker
- Water Well
- Overhead Utility
- Sanitary
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- Existing Grade Contour
- Critical Dune Steep Slope (33%) Boundary as determined by King & MacGregor

Permittee

Date

[Signature] 07/13/2020

REVISED: 06.24.2020

SCALE: 1" = 30' 0' 15' 30'

NORTH

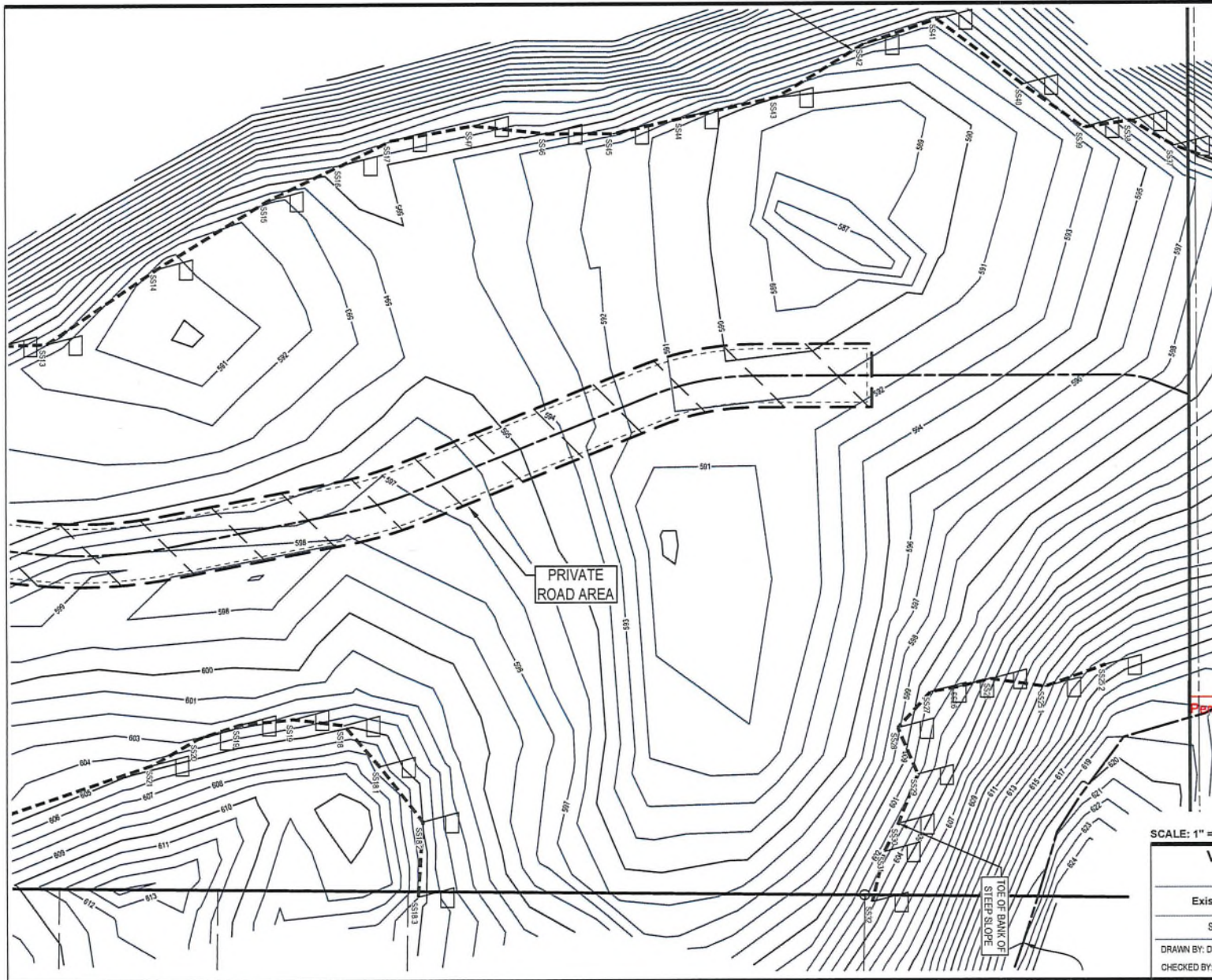
**Vine Street Cottages
(Private Road)**

Existing Conditions Map - South End

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LEGEND

- Benchmark
- Catch Basin - Square
- Guy Anchor
- Manhole
- Sign
- Sanitary Sewer Manhole
- Utility Pole
- Underground Gas Marker
- Water Well
- OH Overhead Utility
- SS Sanitary
- ST Storm
- Asphalt
- Concrete
- Building
- Existing Grade Contour
- Critical Dune Steep Slope (33%) Boundary as determined by King & MacGregor

07/23/2020

Permittee _____ Date

REVISED: 06.24.2020

SCALE: 1" = 30' 0' 15' 30' NORTH

**Vine Street Cottages
(Private Road)**

Existing Conditions Map - North End

SAUGATUCK, ALLEGAN COUNTY, MI

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

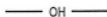


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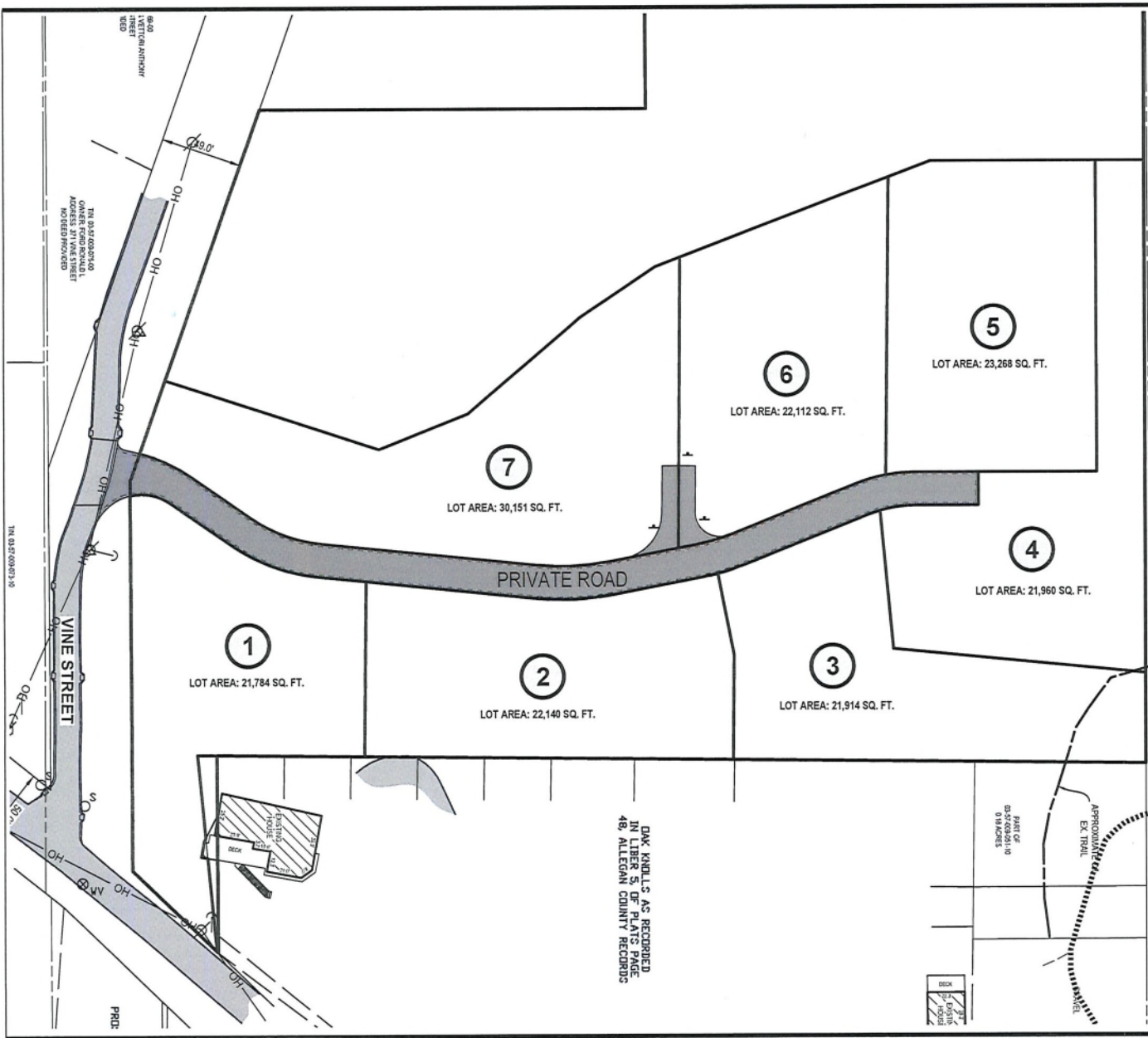
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LEGEND

-  Guy Anchor
-  Utility Pole
-  Overhead Utility
-  Existing Asphalt
-  Proposed Asphalt

DINEGRASS SITE
 CONDORNING, ALLEGAN
 COUNTY CONDOMINIUM
 SUBDIVISION PLAN NO.293



[Signature]
 Permittee
 Date: 07/13/2020

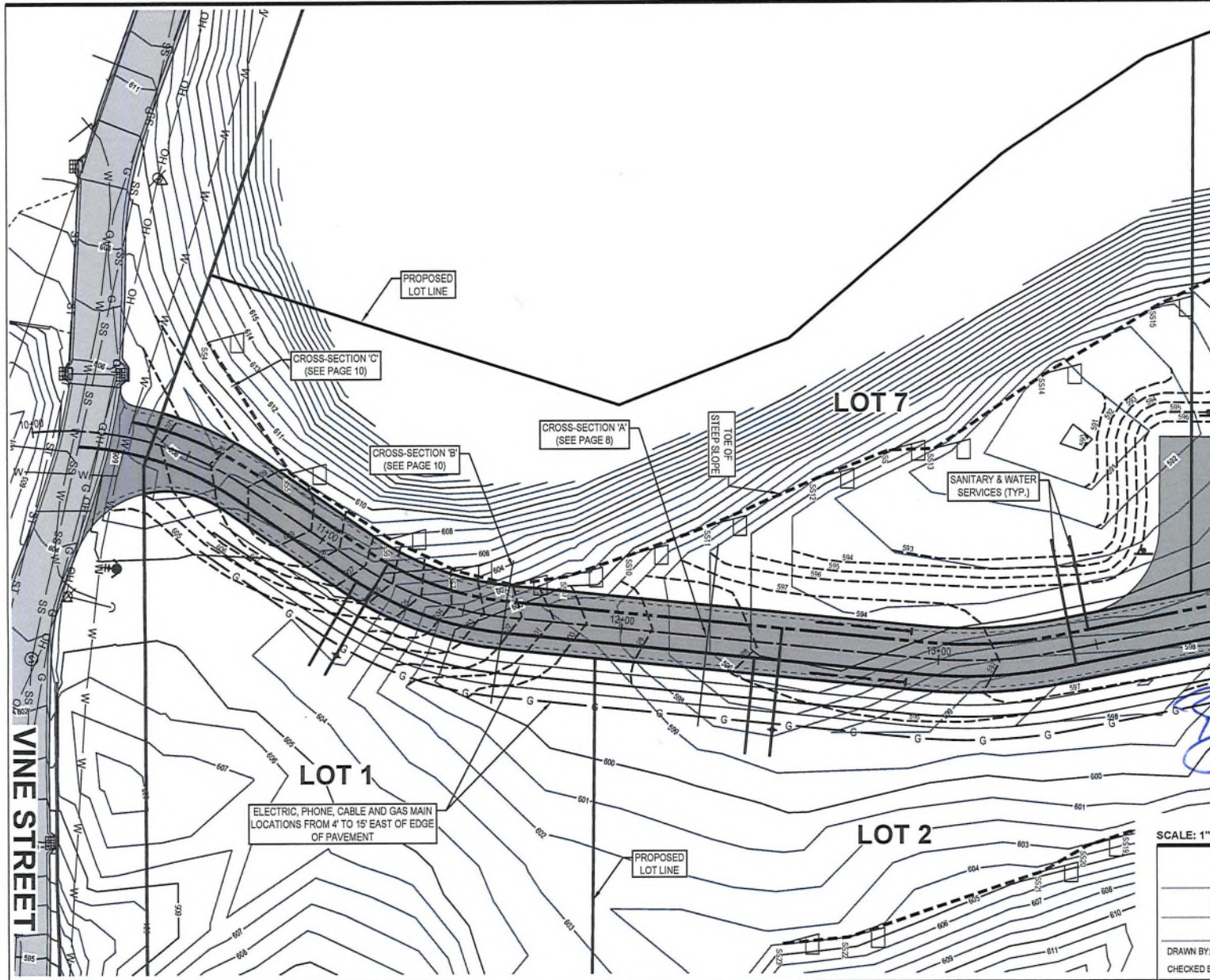
REVISED: 06.24.2020

SCALE: 1" = 60' 0' 30' 60'







Vine Street Cottages (Private Road)
 Proposed Parcel Split - Overall
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


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LEGEND

-  EX. BITUMINOUS
-  PROPOSED BITUMINOUS
-  PROPOSED CONCRETE
-  CRITICAL DUNE STEEP SLOPE (33%) BOUNDARY AS DETERMINED BY KING & MACGREGOR
-  EX. GRADE CONTOUR
-  PROP. GRADE CONTOUR

PROPOSED UTILITIES

-  = 5' DIA. LEACH BASINS AND 30 L.F. OF 24" DIA. LEACH PIPE FOR ROAD AND DRIVEWAY (6 TOTAL BASINS AND 180' OF 24" PIPE TOTAL)
-  = DOMESTIC WATER SERVICE (TYP K COPPER) IN COMMON TRENCH AT 4'-7" WEST OF ROAD CENTERLINE
-  = SANITARY FORCEMAIN (SCH 40 PVC) IN COMMON TRENCH AT 4'-7" EAST OF ROAD CENTERLINE

 07/13/2020
 Permittee Date
 REVISED: 06.24.2020

SCALE: 1" = 30' 0' 15' 30'

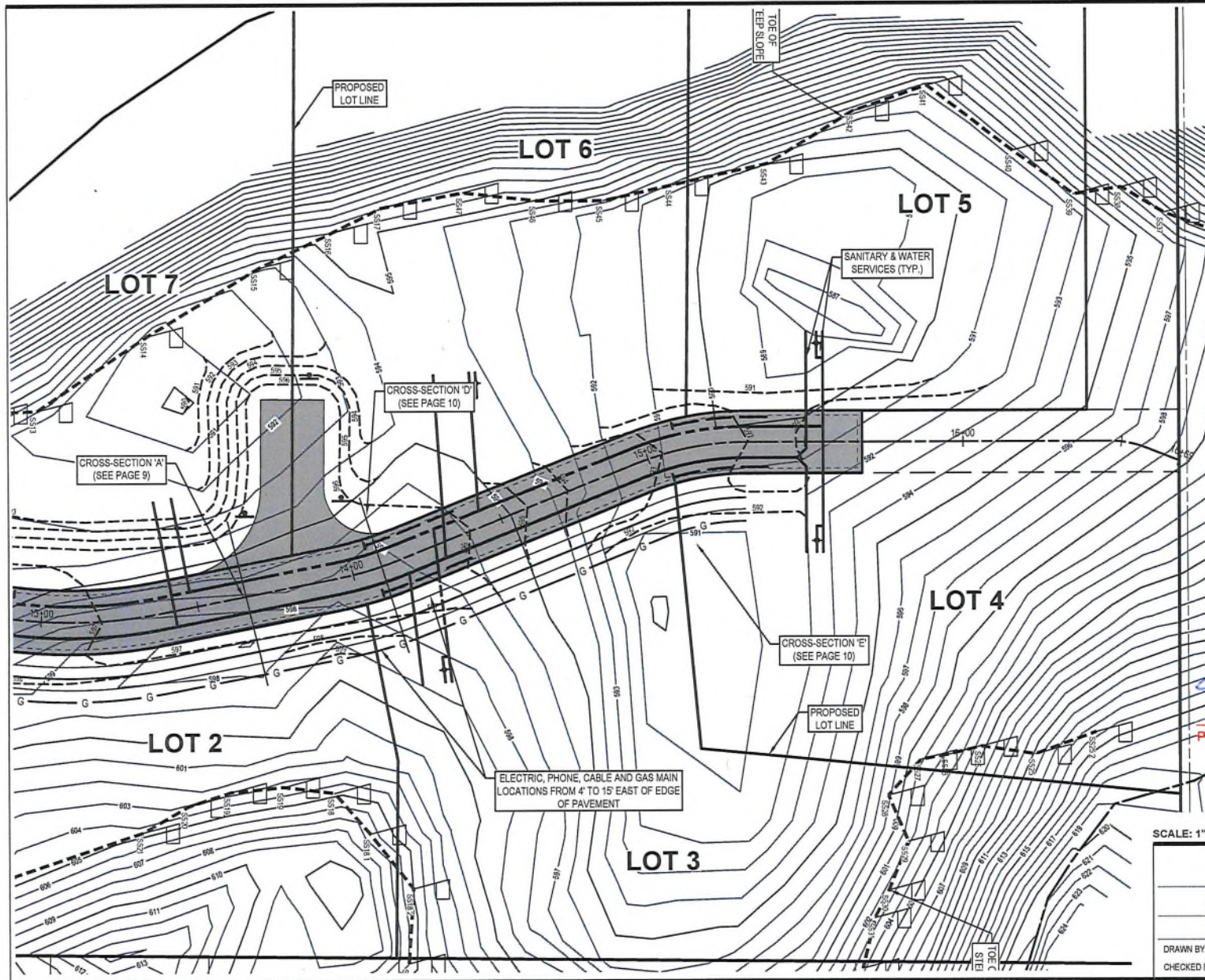
Vine Street Cottages (Private Road)

Proposed Site Plan - South End







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LEGEND

-  EX. BITUMINOUS
-  PROPOSED BITUMINOUS
-  PROPOSED CONCRETE
-  CRITICAL DUNE STEEP SLOPE (33%) BOUNDARY AS DETERMINED BY KING & MACGREGOR
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 Permittee
 Date 07/13/2020
 REVISED: 06.24.2020

SCALE: 1" = 30' 0' 15' 30'

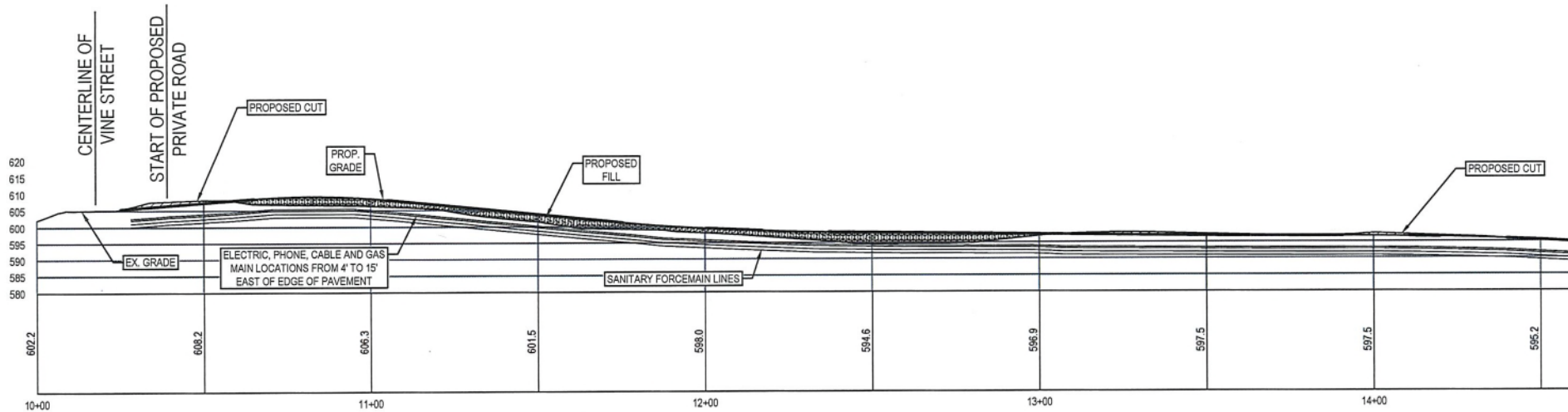
Vine Street Cottages (Private Road)

Proposed Site Plan - North End

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[Signature]
 Permittee

07/13/2020
 Date

REVISED: 06.24.2020

SCALE: 1" = 30'

NORTH

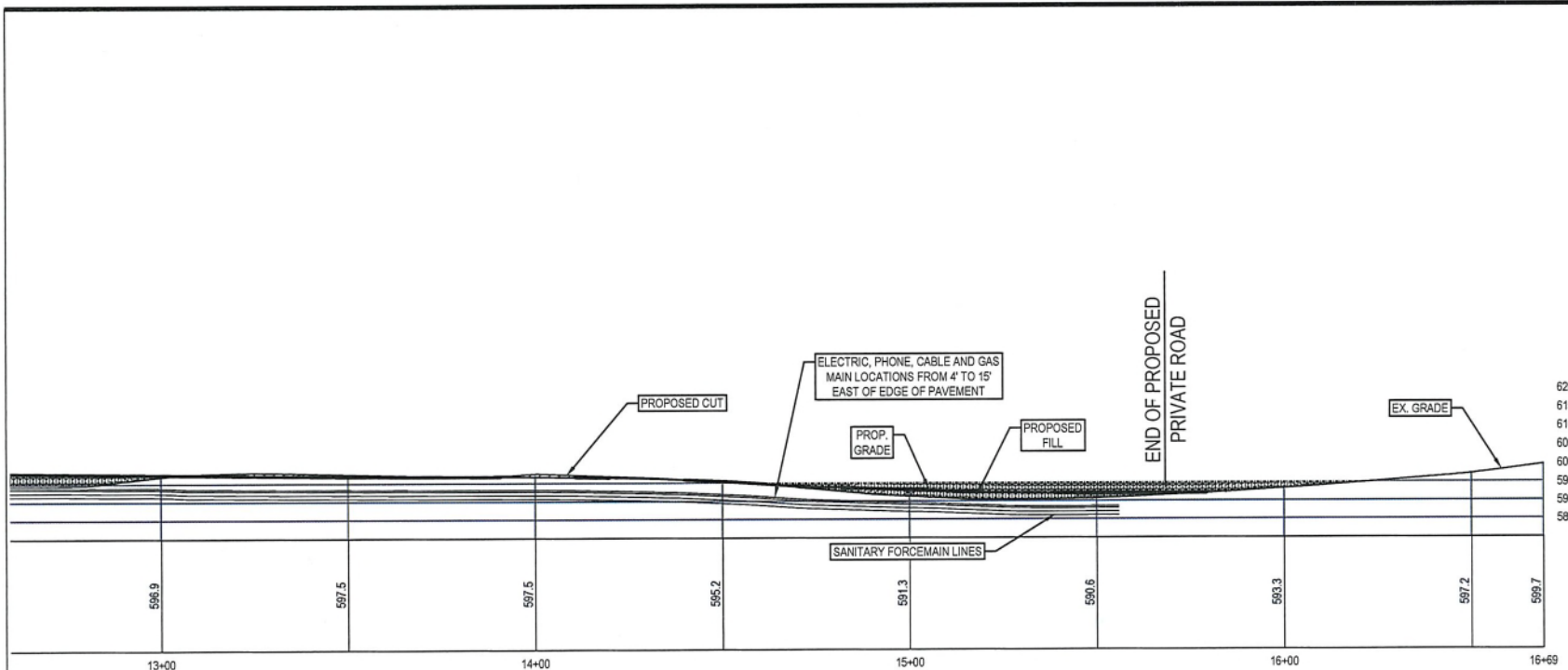
Vine Street Cottages (Private Road)

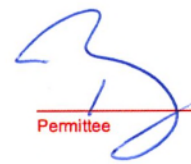
Cross-Section 'A' - South End

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07/13/2020
 Permittee Date

REVISED: 06.24.2020

SCALE: 1" = 30' 0' 15' 30' NORTH

**Vine Street Cottages
(Private Road)**

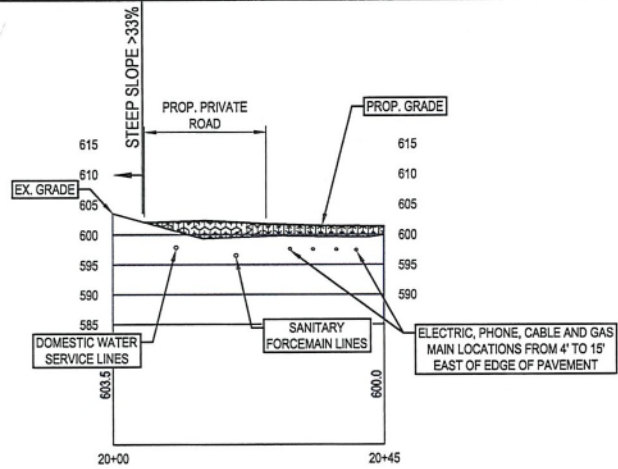
Cross-Section 'A' - North End

SAUGATUCK, ALLEGAN COUNTY, MI

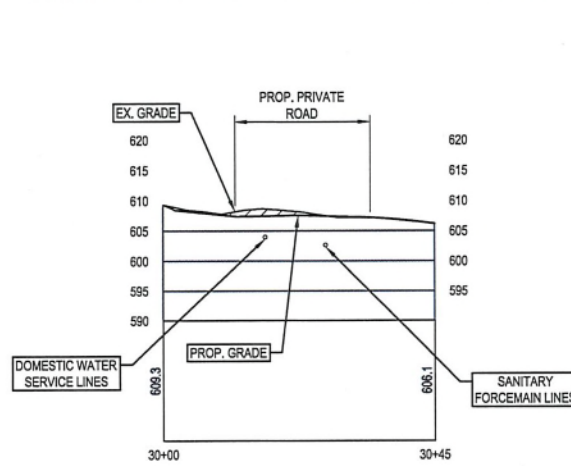
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CHECKED BY: JB	S. DATE: 06.24.20	9 OF 10

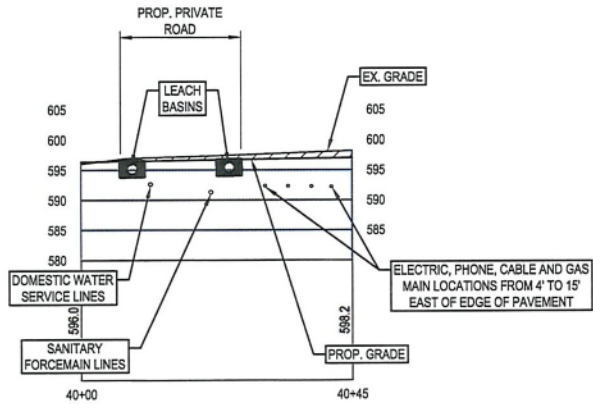
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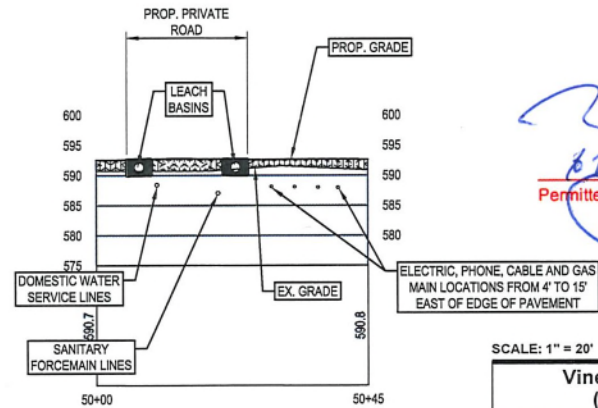
CROSS-SECTION 'C'



CROSS-SECTION 'D'



CROSS-SECTION 'E'



[Signature] 07/13/2020
 Permittee Date

REVISED: 06.13.2019

SCALE: 1" = 20' 0' 10' 20'

NORTH

Vine Street Cottages (Private Road)

Cross-Sections 'B', 'C', 'D' & 'E'

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 CHECKED BY: JB S. DATE: 04.10.19 10 OF 10

Exhibit E



ALLEGAN COUNTY HEALTH DEPARTMENT

3255 - 122nd Avenue, Suite 200, Allegan, MI 49010

Environmental Health 269-673-5415

PERMIT NUMBER
SESC18-229

Issued: 6/1/2018

Expires: 7/1/2020

Extended: 12/1/2023

PERMIT FOR SOIL EROSION AND SEDIMENTATION CONTROL

(Issued under the authority of Part 91, Soil Erosion and Sedimentation Control, of the Natural Resources and Environmental Protection Act, 1994 PA 451, as amended)

PERMITTEE

NAME VINE STREET COTTAGES
ADDRESS 2050 CELADON DRIVE NE CITY GRAND RAPIDS ZIP 49525
PHONE 616-340-5366 EMAIL brad@mosaicproperties.com

PROPERTY INFORMATION (of project location) TAX ID 03- 57-009-051-XX
ADDRESS TBD VINE STREET CITY SAUGATUCK ZIP 49453
TOWNSHIP SAUGATUCK CITY SUBDIVISION _____ LOT # _____ SECTION # 9 TOWN _____ RANGE _____

On-Site Responsible Person: PHONE: 616 575 5190
NAME Jack Barr COMPANY Nederveld Inc

PERMIT SPECIFIC INFORMATION: Residential Commercial Gravel Pit
7/1/2019 Start Date 7/1/2020 Proposed End Date
 Earth change greater than an acre in size 291,852sqft Size of earth change (sq. ft.)
 Earth change greater than 5 acres Earth change within 500 feet of lake, stream or other body of water Distance _____
 Earth change within 500 feet of a storm water catch basin which discharges into a body of water OTHER

PROJECT DESCRIPTION: Development for single family lots and a private road.

ADDITIONAL PERMIT REQUIREMENTS: PERMIT CANNOT BE CLOSED UNTIL SITE IS FULLY STABILIZED. Install and maintain silt fencing as needed on site. Maintain vegetation buffers that are being used as a control measure. Use Erosion Control Blanket when slopes exceed 1:4 to help prevent erosion and establish vegetation. Permit will be closed once disturbance has been vegetated. Do not allow sediment off site. Install gravel drive to prevent trucks from tracking sediment off site. Install inlet fabric protection on catch basins within effected area (up to 500') of the disturbance (if applicable). Permit renewed until 7/01/2022. JWW

SANITARIAN DATE ISSUED 6/1/2018

PERMIT CONDITIONS:
1. The permitted activity shall be completed in accordance with the approved plans and specification, and the attached general and specific conditions.
2. This permit does not waive the necessity for obtaining all other required federal, state, or local permits.
3. Permittee shall notify the permitting agency within one week after completing the permitted activity or one week prior to the permit expiration date, whichever comes first.

GENERAL CONDITIONS
In accordance with Rule 1709 promulgated under the authority of Part 91, Soil Erosion and Sedimentation Control, of the Natural Resources and Environmental Protection Act, 1994 PA 451, as amended, and in addition to the information on the attached plan(s) and special conditions, the following general conditions apply to the earth change authorized by this permit:

- Design, construct, and complete the earth change in a manner that limits the exposed area of disturbed land for the shortest period of time.
- Remove sediment caused by accelerated soil erosion from runoff water before it leaves the site of the earth change.
- Temporary or permanent control measures shall be designed and installed to convey water around, through, or from the earth change at a non-erosive velocity.
- Install temporary soil erosion and sedimentation control measures before or upon commencement of the earth change activity and maintain the measures on a daily basis. Remove temporary soil erosion and sedimentation control measures after permanent soil erosion measures are in place and the area is stabilized. ("Stabilized" means the establishment of vegetation or the proper placement, grading, or covering of soil to ensure its resistance to soil erosion, sliding, or other earth movement.)
- Complete permanent soil erosion control measures for the earth change within five calendar days after final grading or upon completion of the final earth change. If it is not possible to permanently stabilize the earth change, then maintain temporary soil erosion and sedimentation control measures until permanent soil erosion control measures are in place and the area is stabilized.

Exhibit F



SAUGATUCK TOWNSHIP FIRE DISTRICT

Proudly serving : Douglas | Saugatuck | Saugatuck Township



3342 Blue Star Highway
Saugatuck, MI 49453
269 857-3000 / Fax: 269 857-1228
E-mail: office@saugatuckfire.org

November 14th, 2019

Vine Street Cottages
c/o Brad Rottschafer
2050 Celadon Drive, Suite B
Grand Rapids, MI 49525

Re: Vine Street, Saugatuck, MI – Vine Street Cottages – Site Plan Review #4 for Project #16201802
for Page(s) C-201, C-205, C-300, C-400, C-401 for drawing revisions dated 10/15/2019.

Dear Mr. Rottschafer,

We are in receipt of the revised site plan for Vine Street Cottages received 11/13/2019. We reviewed the plans using the International Fire Code (IFC) 2015 edition. Please see the result of the fire department review listed **below**.

1. Dead end driveways and access roads in excess of 150 feet in length shall be provided with an approved area for turning around with fire apparatus (IFC 503.2.5) **Approved, the dimensions of the turnaround meet the minimum requirements and the notes on Sheet C-205 show that Grass Pave or Geo Block will be installed.**
2. "No Parking Fire Lane" signage shall be installed at the dead end of the turnaround. (IFC 503.3) **Approved, signage as proposed meets minimum requirements in revised submittals.**
3. No parking shall be allowed within the turnaround. The area must be clear and unobstructed for turnaround at all times. (IFC 503.4)
4. Fire apparatus access roads and driveways shall have an unobstructed width of not less than 20 feet, exclusive of shoulders. (IFC 503.2.1) **Approved, road is shown as 20 feet in width in the plans provided.**
5. Minimum clear height shall be 13'6" across the entire 20ft width of driveway. (IFC 503.2.1) **Approved, height clearances are noted as 13'6" for the entire road width in revised submittals.**
6. Road shall not exceed the 10% maximum grade. (IFC 503.2.7) **Grade is shown as a maximum of 9.82% in revised submittals. This is approved, provided the actual final construction does not exceed 10% final grade. If the final grade exceeds 10%, the pavement may need to be removed and modified.**
7. The driveway shall be installed with asphalt, concrete, or other approved driving surfaces capable of supporting the 80,000-pound imposed load of our heaviest apparatus and be installed to provide emergency access prior to commencement of building construction. (IFC 503.2.3) **Approved, weight capacity is noted as 80,000 lbs in revised submittals.**
8. The road shall be maintained free of snow and ice to provide all weather driving capabilities. (IFC 503.2.3)
9. The angles of approach and departure for fire apparatus access roads shall be within the limits established by the fire code official based on the fire departments apparatus. (IFC 503.2.8) **Approved, the approach and departure detail on Sheet C-405 indicate that there will still be .8' clearance under the Fire District's 49' aerial apparatus.**



SAUGATUCK TOWNSHIP FIRE DISTRICT

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10. Fire department access roads shall be constructed and maintained for all construction sites. (IFC 3310.1) ***The road and turnaround shall be installed to allow for emergency access prior to construction commencing.***
11. The installation of security gates across a fire apparatus access road shall be approved by the fire chief. Where security gates are installed, they shall have an approved means of emergency operation. The security gates and the emergency operation shall be maintained operational at all times. Electric gate operators, where provided, shall be listed in accordance with UL 325. Gates intended for automatic operation shall be designed, constructed and installed to comply with the requirements of ASTM F 2200. (IFC 503.6) ***No gate appears to be shown in the plans provided, however if it is installed in the future, a Knox Key switch is required for emergency access and activation.***
12. New and existing buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. (IFC 505.1) ***Address signage must be posted prior to commencement of construction. Green reflective address signs are preferred.***
13. Streets and roads shall be identified with *approved* signs. Temporary signs shall be installed at each street intersection when construction of new roadways allows passage by vehicles. Signs shall be of an *approved* size, weather resistant and be maintained until replaced by permanent signs. (IFC 505.2) ***Street signage location is shown on revised submittals and must be posted prior to commencement of construction. Please identify how the proposed road for "Vine Street Cottages" will be identified separately from "Vine Street"***
14. An approved water supply capable of supplying the required fire flow for fire protection shall be provided to premises upon which facilities, buildings, or portions of buildings are hereafter constructed or moved into or within the jurisdiction. (IFC 507.1) ***Hydrant flow calculations have been provided.***
15. The fire code official shall be notified prior to the water supply test. Water supply tests shall be witnessed by the fire code official, or approved documentation of the test shall be provided to the fire code official prior to final approval of the water supply system. (IFC 507.4) ***Upon completion of installation of the water main and fire hydrants, flow tests shall be conducted, and documentation provided to the fire department. Please contact the fire district to witness flow tests.***
16. A hydrant is required within 400 ft. of any exterior portion of a non-sprinklered building or 600 ft. for an R-3 occupancy or sprinklered building. (IFC 507.5.1) ***Proposed hydrant location is approved as positioned on sheet C-400. Hydrants shall have a 5" Storz connection, dual 2.5" NHT connections, and meet Saugatuck City and KLSWA specifications. The road is shown as over 600 feet long, with no additional hydrants. The additional detail provided that homes on lots 3, 4, 5, and 6 will have fire suppression systems installed in accordance with NFPA 13D, meets the minimum intent of the code and is approved per revised submittals. The Fire District will need to review the fire suppression plans and participate in rough-in/hydro and acceptance inspections.***
17. An approved water supply for fire protection, either temporary or permanent, shall be made available as soon as combustible material arrives on the site. (IFC 3312.1) ***Ensure the hydrants or approved water supply are installed and operational prior to delivery of construction materials to the site.***
18. Upon completion of construction, physical testing with apparatus will be required. If the apparatus is unable to navigate the completed road and driveway in a safe and efficient manner, modifications may be required.
19. Anything omitted in this plan review is subject to field inspection. (IFC 105.4.4)



SAUGATUCK TOWNSHIP FIRE DISTRICT

Proudly serving : Douglas | Saugatuck | Saugatuck Township



You have approval from the fire department to begin construction for the Vine Street Cottages Development in Saugatuck, MI if you are in agreement with the above-mentioned items. Please ensure you receive the appropriate permits from the City of Saugatuck and Michigan Township Services prior to commencement of construction. Please let us know if you have any questions.

Other Suggestions and Recommendations (Not requirements by code):

1. Consider installing fire alarm monitoring & supervision systems for the NFPA 13D Sprinkler Suppression Systems. This allows for fire department notification in the event of a fire or accidental system discharge whether the dwelling is occupied or not.
2. Consider installing Knox Boxes on the dwellings with suppression systems so in the event of a system discharge, the Fire District has rapid access to mitigate the emergency.

Respectfully Yours,

Chris Mantels

Deputy Chief / Fire Inspector

Cc: Greg Janik – Fire Chief (via email)
Cindy Osman – Zoning Administrator (via email)
Dan Poll – Building Official (via email)
Jack Barr – Project Engineer (via email)

Exhibit G



May 5, 2023

Brad Rottschafer
Mosaic Properties
2050 Celadon Drive NE, Suite B
Grand Rapids, MI 49525

Dear Mr. Rottschafer:

You have asked for our opinion of the number of land divisions which are available to Vine Street Cottages LLC, acquired from Dune Ridge SA, LP, as shown and described on the attached Deed recorded in Liber 4312, Page 484 Allegan County records. It is our opinion that Vine Street Cottages has a minimum of Ten (10) land divisions to create Eleven (11) parcels available on the Premises.

Furthermore, here is the history of parcel divisions based on the documents you have provided to us:

The original acquisition of the real property from Presbyterian Camps, Inc. by Dune Ridge SA, LP consisted of numerous adjacent parcels which totaled approximately 131 acres. Following the Land Division Act allowances for splits we believe there are a total of 15 divisions from the original acquisition with a possibility of 2 bonus divisions depending on how the property was split & developed.

The "bonus divisions" are from Land Division Act 288 of 1967 amended (excerpt) Section 560.108 subsection {3}:

{3} For a parent parcel or parent tract of not less than 20 acres, the division may result in a total of 2 parcels in addition to those permitted by subsection (2) if 1 or both of the following apply:

(a) Because of the establishment of 1 or more new roads, no new driveway accesses to an existing public road for any of the resulting parcels under subsection (2) or this subsection are created or required.

(b) One of the resulting parcels under subsection (2) and this subsection comprises not less than 60% of the area of the parent parcel or parent tract.

Dunegrass Site Condominium parcel comprises over 60% of the parent parcel area AND there have been no new driveway accesses to an existing public road for any of the resultant parcels. Thus, the Two (2) bonus divisions would be permitted.

17 Resultant Parcels allowed / permitted

(2007) 0 divisions used / granted:

There was a Quit Claim Deed from the Presbyterian Camps, Inc. to Michael & Jean Prokopeak in June of 2007, recorded in Liber 3132, Page 798 in Allegan County records prior to the Dune Ridge SA, LP acquisition. This conveyance was for a small parcel adjacent to the Prokapeaks existing parcel that would NOT be counted as a division.

(2015) 0 divisions used / granted:

The condominium development known as Dunegrass Site Condominiums in September of 2015 as recorded in Liber 3959, Page 655, Allegan County records was one split, however the parcel size for that development is greater than 40 acres and could be defined as an "exempt split" and not counted towards the number of divisions allowed. See Land Division Act 288 of 1967 amended (excerpt) Section 560.108 subsection {4}:

{4} A parcel of 40 acres or more created by the division of a parent parcel or parent tract shall not be counted toward the number of parcels permitted under subsections (2) and (3) and is not subject to section 109, if the parcel is accessible.

(2015) 2 divisions used / granted:

There was a Warranty Deed to The Anthony Rodriguez Trust in October of 2015, recorded in Liber 3976, Page 424, Allegan County Records. This conveyance was for a small parcel adjacent to the Rodriguez existing parcel that would NOT be counted as a division. However, in a later Corrective Deed dated December 31st, 2018 Dune Ridge conveyed Two (2) Divisions to Rodriguez.

(2015) 1 division used / granted:

There was a Warranty Deed to Oval Beach Preservation Society in December of 2015, recorded in Liber 3992, Page 812, Allegan County Records. This conveyance was for a parcel on the north of Perryman, however if the entity owned adjacent parcels to this granted parcel it could be a parcel line adjustment and not a division.

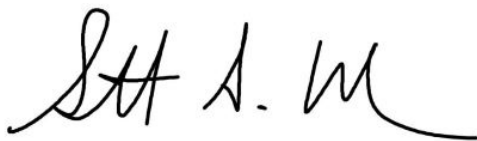
(2016) 11 divisions used / granted:

There was a Conveyance Deed to Vine Street Cottages, LLC in October of 2016, recorded in Liber 4072, Page 861, Allegan County Records. However, in a later Corrective Deed in January of 2019 recorded in Liber 4312, Page 484 Allegan County records, Vine Street was granted "10 additional divisions....to allow for the creation of 11 lots"

It is our opinion that there are a minimum of 3 divisions remaining based on this parcel history and the Land Division Act allowances.

Let me know if you have any questions or need anything further in this matter.

Sincerely,

A handwritten signature in black ink, appearing to read "S.A. Hendges". The signature is fluid and cursive, with a long horizontal stroke at the end.

Scott A. Hendges, P.S.
Director of Surveying

Exhibit H

PREPARED FOR:
 Vine Street Cottages, LLC
 ATTN: Brad Rottschafner
 2050 Celadon Drive
 Suite B
 Grand Rapids, MI 49525

REVISIONS:

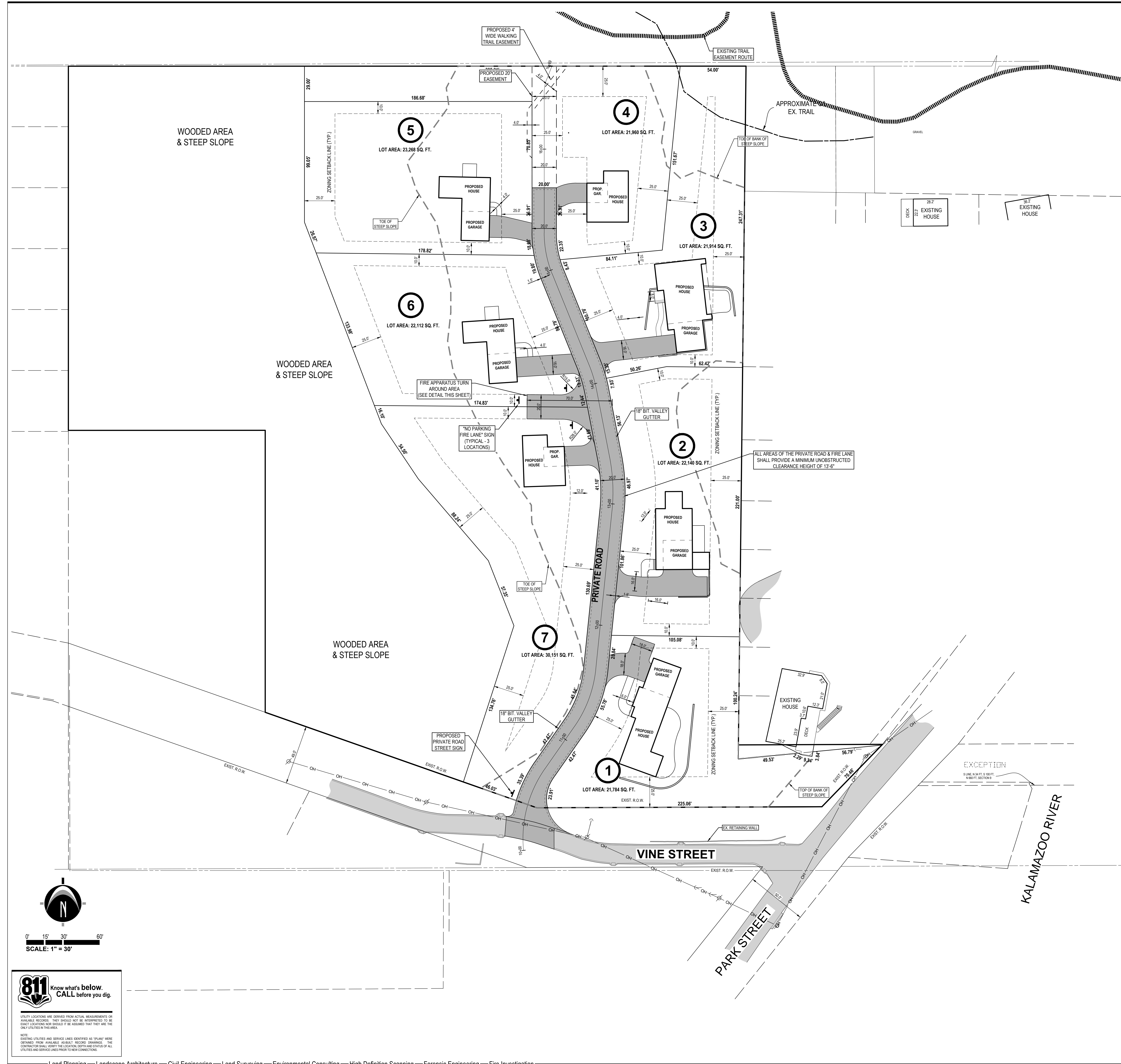
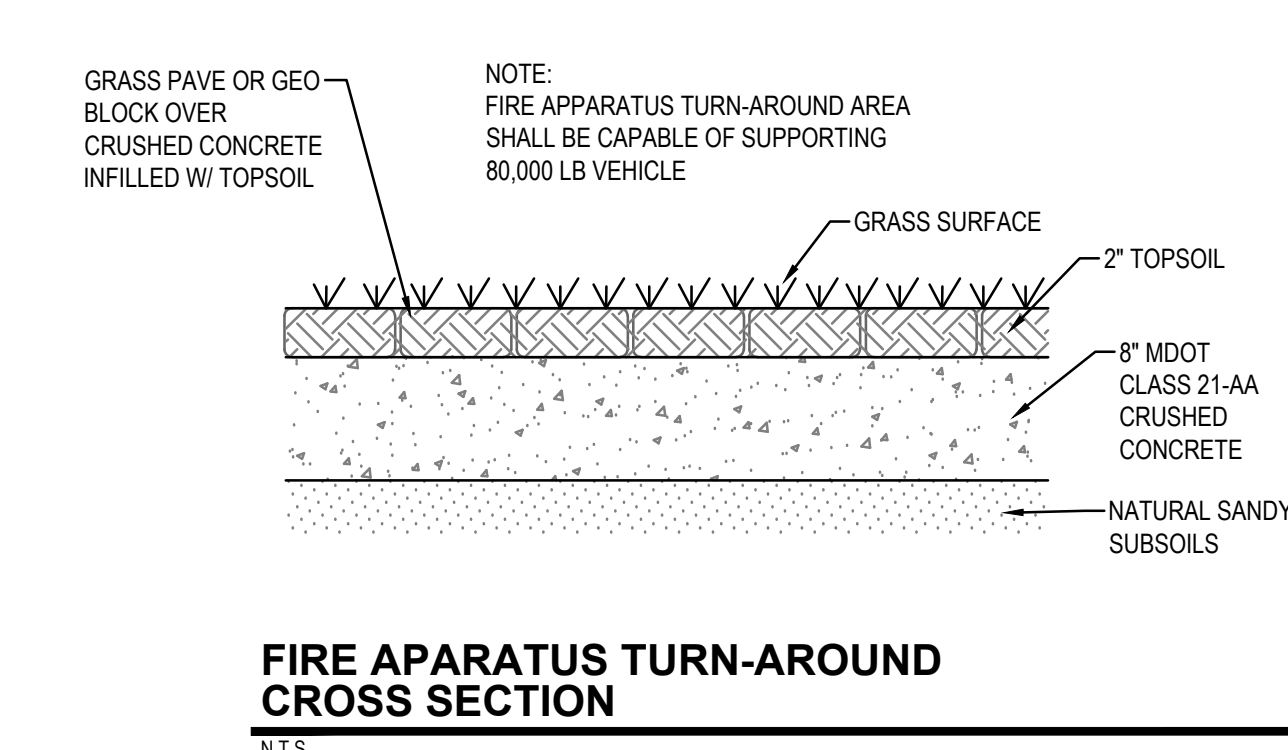
Title: Submitted to NLS/RA	V. Date: 03.19.19
Drawn: DTP	Checked: JB
Title: Review	V. Date: 04.29.19
Drawn: DTP	Checked: JB
Title: S.E.S.C. Permit	V. Date: 06.06.19
Drawn: DTP	Checked: JB
Title: Fire Chief Review	V. Date: 04.23.19
Drawn: DTP	Checked: JB
Title: City Engineer Review	V. Date: 04.17.19
Drawn: DTP	Checked: JB
Title: MDCG Review	V. Date: 07.15.19
Drawn: DTP	Checked: JB
Title: City Engineer	V. Date: 08.12.19
Drawn: BEM	Checked: JB
Title: Fire Chief	V. Date: 10.15.19
Drawn: BEM	Checked: JB
Title: Developer	V. Date: 12.10.19
Drawn: DTP	Checked: JB
Title: For Construction	V. Date: 07.15.20
Drawn: BEM	Checked: JB

LEGEND

	EXISTING BITUMINOUS
	EXISTING CONCRETE
	PROPOSED BITUMINOUS
	PROPOSED CONCRETE

GENERAL NOTES

- ZONING IS PROPERTY: R-1 PENINSULA WEST DISTRICT (PW)
 - MINIMUM LOT AREA = 21,780 SQ. FT.
 - MINIMUM LOT WIDTH = 100 FT.
 - MAXIMUM LOT COVERAGE = 25%
- SETBACKS:
 - FRONT YARD = 25 FT.
 - SIDE YARD = 10 FT.
 - REAR YARD = 25 FT.
- SUMMARY OF LAND USE:
 - TOTAL ACREAGE = 6.46 ACRES (281,420 SQ. FT.) (EXCLUDING R.O.W.)
 - TOTAL LOTS = 7
 - SMALLEST LOT = 21,784 SQ. FT.
 - LARGEST LOT = 30,151 SQ. FT.
 - LENGTH OF PRIVATE ROAD = 644 LF.



811 Know what's below. CALL before you dig.

UTILITY LOCATIONS ARE DERIVED FROM ACTUAL MEASUREMENTS OR AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATIONS NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THIS AREA.

NOTE: UTILITIES AND SERVICE LINES IDENTIFIED AS "PLANS" WERE OBTAINED FROM AVAILABLE ALBERT RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY THE LOCATION, DEPTH AND STATUS OF ALL UTILITIES AND SERVICE LINES PRIOR TO NEW CONNECTIONS.

Vine Street Cottages
 Site Layout Plan

PART OF GOVERNMENT LOT 4 OF SECTION 9 T3M, R10W, CITY OF SAUGATUCK, ALLEGAN COUNTY, MICHIGAN

STAMP:

PROJECT NO:
16201802

SHEET NO:
C-205

CITY FIRE TRUCK DETAIL
 N.T.S.

Exhibit I



Allegan County MI Register of Deeds
Bob Genetski, Register of Deeds
Document # 2023009370
OPR LIBER 4867 PAGE 482
Recorded: 06/28/2023 11:36 AM

4

QUIT CLAIM DEED

KNOW ALL PERSONS BY THESE PRESENTS: That Vine Street Cottages, LLC, a Michigan limited liability company whose address is 2050 Celadon Dr NE Ste B Grand Rapids, MI 49525

Quit Claim(s) to Vine Street Cottages, LLC, a Michigan limited liability company whose address is 2050 Celadon Dr NE Ste B Grand Rapids, MI 49525

the following described premises situated in the City of Saugatuck, County of Allegan, State of Michigan:

SEE ATTACHED EXHIBIT "A"

Commonly known as: 291 Sugar Hill Ct, Saugatuck, MI 49453

Tax Parcel # 03-57-009-051-12

for the full consideration of: \$1.00.

This instrument is exempt from taxation for the County Real Estate Transfer Tax pursuant to MCL.207.505.a

This instrument is exempt from taxation for the State Real Estate Transfer Tax pursuant to MCL.207.526.a.

RECEIVED

'23 JUN 28 AM 11:12

① Transaction Gil-em

84

Dated: June 27, 2023

Vine Street Cottages, LLC, a Michigan limited liability company

By Bradley A. Rottschafer, Member

STATE OF MICHIGAN

COUNTY OF KENT

The foregoing instrument was acknowledged before me on this 27 day of June, 2023, by Bradley A. Rottschafer, Member of Vine Street Cottages, LLC, a Michigan limited liability company.

Print Name: _____
Notary Public _____ County, Michigan
Acting in _____ County
My commission expires: _____

BETH BURCHETT
NOTARY PUBLIC, STATE OF MI
COUNTY OF KENT
MY COMMISSION EXPIRES Feb 21, 2026
ACTING IN COUNTY OF Kent

File No. 356169GRR

Drafted by and Return to:
Bradley A. Rottschafer
Vine Street Cottages, LLC, a Michigan limited liability company.
2050 Celadon Dr NE Ste B Grand Rapids, MI 49525

Exhibit "A"

PARCEL "1" DESCRIPTION:

Part of the Southwest 1/4 of Section 9, Town 3 North, Range 16 West, City of Saugatuck, Allegan County, Michigan, described as: Commencing at the West 1/4 corner of said Section; thence N89°59'45"E 851.94 feet along the East-West 1/4 line of said Section (as monumented); thence S00°38'30"W 468.31 feet along the West line of Oak Knolls Subdivision to the Point of Beginning; thence continuing S00°38'30"W 100.24 feet along said West line; thence N84°29'16"E 49.52 feet along the South line of Oak Knolls Subdivision, per previous Holland Engineering survey no. 86-08-084, dated September 3, 1986; thence S63°06'44"E 2.29 feet; thence S80°11'12"E 9.34 feet; thence N10°01'17"E 3.84 feet; thence N84°29'16"E 56.79 feet along said South line; thence S44°10'04"W 70.46 feet along the Northwesterly right-of-way line of Park Street; thence S89°47'18"W 233.87 feet; thence N70°37'37"W 7.83 feet (the previous two calls being along the Northerly right-of-way line of Vine Street); thence Northeasterly 32.68 feet along a 100.00 foot radius curve to the right, said curve having a central angle of 18°43'27", and a chord bearing N25°31'48"E 32.53 feet; thence N34°53'32"E 42.47 feet; thence Northerly 50.71 feet along a 100.00 foot radius curve to the left, said curve having a central angle of 29°03'12", and a chord bearing N20°21'55"E 50.17 feet; thence N05°50'19"E 27.93 feet; thence S89°20'06"E 115.13 feet to the Point of Beginning. Contains 0.54 acres. Subject to easements, restrictions and rights-of-way of record.

Together with and subject to an easement for ingress, egress, and utilities described as follows: An easement for ingress, egress, and utilities over part of the Southwest 1/4 of Section 9, Town 3 North, Range 16 West, City of Saugatuck, Allegan County, Michigan, described as: Commencing at the West 1/4 corner of said Section; thence N89°59'45"E 489.73 feet along the East-West 1/4 line of said Section (as monumented); thence S00°00'15"E 29.00 feet; thence N89°59'45"E 186.68 feet; thence S00°00'15"E 70.85 feet to the Point of Beginning; thence N89°59'45"E 20.00 feet; thence S00°00'15"E 36.91 feet; thence Southerly 30.78 feet along a 80.00 foot radius curve to the left, said curve having a central angle of 22°02'40", and a chord bearing S11°01'35"E 30.59 feet; thence S22°02'55"E 80.79 feet; thence Southerly 23.18 feet along a 120.00 foot radius curve to the right, said curve having a central angle of 11°03'57", and a chord bearing S16°30'57"E 23.14 feet; thence S10°58'58"E 56.13 feet; thence Southerly 46.97 feet along a 160.00 foot radius curve to the right, said curve having a central angle of 16°49'18", and a chord bearing S02°34'19"E 46.81 feet; thence S05°50'19"W 130.69 feet; thence Southerly 55.78 feet along a 110.00 foot radius curve to the right, said curve having a central angle of 29°03'12", and a chord bearing S20°21'55"W 55.18 feet; thence S34°53'32"W 42.47 feet; thence Southerly 3.90 feet along a 90.00 foot radius curve to the left, said curve having a central angle of 02°28'51", and a chord bearing S33°39'06"W 3.90 feet; thence Southerly 23.91 feet along a 30.00 foot radius curve to the left, said curve having a central angle of 45°40'07", and a chord bearing S09°34'37"W 23.28 feet; thence S89°47'18"W 8.80 feet; thence N70°37'37"W 17.85 feet; thence Northeasterly 35.39 feet along a 110.00 foot radius curve to the right, said curve having a central angle of 18°25'57", and a chord bearing N25°40'33"E 35.24 feet; thence N34°53'32"E 42.47 feet; thence Northerly 45.64 feet along a 90.00 foot radius curve to the left, said curve having a central angle of 29°03'12", and a chord bearing N20°21'55"E 45.15 feet; thence N05°50'19"E 130.69 feet; thence Northerly 41.10 feet along a 140.00 foot radius curve to the left, said curve having a central angle of 16°49'18", and a chord bearing N02°34'19"W 40.96 feet; thence N10°58'58"W 56.13 feet; thence Northerly 19.31 feet along a 100.00 foot radius curve to the left, said curve having a central angle of 11°03'57", and a chord bearing N16°30'57"W 19.28 feet; thence N22°02'55"W 80.79 feet; thence Northerly

38.47 feet along a 100.00 foot radius curve to the right, said curve having a central angle of $22^{\circ}02'40''$, and a chord bearing $N11^{\circ}01'35''W$ 38.24 feet; thence $N00^{\circ}00'15''W$ 36.91 feet to the Point of Beginning.



Allegan County MI Register of Deeds
Bob Genetski, Register of Deeds
Document # 2023009371
OPR LIBER 4867 PAGE 486
Recorded: 06/28/2023 11:36 AM

QUIT CLAIM DEED

3

KNOW ALL PERSONS BY THESE PRESENTS: That Vine Street Cottages, LLC, a Michigan limited liability company whose address is 2050 Celadon Dr NE Ste B Grand Rapids, MI 49525

Quit Claim(s) to Vine Street Cottages, LLC, a Michigan limited liability company whose address is 2050 Celadon Dr NE Ste B Grand Rapids, MI 49525

the following described premises situated in the City of Saugatuck, County of Allegan, State of Michigan:

SEE ATTACHED EXHIBIT "A"

Commonly known as: 293 Sugar Hill Ct, Saugatuck, MI 49453

Tax Parcel # 03-57-009-051-13

for the full consideration of: \$1.00.

This instrument is exempt from taxation for the County Real Estate Transfer Tax pursuant to MCL.207.505.a

This instrument is exempt from taxation for the State Real Estate Transfer Tax pursuant to MCL.207.526.a.

RECEIVED

'23 JUN 28 AM 11:12

② Trans GR-ew

Dated: June 27, 2023

Vine Street Cottages, LLC, a Michigan limited liability company

By Bradley A. Rottschafer, Member

STATE OF MICHIGAN

COUNTY OF KENT

The foregoing instrument was acknowledged before me on this 27 day of June, 2023, by Bradley A. Rottschafer, Member of Vine Street Cottages, LLC, a Michigan limited liability company.

Print Name: _____
Notary Public _____ County, Michigan
Acting in _____ County
My commission expires: _____

BETH BURCHETT
NOTARY PUBLIC, STATE OF MI
COUNTY OF KENT
MY COMMISSION EXPIRES Feb 21, 2026
ACTING IN COUNTY OF Kent

File No. 356169GRR

Drafted by and Return to:
Bradley A. Rottschafer
Vine Street Cottages, LLC, a Michigan limited liability company.
2050 Celadon Dr NE Ste B Grand Rapids, MI 49525

Exhibit "A"

PARCEL "2" DESCRIPTION:

Part of the Southwest 1/4 of Section 9, Town 3 North, Range 16 West, City of Saugatuck, Allegan County, Michigan, described as: Commencing at the West 1/4 corner of said Section; thence N89°59'45"E 851.94 feet along the East-West 1/4 line of said Section (as monumented); thence S00°38'30"W 247.31 feet along the West line of Oak Knolls Subdivision to the Point of Beginning; thence continuing S00°38'30"W

221.00 feet along said West line; thence N89°20'06"W 115.13 feet; thence N05°50'19"E 102.76 feet; thence Northerly 44.04 feet along a 150.00 foot radius curve to the left, said curve having a central angle of 16°49'18", and a chord bearing N02°34'19"W 43.88 feet; thence N10°58'58"W 56.13 feet; thence Northerly 7.93 feet along a 110.00 foot radius curve to the left, said curve having a central angle of 04°07'54", and a chord bearing N13°02'55"W 7.93 feet; thence N79°01'02"E 60.29 feet; thence S89°20'06"E 62.42 feet to the Point of Beginning. Contains 0.56 acres. Subject to easements, restrictions and rights-of-way of record.

Together with and subject to an easement for ingress, egress, and utilities described as follows: An easement for ingress, egress, and utilities over part of the Southwest 1/4 of Section 9, Town 3 North, Range 16 West, City of Saugatuck, Allegan County, Michigan, described as: Commencing at the West 1/4 corner of said Section; thence N89°59'45"E 489.73 feet along the East-West 1/4 line of said Section (as monumented); thence S00°00'15"E 29.00 feet; thence N89°59'45"E 186.68 feet; thence S00°00'15"E 70.85 feet to the Point of Beginning; thence N89°59'45"E 20.00 feet; thence S00°00'15"E 36.91 feet; thence Southerly 30.78 feet along a 80.00 foot radius curve to the left, said curve having a central angle of 22°02'40", and a chord bearing S11°01'35"E 30.59 feet; thence S22°02'55"E 80.79 feet; thence Southerly 23.18 feet along a 120.00 foot radius curve to the right, said curve having a central angle of 11°03'57", and a chord bearing S16°30'57"E 23.14 feet; thence S10°58'58"E 56.13 feet; thence Southerly 46.97 feet along a 160.00 foot radius curve to the right, said curve having a central angle of 16°49'18", and a chord bearing S02°34'19"E 46.81 feet; thence S05°50'19"W 130.69 feet; thence Southerly 55.78 feet along a 110.00 foot radius curve to the right, said curve having a central angle of 29°03'12", and a chord bearing S20°21'55"W 55.18 feet; thence S34°53'32"W 42.47 feet; thence Southerly 3.90 feet along a 90.00 foot radius curve to the left, said curve having a central angle of 02°28'51", and a chord bearing S33°39'06"W 3.90 feet; thence Southerly 23.91 feet along a 30.00 foot radius curve to the left, said curve having a central angle of 45°40'07", and a chord bearing S09°34'37"W 23.28 feet; thence S89°47'18"W 8.80 feet; thence N70°37'37"W 17.85 feet; thence Northeasterly 35.39 feet along a 110.00 foot radius curve to the right, said curve having a central angle of 18°25'57", and a chord bearing N25°40'33"E 35.24 feet; thence N34°53'32"E 42.47 feet; thence Northerly 45.64 feet along a 90.00 foot radius curve to the left, said curve having a central angle of 29°03'12", and a chord bearing N20°21'55"E 45.15 feet; thence N05°50'19"E 130.69 feet; thence Northerly 41.10 feet along a 140.00 foot radius curve to the left, said curve having a central angle of 16°49'18", and a chord bearing N02°34'19"W 40.96 feet; thence N10°58'58"W 56.13 feet; thence Northerly 19.31 feet along a 100.00 foot radius curve to the left, said curve having a central angle of 11°03'57", and a chord bearing N16°30'57"W 19.28 feet; thence N22°02'55"W 80.79 feet; thence Northerly 38.47 feet along a 100.00 foot radius curve to the right, said curve having a central angle of 22°02'40", and a chord bearing N11°01'35"W 38.24 feet; thence N00°00'15"W 36.91 feet to the Point of Beginning.



Allegan County MI Register of Deeds
 Bob Genetski, Register of Deeds
 Document # 2023009372
 OPR LIBER 4867 PAGE 489
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(A)

QUIT CLAIM DEED

KNOW ALL PERSONS BY THESE PRESENTS: That Vine Street Cottages, LLC, a Michigan limited liability company whose address is 2050 Celadon Dr NE Ste B Grand Rapids, MI 49525

Quit Claim(s) to Vine Street Cottages, LLC, a Michigan limited liability company whose address is 2050 Celadon Dr NE Ste B Grand Rapids, MI 49525

the following described premises situated in the City of Saugatuck, County of Allegan, State of Michigan:

SEE ATTACHED EXHIBIT "A"

Commonly known as: 297 Sugar Hill Ct, Saugatuck, MI 49453

Tax Parcel # 03-57-009-051-14

for the full consideration of: \$1.00.

This instrument is exempt from taxation for the County Real Estate Transfer Tax pursuant to MCL.207.505.a

This instrument is exempt from taxation for the State Real Estate Transfer Tax pursuant to MCL.207.526.a.

RECEIVED

'23 JUN 28 AM 11:12

3 Trans Al-ew.

Dated: June 27, 2023

Vine Street Cottages, LLC, a Michigan limited liability company

By Bradley A. Rottschafer, Member

STATE OF MICHIGAN

COUNTY OF KENT

The foregoing instrument was acknowledged before me on this 27, June 2023, by Bradley A. Rottschafer, Member of Vine Street Cottages, LLC, a Michigan limited liability company.

Print Name: _____
Notary Public _____ County, Michigan
Acting in _____ County
My commission expires: _____

BETH BURCHETT
NOTARY PUBLIC, STATE OF MI
COUNTY OF KENT
MY COMMISSION EXPIRES Feb 21, 2026
ACTING IN COUNTY OF Kent

File No. 356169GRR

Drafted by and Return to:
Bradley A. Rottschafer
Vine Street Cottages, LLC, a Michigan limited liability company.
2050 Celadon Dr NE Ste B Grand Rapids, MI 49525

EXHIBIT "A"

Property situated in the City of Saugatuck, County of Allegan, and State of Michigan described as:

PARCEL "3" DESCRIPTION:

Part of the Southwest 1/4 of Section 9, Town 3 North, Range 16 West, City of Saugatuck, Allegan County, Michigan, described as: Commencing at the West 1/4 corner of said Section; thence N89°59'45"E 797.94 feet along the East-West 1/4 line of said Section (as monumented) to the Point of Beginning; thence continuing N89°59'45"E 54.00 feet; thence S00°38'30"W 247.31 feet along the West

line of Oak Knolls Subdivision; thence N89°20'06"W 62.42 feet; thence S79°01'02"W 60.29 feet; thence Northerly 13.31 feet along a 110.00 foot radius curve to the left, said curve having a central angle of 06°56'03", and a chord bearing N18°34'54"W 13.30 feet; thence N22°02'55"W 80.79 feet; thence Northerly 11.36 feet along a 90.00 foot radius curve to the right, said curve having a central angle of 07°13'51", and a chord bearing N18°26'00"W 11.35 feet; thence N84°37'39"E 94.27 feet; thence N05°32'59"E 151.67 feet to the Point of Beginning.

Together with and subject to an easement for ingress, egress, and utilities described as follows: An easement for ingress, egress, and utilities over part of the Southwest 1/4 of Section 9, Town 3 North, Range 16 West, City of Saugatuck, Allegan County, Michigan, described as: Commencing at the West 1/4 corner of said Section; thence N89°59'45"E 489.73 feet along the East-West 1/4 line of said Section (as monumented); thence S00°00'15"E 29.00 feet; thence N89°59'45"E 186.68 feet; thence S00°00'15"E 70.85 feet to the Point of Beginning; thence N89°59'45"E 20.00 feet; thence S00°00'15"E 36.91 feet; thence Southerly 30.78 feet along a 80.00 foot radius curve to the left, said curve having a central angle of 22°02'40", and a chord bearing S11°01'35"E 30.59 feet; thence S22°02'55"E 80.79 feet; thence Southerly 23.18 feet along a 120.00 foot radius curve to the right, said curve having a central angle of 11°03'57", and a chord bearing S16°30'57"E 23.14 feet; thence S10°58'58"E 56.13 feet; thence Southerly 46.97 feet along a 160.00 foot radius curve to the right, said curve having a central angle of 16°49'18", and a chord bearing S02°34'19"E 46.81 feet; thence S05°50'19"W 130.69 feet; thence Southerly 55.78 feet along a 110.00 foot radius curve to the right, said curve having a central angle of 29°03'12", and a chord bearing S20°21'55"W 55.18 feet; thence S34°53'32"W 42.47 feet; thence Southerly 3.90 feet along a 90.00 foot radius curve to the left, said curve having a central angle of 02°28'51", and a chord bearing S33°39'06"W 3.90 feet; thence Southerly 23.91 feet along a 30.00 foot radius curve to the left, said curve having a central angle of 45°40'07", and a chord bearing S09°34'37"W 23.28 feet; thence S89°47'18"W 8.80 feet; thence N70°37'37"W 17.85 feet; thence Northeasterly 35.39 feet along a 110.00 foot radius curve to the right, said curve having a central angle of 18°25'57", and a chord bearing N25°40'33"E 35.24 feet; thence

N34°53'32"E 42.47 feet; thence Northerly 45.64 feet along a 90.00 foot radius curve to the left, said curve having a central angle of 29°03'12", and a chord bearing N20°21'55"E 45.15 feet; thence N05°50'19"E 130.69 feet; thence Northerly 41.10 feet along a 140.00 foot radius curve to the left, said curve having a central angle of 16°49'18", and a chord bearing N02°34'19"W 40.96 feet; thence N10°58'58"W 56.13 feet; thence Northerly 19.31 feet along a 100.00 foot radius curve to the left, said curve having a central angle of 11°03'57", and a chord bearing N16°30'57"W 19.28 feet; thence N22°02'55"W 80.79 feet; thence Northerly 38.47 feet along a 100.00 foot radius curve to the right, said curve having a central angle of 22°02'40", and a chord bearing N11°01'35"W 38.24 feet; thence N00°00'15"W 36.91 feet to the Point of Beginning.


Allegan County MI Register of Deeds
Bob Genetski, Register of Deeds
Document # 2023009373
OPR LIBER 4867 PAGE 493
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QUIT CLAIM DEED

(4)

KNOW ALL PERSONS BY THESE PRESENTS: That Vine Street Cottages, LLC, a Michigan limited liability company
whose address is 2050 Celadon Dr NE Ste B Grand Rapids, MI 49525

Quit Claim(s) to Vine Street Cottages, LLC, a Michigan limited liability company
whose address is 2050 Celadon Dr NE Ste B Grand Rapids, MI 49525

the following described premises situated in the City of Saugatuck, County of Allegan, State of Michigan:

SEE ATTACHED EXHIBIT "A"

Commonly known as: 301 Sugar Hill Ct, Saugatuck, MI 49453

Tax Parcel # 03-57-009-051-15

for the full consideration of: \$1.00.

This instrument is exempt from taxation for the County Real Estate Transfer Tax pursuant to MCL.207.505.a

This instrument is exempt from taxation for the State Real Estate Transfer Tax pursuant to MCL.207.526.a.

RECEIVED

'23 JUN 28 AM 11 : 12

(4) Trans GR-enu.

Dated : June 27, 2023

Vine Street Cottages, LLC, a Michigan limited liability company

By Bradley A. Rottschafer, Member

STATE OF MICHIGAN

COUNTY OF KENT

The foregoing instrument was acknowledged before me on this 27 day of June, 2023, by Bradley A. Rottschafer, Member of Vine Street Cottages, LLC, a Michigan limited liability company.

Print Name: _____
Notary Public _____ County, Michigan
Acting in _____ County
My commission expires: _____

BETH BURCHETT
NOTARY PUBLIC, STATE OF MI
COUNTY OF KENT
MY COMMISSION EXPIRES Feb 21, 2026
ACTING IN COUNTY OF Kent

File No. 356169GRR

Drafted by and Return to:
Bradley A. Rottschafer
Vine Street Cottages, LLC, a Michigan limited liability company.
2050 Celadon Dr NE Ste B Grand Rapids, MI 49525

EXHIBIT "A"

Property situated in the City of Saugatuck, County of Allegan, and State of Michigan described as:

PARCEL "4" DESCRIPTION:

Part of the Southwest 1/4 of Section 9, Town 3 North, Range 16 West, City of Saugatuck, Allegan County, Michigan, described as: Commencing at the West 1/4 corner of said Section; thence N89°59'45"E 489.73 feet along the East-West 1/4 line of said Section (as monumented) to the Point of Beginning; thence continuing N89°59'45"E 308.21 feet along said East-West 1/4 line; thence S05°32'59"W 151.67 feet; thence S84°37'39"W 94.27 feet; thence Northerly 23.27 feet along a 90.00 foot radius curve to the right, said curve having a central angle of 14°48'49", and a chord bearing N07°24'40"W 23.20 feet; thence N00°00'15"W 36.91 feet; thence S89°59'45"W 10.00 feet; thence N00°00'15"W 70.85 feet; thence S89°59'45"W 186.68 feet; thence N00°00'15"W 29.00 feet to the Point of Beginning.

Together with and subject to an easement for ingress, egress, and utilities described as follows: An easement for ingress, egress, and utilities over part of the Southwest 1/4 of Section 9, Town 3 North, Range 16 West, City of Saugatuck, Allegan County, Michigan, described as: Commencing at the West 1/4 corner of said Section; thence N89°59'45"E 489.73 feet along the East-West 1/4 line of said Section (as monumented); thence S00°00'15"E 29.00 feet; thence N89°59'45"E 186.68 feet; thence S00°00'15"E 70.85 feet to the Point of Beginning; thence N89°59'45"E 20.00 feet; thence S00°00'15"E 36.91 feet; thence Southerly 30.78 feet along a 80.00 foot radius curve to the left, said curve having a central angle of 22°02'40", and a chord bearing S11°01'35"E 30.59 feet; thence S22°02'55"E 80.79 feet; thence Southerly 23.18 feet along a 120.00 foot radius curve to the right, said curve having a central angle of 11°03'57", and a chord bearing S16°30'57"E 23.14 feet; thence S10°58'58"E 56.13 feet; thence Southerly 46.97 feet along a 160.00 foot radius curve to the right, said curve having a central angle of 16°49'18", and a chord bearing S02°34'19"E 46.81 feet; thence S05°50'19"W 130.69 feet; thence Southerly 55.78 feet along a 110.00 foot radius curve to the right, said curve having a central angle of 29°03'12", and a chord bearing S20°21'55"W 55.18 feet; thence S34°53'32"W 42.47 feet; thence Southerly 3.90 feet along a 90.00 foot radius curve to the left, said curve having a central angle of 02°28'51", and a chord bearing S33°39'06"W 3.90 feet; thence Southerly 23.91 feet along a 30.00 foot radius curve to the left, said curve having a central angle of 45°40'07", and a chord bearing S09°34'37"W 23.28 feet; thence S89°47'18"W 8.80 feet; thence N70°37'37"W 17.85 feet; thence Northeasterly 35.39 feet along a 110.00 foot radius curve to the right, said curve having a central angle of 18°25'57", and a chord bearing N25°40'33"E 35.24 feet; thence N34°53'32"E 42.47 feet; thence Northerly 45.64 feet along a 90.00 foot radius curve to the left, said curve having a central angle of 29°03'12", and a chord bearing N20°21'55"E 45.15 feet;

thence N05°50'19"E 130.69 feet; thence Northerly 41.10 feet along a 140.00 foot radius curve to the left, said curve having a central angle of 16°49'18", and a chord bearing N02°34'19"W 40.96 feet; thence N10°58'58"W 56.13 feet; thence Northerly 19.31 feet along a 100.00 foot radius curve to the left, said curve having a central angle of 11°03'57", and a chord bearing N16°30'57"W 19.28 feet; thence N22°02'55"W 80.79 feet; thence Northerly 38.47 feet along a 100.00 foot radius curve to the right, said curve having a central angle of 22°02'40", and a chord bearing N11°01'35"W 38.24 feet; thence N00°00'15"W 36.91 feet to the Point of Beginning.



Allegan County MI Register of Deeds
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 Document # 2023009374
 OPR LIBER 4867 PAGE 497
 Recorded: 06/28/2023 11:36 AM

④

QUIT CLAIM DEED

KNOW ALL PERSONS BY THESE PRESENTS: That Vine Street Cottages, LLC, a Michigan limited liability company whose address is 2050 Celadon Dr NE Ste B Grand Rapids, MI 49525

Quit Claim(s) to Vine Street Cottages, LLC, a Michigan limited liability company whose address is 2050 Celadon Dr NE Ste B Grand Rapids, MI 49525

the following described premises situated in the City of Saugatuck, County of Allegan, State of Michigan:

SEE ATTACHED EXHIBIT "A"

Commonly known as: 298 Sugar Hill Ct, Saugatuck, MI 49453

Tax Parcel # 03-57-009-051-16

for the full consideration of: \$1.00.

This instrument is exempt from taxation for the County Real Estate Transfer Tax pursuant to MCL.207.505.a

This instrument is exempt from taxation for the State Real Estate Transfer Tax pursuant to MCL.207.526.a.

RECEIVED
 '23 JUN 28 AM 11:12

⑤ Trans OE-enn.

Dated: June 27, 2023

Vine Street Cottages, LLC, a Michigan limited liability company

By Bradley A. Rottschäfer, Member

STATE OF MICHIGAN

COUNTY OF KENT

The foregoing instrument was acknowledged before me on this 27 day of June, 2023, by Bradley A. Rottschäfer, Member of Vine Street Cottages, LLC, a Michigan limited liability company.

Print Name: _____
Notary Public _____ County, Michigan
Acting in _____ County
My commission expires: _____

BETH BURCHETT
NOTARY PUBLIC, STATE OF MI
COUNTY OF KENT
MY COMMISSION EXPIRES Feb 21, 2026
ACTING IN COUNTY OF Kent

File No. 356169GRR

Drafted by and Return to:
Bradley A. Rottschäfer
Vine Street Cottages, LLC, a Michigan limited liability company.
2050 Celadon Dr NE Ste B Grand Rapids, MI 49525

EXHIBIT "A"

Property situated in the City of Saugatuck, County of Allegan, and State of Michigan described as:

PARCEL "5" DESCRIPTION:

Part of the Southwest 1/4 of Section 9, Town 3 North, Range 16 West, City of Saugatuck, Allegan County, Michigan, described as: Commencing at the West 1/4 corner of said Section; thence N89°59'45"E 489.73 feet along the East-West 1/4 line of said Section (as monumented); thence S00°00'15"E 29.00 feet to the Point of Beginning; thence N89°59'45"E 186.68 feet; thence S00°00'15"E 70.85 feet; thence N89°59'45"E 10.00 feet; thence S00°00'15"E 36.91 feet; thence Southerly 18.83 feet along a 90.00 foot radius curve to the left, said curve having a central angle of 11°59'08", and a chord bearing S05°59'49"E 18.79 feet; thence N89°20'06"W 189.05 feet; thence N20°52'35"W 26.97 feet; thence N00°00'15"W 99.05 feet to the Point of Beginning.

Together with and subject to an easement for ingress, egress, and utilities described as follows: An easement for ingress, egress, and utilities over part of the Southwest 1/4 of Section 9, Town 3 North, Range 16 West, City of Saugatuck, Allegan County, Michigan, described as: Commencing at the West 1/4 corner of said Section; thence N89°59'45"E 489.73 feet along the East-West 1/4 line of said Section (as monumented); thence S00°00'15"E 29.00 feet; thence N89°59'45"E 186.68 feet; thence S00°00'15"E 70.85 feet to the Point of Beginning; thence N89°59'45"E 20.00 feet; thence S00°00'15"E 36.91 feet; thence Southerly 30.78 feet along a 80.00 foot radius curve to the left, said curve having a central angle of 22°02'40", and a chord bearing S11°01'35"E 30.59 feet; thence S22°02'55"E 80.79 feet; thence Southerly 23.18 feet along a 120.00 foot radius curve to the right, said curve having a central angle of 11°03'57", and a chord bearing S16°30'57"E 23.14 feet; thence S10°58'58"E 56.13 feet; thence Southerly 46.97 feet along a 160.00 foot radius curve to the right, said curve having a central angle of 16°49'18", and a chord bearing S02°34'19"E 46.81 feet; thence S05°50'19"W 130.69 feet; thence Southerly 55.78 feet along a 110.00 foot radius curve to the right, said curve having a central angle of 29°03'12", and a chord bearing S20°21'55"W 55.18 feet; thence S34°53'32"W 42.47 feet; thence Southerly 3.90 feet along a 90.00 foot radius curve to the left, said curve having a central angle of 02°28'51", and a chord bearing S33°39'06"W 3.90 feet; thence Southerly 23.91 feet along a 30.00 foot radius curve to the left, said curve having a central angle of 45°40'07", and a chord bearing S09°34'37"W 23.28 feet; thence S89°47'18"W 8.80 feet; thence N70°37'37"W 17.85 feet; thence Northeasterly 35.39 feet along a 110.00 foot radius curve to the right, said curve having a central angle of 18°25'57", and a chord bearing N25°40'33"E 35.24 feet; thence N34°53'32"E 42.47 feet; thence Northerly 45.64 feet along a 90.00 foot radius curve to the left, said curve having a central angle of 29°03'12", and a chord bearing N20°21'55"E 45.15 feet; thence N05°50'19"E 130.69 feet; thence Northerly 41.10 feet along a 140.00 foot radius curve to

the left, said curve having a central angle of $16^{\circ}49'18''$, and a chord bearing $N02^{\circ}34'19''W$ 40.96 feet; thence $N10^{\circ}58'58''W$ 56.13 feet; thence Northerly 19.31 feet along a 100.00 foot radius curve to the left, said curve having a central angle of $11^{\circ}03'57''$, and a chord bearing $N16^{\circ}30'57''W$ 19.28 feet; thence $N22^{\circ}02'55''W$ 80.79 feet; thence Northerly 38.47 feet along a 100.00 foot radius curve to the right, said curve having a central angle of $22^{\circ}02'40''$, and a chord bearing $N11^{\circ}01'35''W$ 38.24 feet; thence $N00^{\circ}00'15''W$ 36.91 feet to the Point of Beginning.



Allegan County MI Register of Deeds
Bob Genetski, Register of Deeds
Document # 2023009375
OPR LIBER 4867 PAGE 501
Recorded: 06/28/2023 11:36 AM

(A)

QUIT CLAIM DEED

KNOW ALL PERSONS BY THESE PRESENTS: That Vine Street Cottages, LLC, a Michigan limited liability company whose address is 2050 Celadon Dr NE Ste B Grand Rapids, MI 49525

Quit Claim(s) to Vine Street Cottages, LLC, a Michigan limited liability company whose address is 2050 Celadon Dr NE Ste B Grand Rapids, MI 49525

the following described premises situated in the City of Saugatuck, County of Allegan, State of Michigan:

SEE ATTACHED EXHIBIT "A"

Commonly known as: 296 Sugar Hill Ct, Saugatuck, MI 49453

Tax Parcel # 03-57-009-051-17

for the full consideration of: \$1.00.

This instrument is exempt from taxation for the County Real Estate Transfer Tax pursuant to MCL.207.505.a

This instrument is exempt from taxation for the State Real Estate Transfer Tax pursuant to MCL.207.526.a.

RECEIVED

'23 JUN 28 AM 11:12

(e) Trans GE-ew

Dated: June 27, 2023

Vine Street Cottages, LLC, a Michigan limited liability company

By Bradley A. Rottschafer, Member

STATE OF MICHIGAN

COUNTY OF KENT

The foregoing instrument was acknowledged before me on this 27 day of June, 2023, by Bradley A. Rottschafer, Member of Vine Street Cottages, LLC, a Michigan limited liability company.

Print Name: _____
Notary Public _____ County, Michigan
Acting in _____ County
My commission expires: _____

BETH BURCHETT
NOTARY PUBLIC, STATE OF MI
COUNTY OF KENT
MY COMMISSION EXPIRES Feb 21, 2026
ACTING IN COUNTY OF Kent

File No. 356169GRR

Drafted by and Return to:
Bradley A. Rottschafer
Vine Street Cottages, LLC, a Michigan limited liability company.
2050 Celadon Dr NE Ste B Grand Rapids, MI 49525

EXHIBIT "A"

Property situated in the City of Saugatuck, County of Allegan, and State of Michigan described as:

PARCEL 6:

Part of the Southwest 1/4 of Section 9, Town 3 North, Range 16 West, City of Saugatuck, Allegan County, Michigan, described as: Commencing at the West 1/4 corner of said Section; thence N89°59'45"E 489.73 feet along the East-West 1/4 line of said Section (as monumented); thence S00°00'15"E 128.05 feet; thence S20°52'35"E 26.97 feet to the Point of Beginning; thence S89°20'06"E 189.05 feet; thence Southerly 15.80 feet along a 90.00 foot radius curve to the left, said curve having a central angle of 10°03'32", and a chord bearing S17°01'09"E 15.78 feet; thence S22°02'55"E 80.79 feet; thence Southerly 21.24 feet along a 110.00 foot radius curve to the right, said curve having a central angle of 11°03'57", and a chord bearing S16°30'57"E 21.21 feet; thence S10°58'58"E 14.47 feet; thence N89°31'46"W 185.03 feet; thence N20°52'35"W 133.98 feet to the Point of Beginning.

Together with and subject to an easement for ingress, egress, and utilities described as follows: An easement for ingress, egress, and utilities over part of the Southwest 1/4 of Section 9, Town 3 North, Range 16 West, City of Saugatuck, Allegan County, Michigan, described as: Commencing at the West 1/4 corner of said Section; thence N89°59'45"E 489.73 feet along the East-West 1/4 line of said Section (as monumented); thence S00°00'15"E 29.00 feet; thence N89°59'45"E 186.68 feet; thence S00°00'15"E 70.85 feet to the Point of Beginning; thence N89°59'45"E 20.00 feet; thence S00°00'15"E 36.91 feet; thence Southerly 30.78 feet along a 80.00 foot radius curve to the left, said curve having a central angle of 22°02'40", and a chord bearing S11°01'35"E 30.59 feet; thence S22°02'55"E 80.79 feet; thence Southerly 23.18 feet along a 120.00 foot radius curve to the right, said curve having a central angle of 11°03'57", and a chord bearing S16°30'57"E 23.14 feet; thence S10°58'58"E 56.13 feet; thence Southerly 46.97 feet along a 160.00 foot radius curve to the right, said curve having a central angle of 16°49'18", and a chord bearing S02°34'19"E 46.81 feet; thence S05°50'19"W 130.69 feet; thence Southerly 55.78 feet along a 110.00 foot radius curve to the right, said curve having a central angle of 29°03'12", and a chord bearing S20°21'55"W 55.18 feet; thence S34°53'32"W 42.47 feet; thence Southerly 3.90 feet along a 90.00 foot radius curve to the left, said curve having a central angle of 02°28'51", and a chord bearing S33°39'06"W 3.90 feet; thence Southerly 23.91 feet along a 30.00 foot radius curve to the left, said curve having a central angle of 45°40'07", and a chord bearing S09°34'37"W 23.28 feet; thence S89°47'18"W 8.80 feet; thence N70°37'37"W 17.85 feet; thence Northeasterly 35.39 feet along a 110.00 foot radius curve to the right, said curve having a central

angle of $18^{\circ}25'57''$, and a chord bearing $N25^{\circ}40'33''E$ 35.24 feet; thence $N34^{\circ}53'32''E$ 42.47 feet; thence Northerly 45.64 feet along a 90.00 foot radius curve to the left, said curve having a central angle of $29^{\circ}03'12''$, and a chord bearing $N20^{\circ}21'55''E$ 45.15 feet; thence $N05^{\circ}50'19''E$ 130.69 feet; thence Northerly 41.10 feet along a 140.00 foot radius curve to the left, said curve having a central angle of $16^{\circ}49'18''$, and a chord bearing $N02^{\circ}34'19''W$ 40.96 feet; thence $N10^{\circ}58'58''W$ 56.13 feet; thence Northerly 19.31 feet along a 100.00 foot radius curve to the left, said curve having a central angle of $11^{\circ}03'57''$, and a chord bearing $N16^{\circ}30'57''W$ 19.28 feet; thence $N22^{\circ}02'55''W$ 80.79 feet; thence Northerly 38.47 feet along a 100.00 foot radius curve to the right, said curve having a central angle of $22^{\circ}02'40''$, and a chord bearing $N11^{\circ}01'35''W$ 38.24 feet; thence $N00^{\circ}00'15''W$ 36.91 feet to the Point of Beginning.



Allegan County MI Register of Deeds
 Bob Genetski, Register of Deeds
 Document # 2023009376
 OPR LIBER 4867 PAGE 505
 Recorded: 06/28/2023 11:36 AM

ⓧ

QUIT CLAIM DEED

KNOW ALL PERSONS BY THESE PRESENTS: That Vine Street Cottages, LLC, a Michigan limited liability company whose address is 2050 Celadon Dr NE Ste B Grand Rapids, MI 49525

Quit Claim(s) to Vine Street Cottages, LLC, a Michigan limited liability company whose address is 2050 Celadon Dr NE Ste B Grand Rapids, MI 49525

the following described premises situated in the City of Saugatuck, County of Allegan, State of Michigan:

SEE ATTACHED EXHIBIT "A"

Commonly known as: 292 Sugar Hill Ct, Saugatuck, MI 49453

Tax Parcel # 03-57-009-051-18

for the full consideration of: \$1.00.

This instrument is exempt from taxation for the County Real Estate Transfer Tax pursuant to MCL.207.505.a

This instrument is exempt from taxation for the State Real Estate Transfer Tax pursuant to MCL.207.526.a.

RECEIVED

'23 JUN 28 AM 11 : 12

① Trans Cir - em

Dated this 27 day of June, 2023

Vine Street Cottages, LLC, a Michigan limited liability company

By Bradley A. Rottschafer, Member

STATE OF MICHIGAN

COUNTY OF KENT

The foregoing instrument was acknowledged before me on this 27 day of June, 2023, by Bradley A. Rottschafer, Member of Vine Street Cottages, LLC, a Michigan limited liability company.

Print Name: _____
Notary Public _____ County, Michigan
Acting in _____ County
My commission expires: _____

BETH BURCHETT
NOTARY PUBLIC, STATE OF MI
COUNTY OF KENT
MY COMMISSION EXPIRES Feb 21, 2026
ACTING IN COUNTY OF Kent

File No. 356169GRR

Drafted by and Return to:
Bradley A. Rottschafer
Vine Street Cottages, LLC, a Michigan limited liability company.
2050 Celadon Dr NE Ste B Grand Rapids, MI 49525

Exhibit "A"

PARCEL "7" DESCRIPTION:

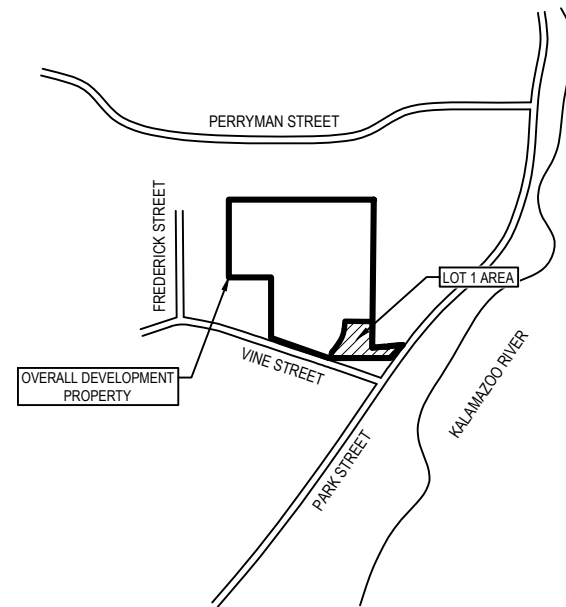
Part of the Southwest 1/4 of Section 9, Town 3 North, Range 16 West, City of Saugatuck, Allegan County, Michigan, described as: Commencing at the West 1/4 corner of said Section; thence N89°59'45"E 489.73 feet along the East-West 1/4 line of said Section (as monumented); thence S00°00'15"E 128.05 feet; thence S20°52'35"E 160.95 feet to the Point of Beginning; thence S89°31'46"E 185.03 feet; thence S10°58'58"E 41.66 feet; thence Southerly 44.04 feet along a 150.00 foot radius curve to the right, said curve having a central angle of 16°49'18", and a chord bearing S02°34'19"E 43.88 feet; thence S05°50'19"W 130.69 feet; thence Southerly 50.71 feet along a 100.00 foot radius curve to the right, said curve having a central angle of 29°03'12", and a chord bearing S20°21'55"W 50.17 feet; thence S34°53'32"W 42.47 feet; thence Southerly 32.68 feet along a 100.00 foot radius curve to the left, said curve having a central angle of 18°43'27", and a chord bearing S25°31'48"W 32.53 feet; thence N70°37'37"W 56.04 feet; thence N17°56'13"E 134.76 feet; thence N21°28'39"W 57.35 feet; thence N40°34'48"W 88.24 feet; thence N33°50'43"W 54.50 feet; thence N20°52'35"W 16.10 feet to the Point of Beginning. Contains 0.77 acres. Subject to easements, restrictions and rights-of-way of record

Together with and subject to an easement for ingress, egress, and utilities described as follows: An easement for ingress, egress, and utilities over part of the Southwest 1/4 of Section 9, Town 3 North, Range 16 West, City of Saugatuck, Allegan County, Michigan, described as: Commencing at the West 1/4 corner of said Section; thence N89°59'45"E 489.73 feet along the East-West 1/4 line of said Section (as monumented); thence S00°00'15"E 29.00 feet; thence N89°59'45"E 186.68 feet; thence S00°00'15"E 70.85 feet to the Point of Beginning; thence N89°59'45"E 20.00 feet; thence S00°00'15"E 36.91 feet; thence Southerly 30.78 feet along a 80.00 foot radius curve to the left, said curve having a central angle of 22°02'40", and a chord bearing S11°01'35"E 30.59 feet; thence S22°02'55"E 80.79 feet; thence Southerly 23.18 feet along a 120.00 foot radius curve to the right, said curve having a central angle of 11°03'57", and a chord bearing S16°30'57"E 23.14 feet; thence S10°58'58"E 56.13 feet; thence Southerly 46.97 feet along a 160.00 foot radius curve to the right, said curve having a central angle of 16°49'18", and a chord bearing S02°34'19"E 46.81 feet; thence S05°50'19"W 130.69 feet; thence Southerly 55.78 feet along a 110.00 foot radius curve to the right, said curve having a central angle of 29°03'12", and a chord bearing S20°21'55"W 55.18 feet; thence S34°53'32"W 42.47 feet; thence Southerly 3.90 feet along a 90.00 foot radius curve to the left, said curve having a central angle of 02°28'51", and a chord bearing S33°39'06"W 3.90 feet; thence Southerly 23.91 feet along a 30.00 foot radius curve to the left, said curve having a central angle of 45°40'07", and a chord bearing S09°34'37"W 23.28 feet; thence S89°47'18"W 8.80 feet; thence N70°37'37"W 17.85 feet; thence Northeasterly 35.39 feet along a 110.00 foot radius curve to the right, said curve having a central angle of 18°25'57", and a chord bearing N25°40'33"E 35.24 feet; thence N34°53'32"E 42.47 feet; thence Northerly 45.64 feet along a 90.00 foot radius curve to the left, said curve having a central angle of 29°03'12", and a chord bearing N20°21'55"E 45.15 feet; thence N05°50'19"E 130.69 feet; thence Northerly 41.10 feet along a 140.00 foot radius curve to the left, said curve having a central angle of 16°49'18", and a chord bearing N02°34'19"W 40.96 feet; thence N10°58'58"W 56.13 feet; thence Northerly 19.31 feet along a 100.00 foot radius curve to the left, said curve having a central angle of 11°03'57", and a chord bearing N16°30'57"W 19.28 feet; thence N22°02'55"W 80.79 feet; thence Northerly

38.47 feet along a 100.00 foot radius curve to the right, said curve having a central angle of $22^{\circ}02'40''$, and a chord bearing $N11^{\circ}01'35''W$ 38.24 feet; thence $N00^{\circ}00'15''W$ 36.91 feet to the Point of Beginning.

Exhibit J

Permit Application Sketches for VINE STREET COTTAGES (LOT 1)



LOCATION MAP

NOT TO SCALE



SHEET INDEX

- 1 SITE LOCATION MAP
- 2 EXISTING CONDITIONS MAP - OVERALL
- 3 EXISTING CONDITIONS MAP - LOT DETAIL
- 4 PROPOSED SITE PLAN
- 5 CROSS-SECTION 'A'
- 6 CROSS-SECTION 'B'
- 7 CROSS-SECTION 'C'

NO SCALE

Vine Street Cottages (Lot 1)

Site Location Map

SAUGATUCK, ALLEGAN COUNTY, MI

DRAWN BY: DTP

V. DATE: 05.04.20

PRJ NO: 16201802

CHECKED BY: JB

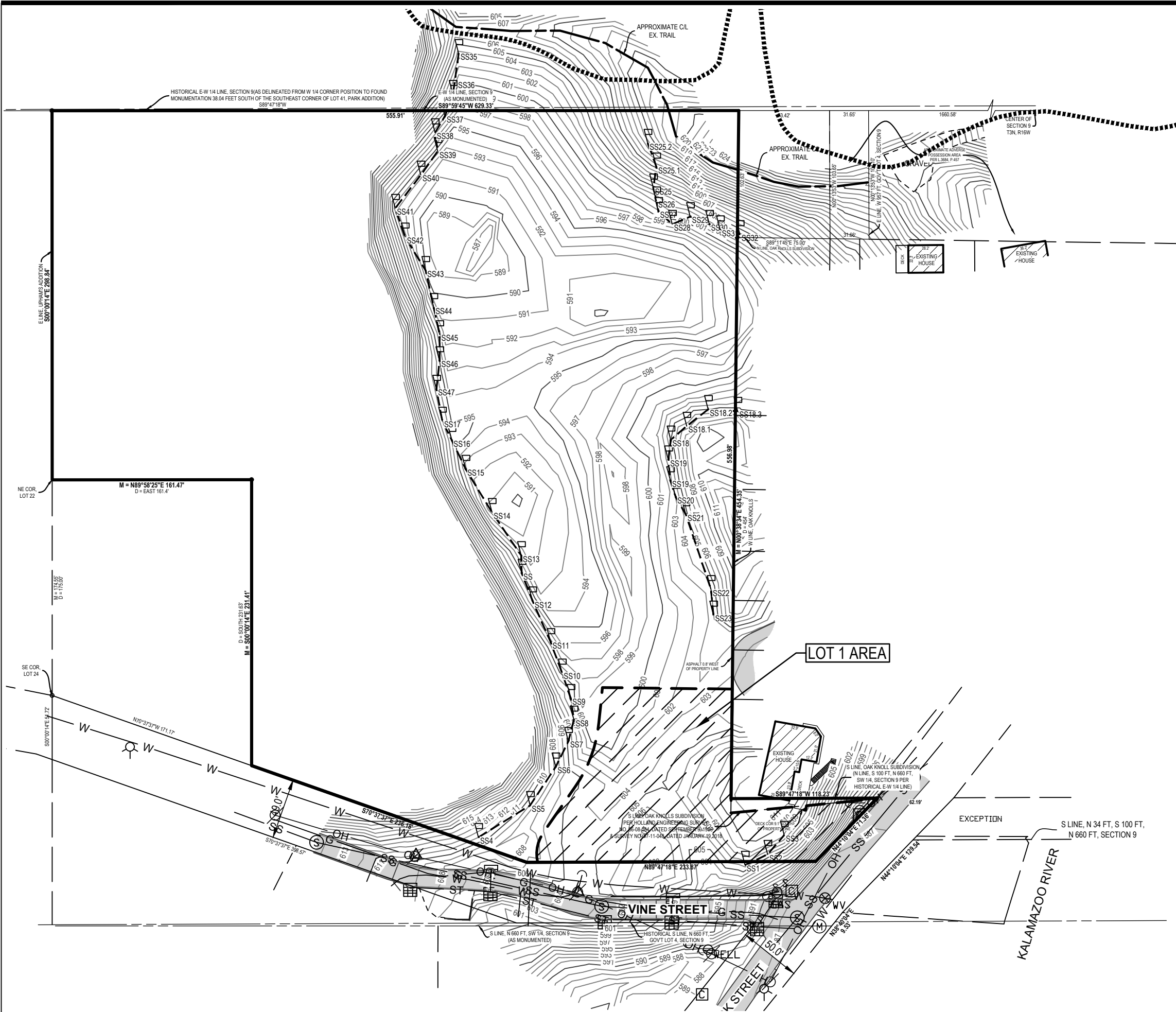
S. DATE: 05.04.20

1 OF 7



NORTH

NEDERVELD
 www.nederveld.com • 800.222.1868
 Grand Rapids
 217 Grandville Ave., Suite 302
 Grand Rapids, MI 49503
 Ann Arbor, Chicago, Columbus,
 Holland, Indianapolis, St. Louis



LEGEND

- Benchmark
- Catch Basin - Square
- Guy Anchor
- Manhole
- Sign
- Sanitary Sewer Manhole
- Utility Pole
- Underground Gas Marker
- Water Well
- OH Overhead Utility
- SS Sanitary
- ST Storm
- Asphalt
- Concrete
- Building
- Existing Grade Contour
- Critical Dune Steep Slope (33%) Boundary as determined by King & MacGregor

SCALE: 1" = 80' 0' 40' 80' NORTH

Vine Street Cottages (Lot 1)

Existing Conditions Map - Overall

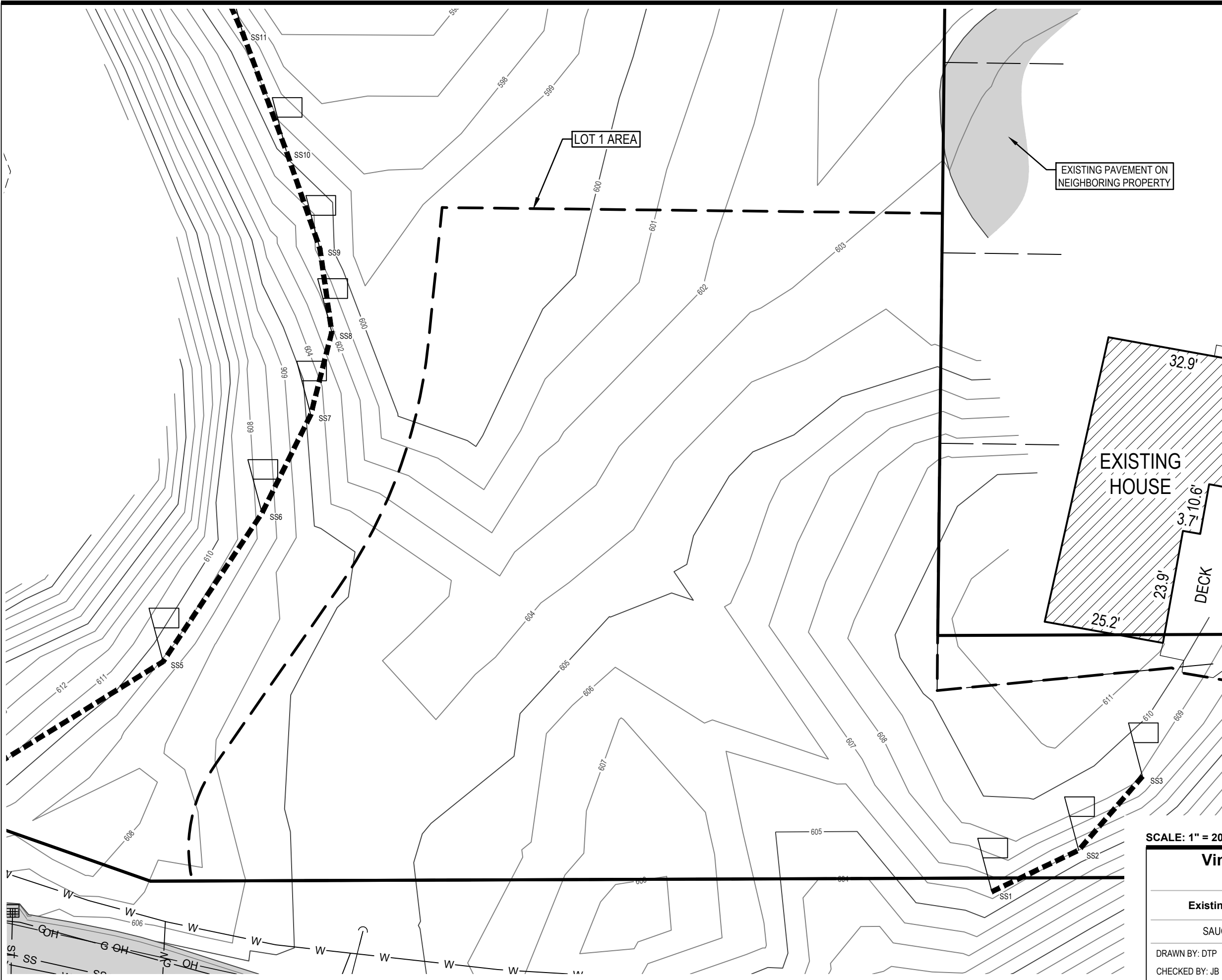
SAUGATUCK, ALLEGAN COUNTY, MI

DRAWN BY: DTP V. DATE: 05.04.20
 CHECKED BY: JB S. DATE: 05.04.20






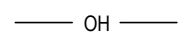
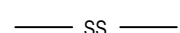
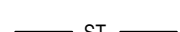

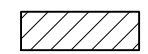



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LEGEND

-  Benchmark
-  Catch Basin - Square
-  Guy Anchor
-  Iron - Found
-  Underground Gas Marker
-  OH Overhead Utility
-  SS Sanitary
-  ST Storm
-  Asphalt
-  Building
-  Existing Grade Contour
-  Critical Dune Steep Slope (33%) Boundary as determined by King & MacGregor
-  Lot Boundary

SCALE: 1" = 20' 0' 10' 20'



Vine Street Cottages (Lot 1)

Existing Conditions Map - Lot Detail

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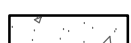

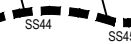




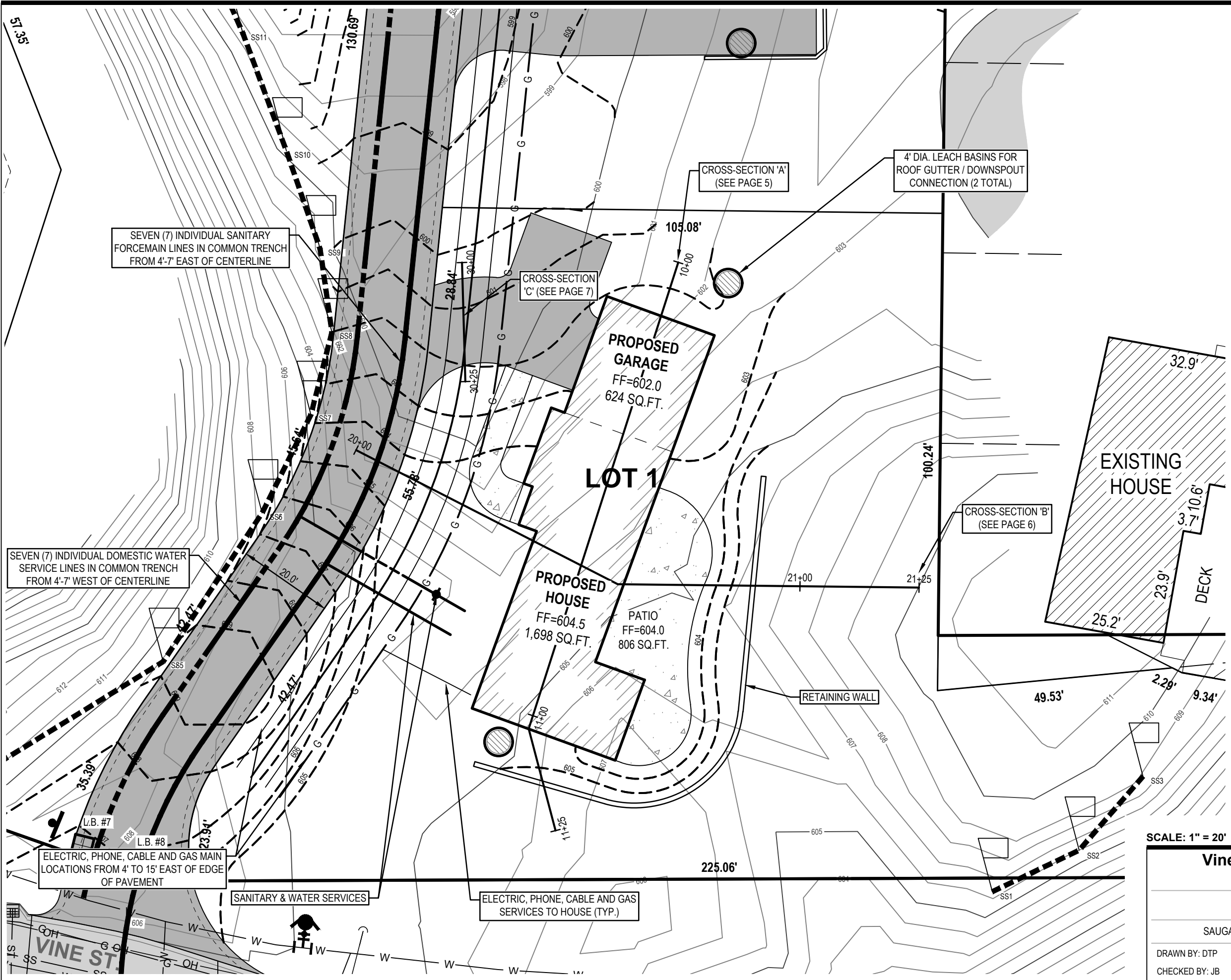
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LEGEND

-  EX. BITUMINOUS
-  PROPOSED BITUMINOUS
-  PROPOSED CONCRETE
-  CRITICAL DUNE STEEP SLOPE (33%) BOUNDARY AS DETERMINED BY KING & MACGREGOR
-  EX. GRADE CONTOUR
-  PROP. GRADE CONTOUR
-  PROPOSED 4' DIA. STORM LEACH BASIN FOR HOUSE ROOF WITH CONNECTION



SCALE: 1" = 20'

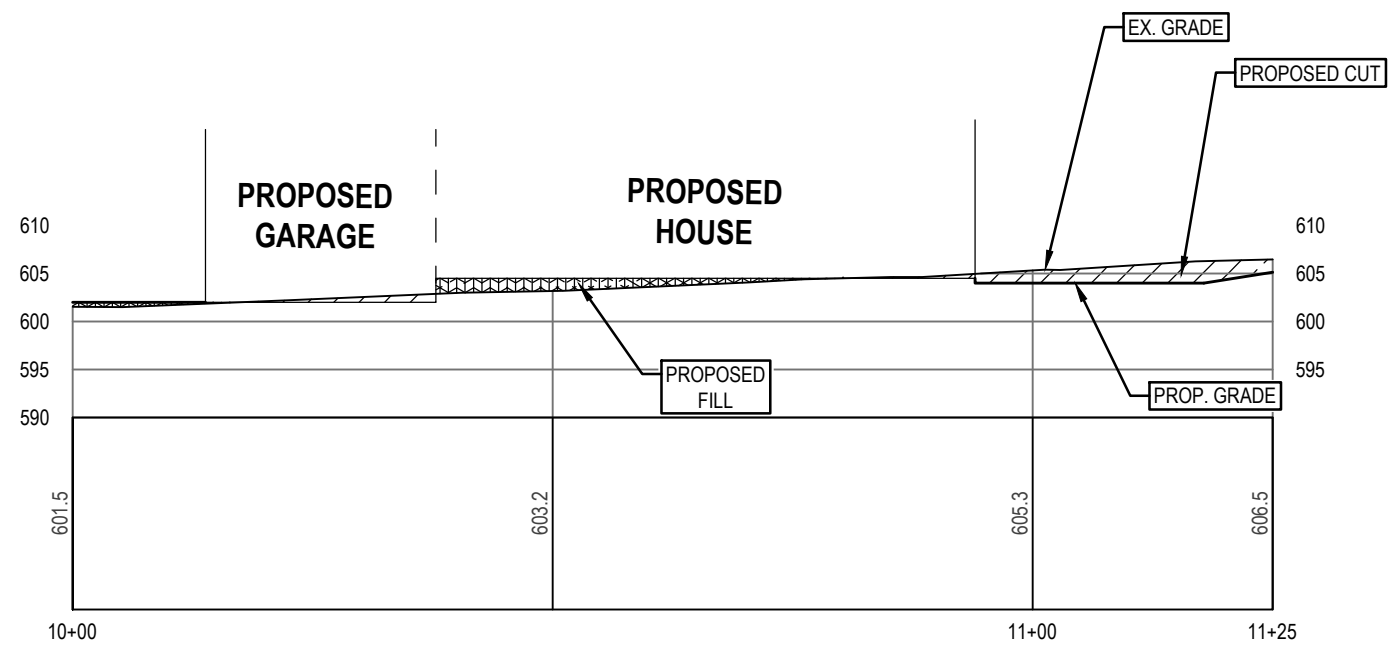
Vine Street Cottages (Lot 1)

Proposed Site Plan

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SCALE: 1" = 20'

0' 10' 20'

NORTH

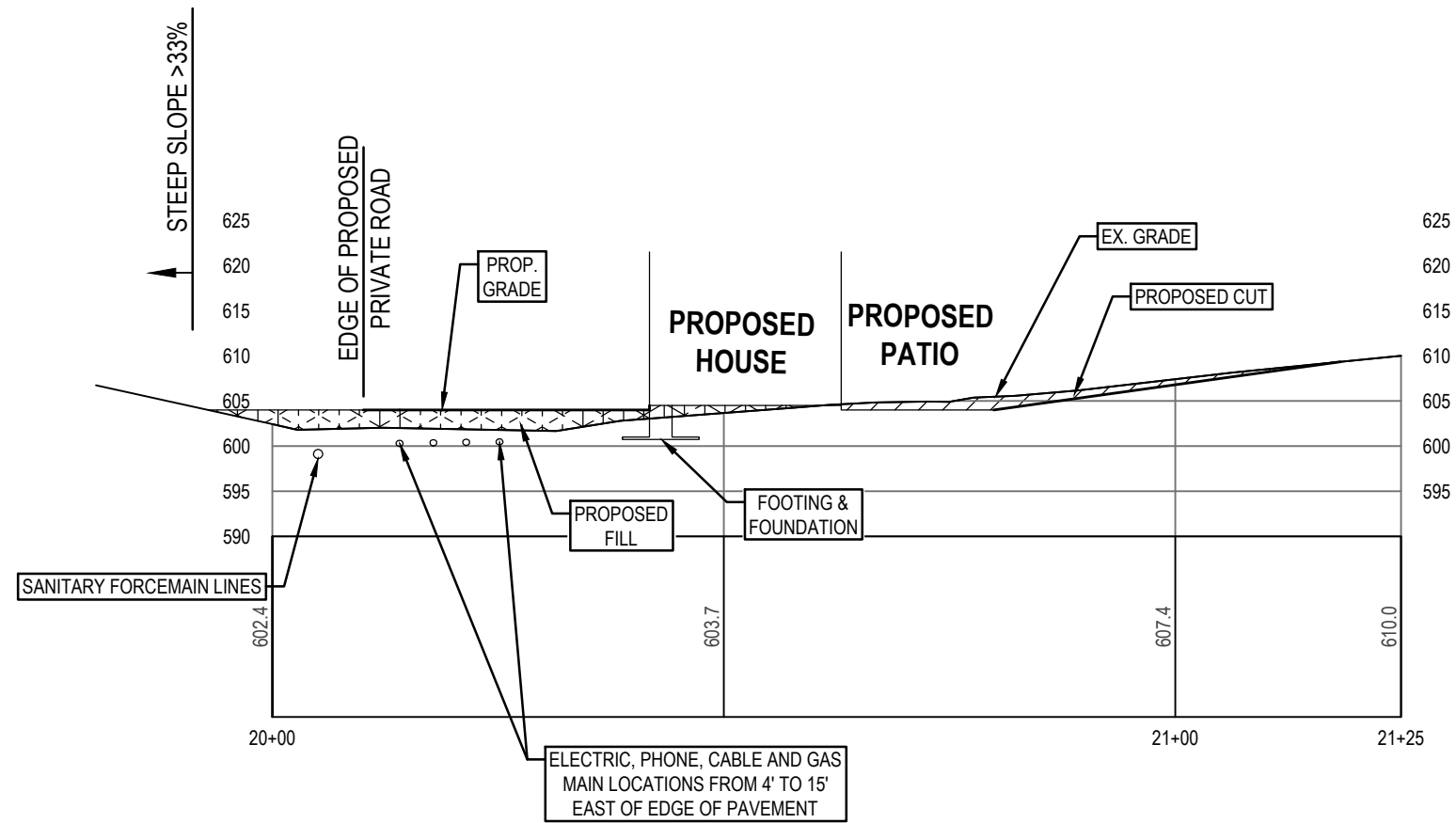
**Vine Street Cottages
(Lot 1)**

Cross-Section 'A'

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SCALE: 1" = 20' 0' 10' 20'

Vine Street Cottages (Lot 1)

Cross-Section 'B'

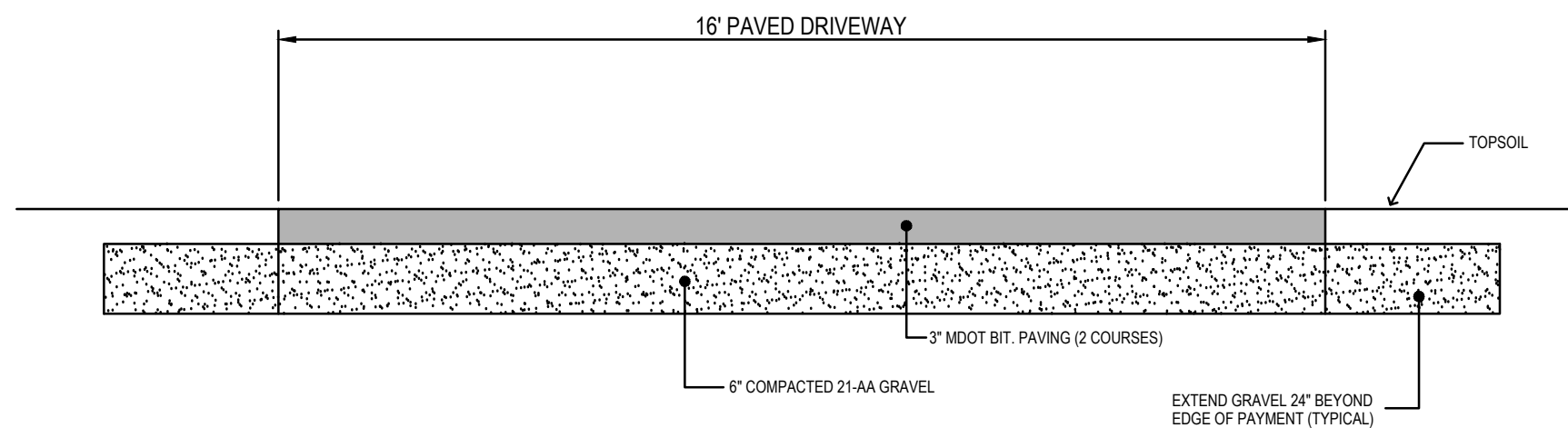
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NORTH

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TYPICAL 16' WIDE BITUMINOUS DRIVEWAY

N.T.S.

NO SCALE

**Vine Street Cottages
(Lot 1)**

Cross-Section 'C'

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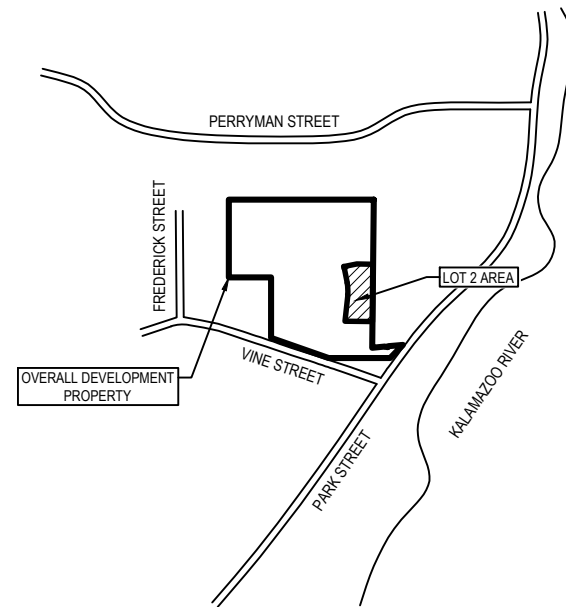
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Permit Application Sketches for VINE STREET COTTAGES (LOT 2)



LOCATION MAP

NOT TO SCALE



SHEET INDEX

- 1 SITE LOCATION MAP
- 2 EXISTING CONDITIONS MAP - OVERALL
- 3 EXISTING CONDITIONS MAP - LOT DETAIL
- 4 PROPOSED SITE PLAN
- 5 CROSS-SECTION 'A'
- 6 CROSS-SECTION 'B'
- 7 CROSS-SECTION 'C'
- 8 CROSS-SECTION 'D'

NO SCALE

Vine Street Cottages (Lot 2)

Site Location Map

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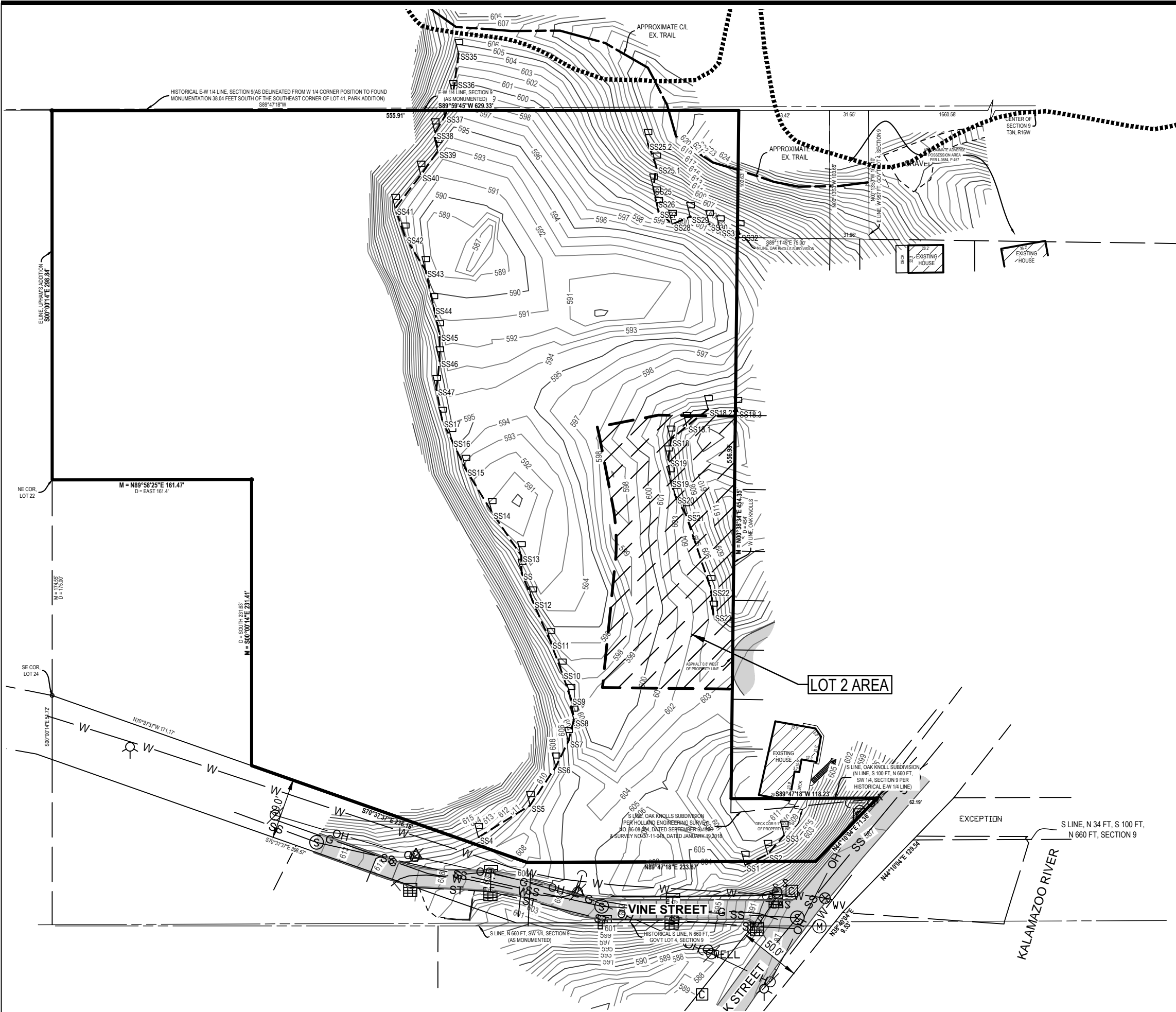
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
















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LEGEND

-  Benchmark
-  Catch Basin - Square
-  Guy Anchor
-  Manhole
-  Sign
-  Sanitary Sewer Manhole
-  Utility Pole
-  Underground Gas Marker
-  Water Well
-  OH Overhead Utility
-  SS Sanitary
-  ST Storm
-  Asphalt
-  Concrete
-  Building
-  Existing Grade Contour
-  Critical Dune Steep Slope (33%) Boundary as determined by King & MacGregor

SCALE: 1" = 80' 0' 40' 80'

Vine Street Cottages (Lot 2)

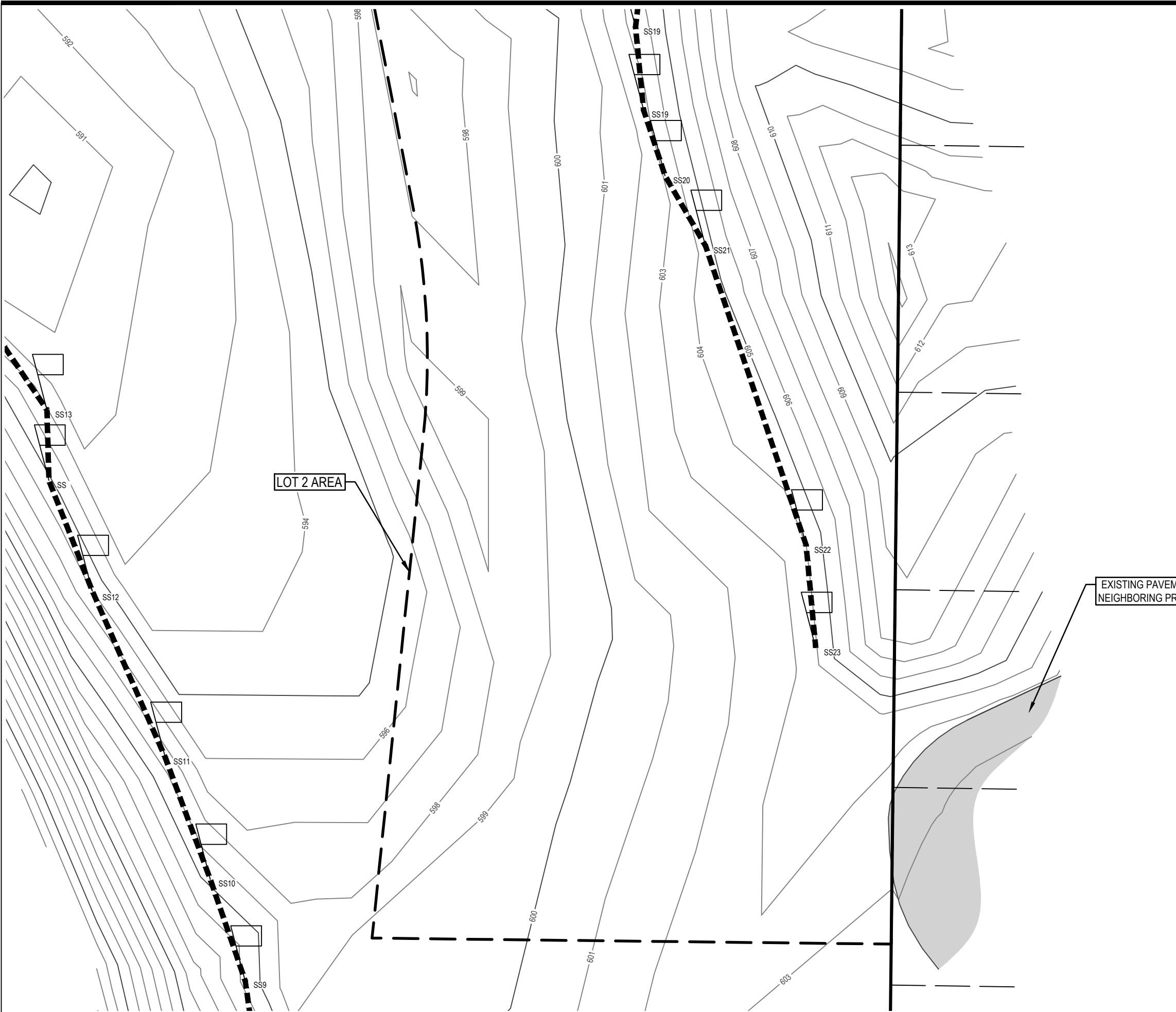
Existing Conditions Map - Overall

SAUGATUCK, ALLEGAN COUNTY, MI






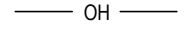
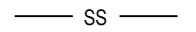




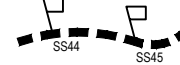

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LEGEND

-  Benchmark
-  Catch Basin - Square
-  Guy Anchor
-  Iron - Found
-  Underground Gas Marker
-  OH Overhead Utility
-  SS Sanitary
-  ST Storm
-  Asphalt
-  Building
-  Existing Grade Contour
-  Critical Dune Steep Slope (33%) Boundary as determined by King & MacGregor
-  Lot Boundary

EXISTING PAVEMENT ON NEIGHBORING PROPERTY

LOT 2 AREA

SCALE: 1" = 20' 0' 10' 20' NORTH

Vine Street Cottages (Lot 2)

Existing Conditions Map - Lot Detail

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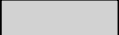

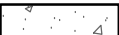




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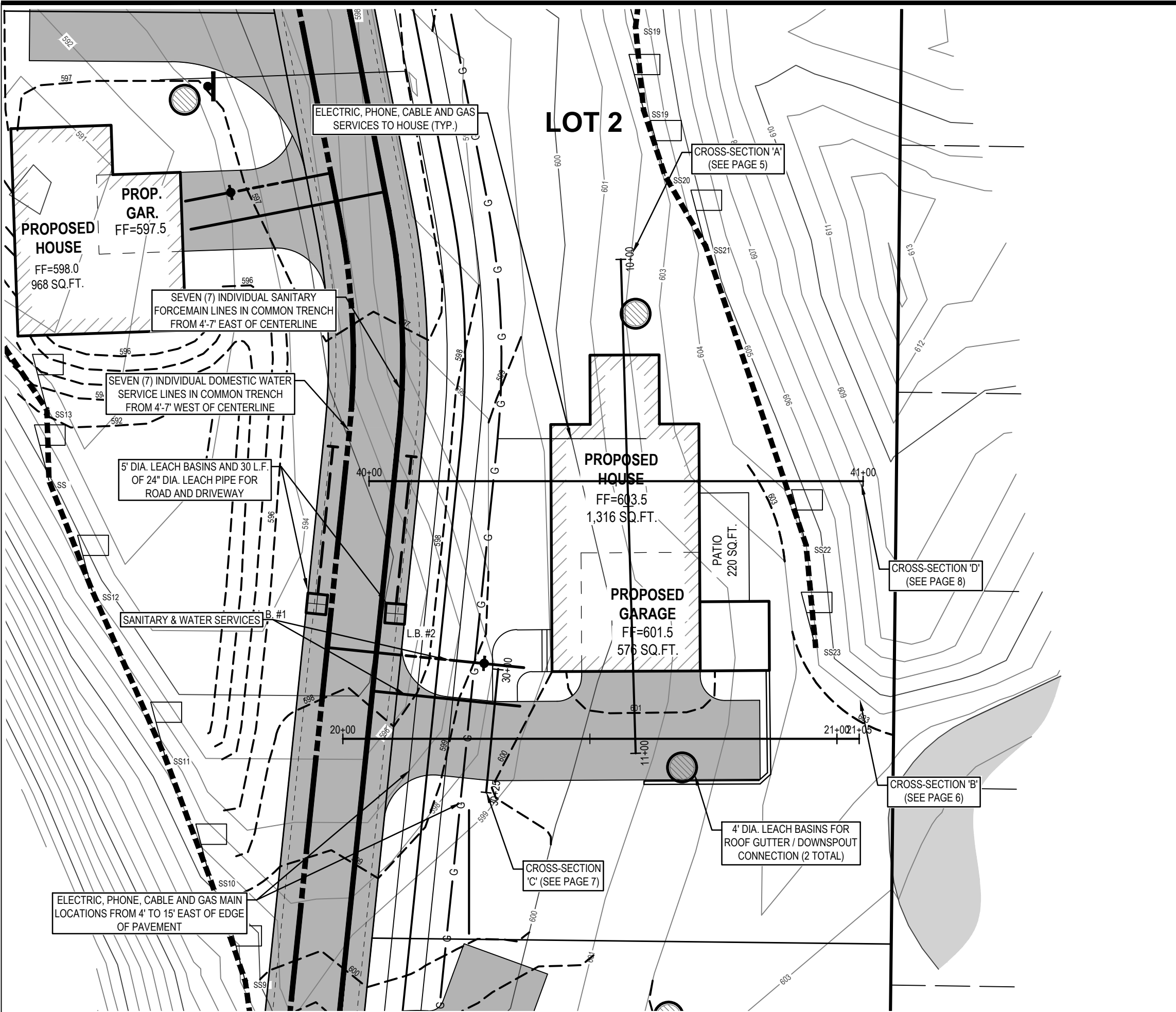



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LEGEND

-  EX. BITUMINOUS
-  PROPOSED BITUMINOUS
-  PROPOSED CONCRETE
-  CRITICAL DUNE STEEP SLOPE (33%) BOUNDARY AS DETERMINED BY KING & MACGREGOR
-  EX. GRADE CONTOUR
-  PROP. GRADE CONTOUR
-  PROPOSED 4' DIA. STORM LEACH BASIN FOR HOUSE ROOF WITH CONNECTION



SCALE: 1" = 20'

0' 10' 20'

NORTH

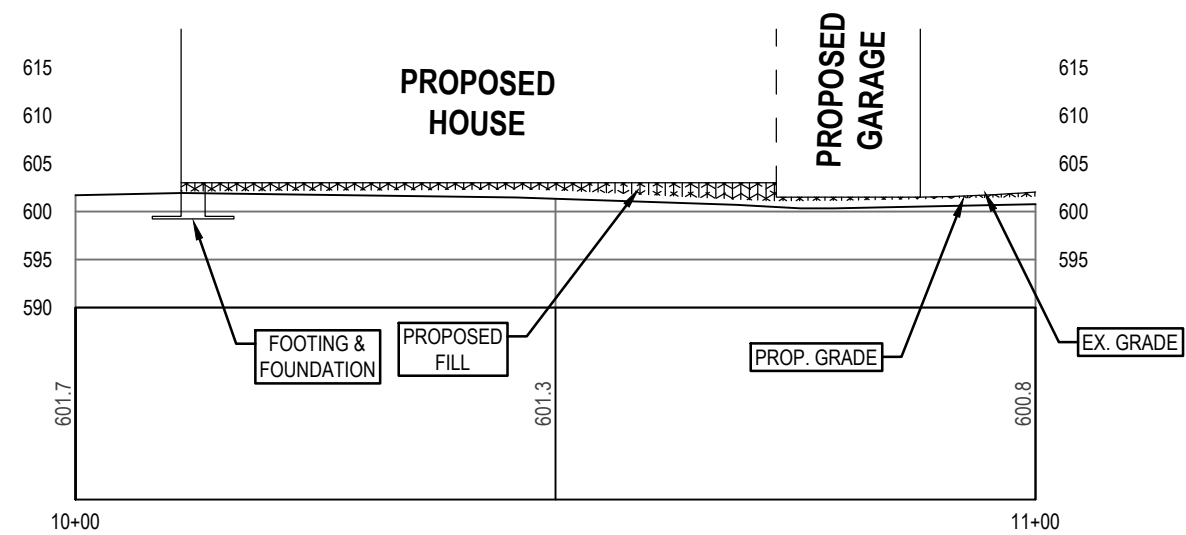
Vine Street Cottages (Lot 2)

Proposed Site Plan

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SCALE: 1" = 20' 0' 10' 20'



NORTH

**Vine Street Cottages
(Lot 2)**

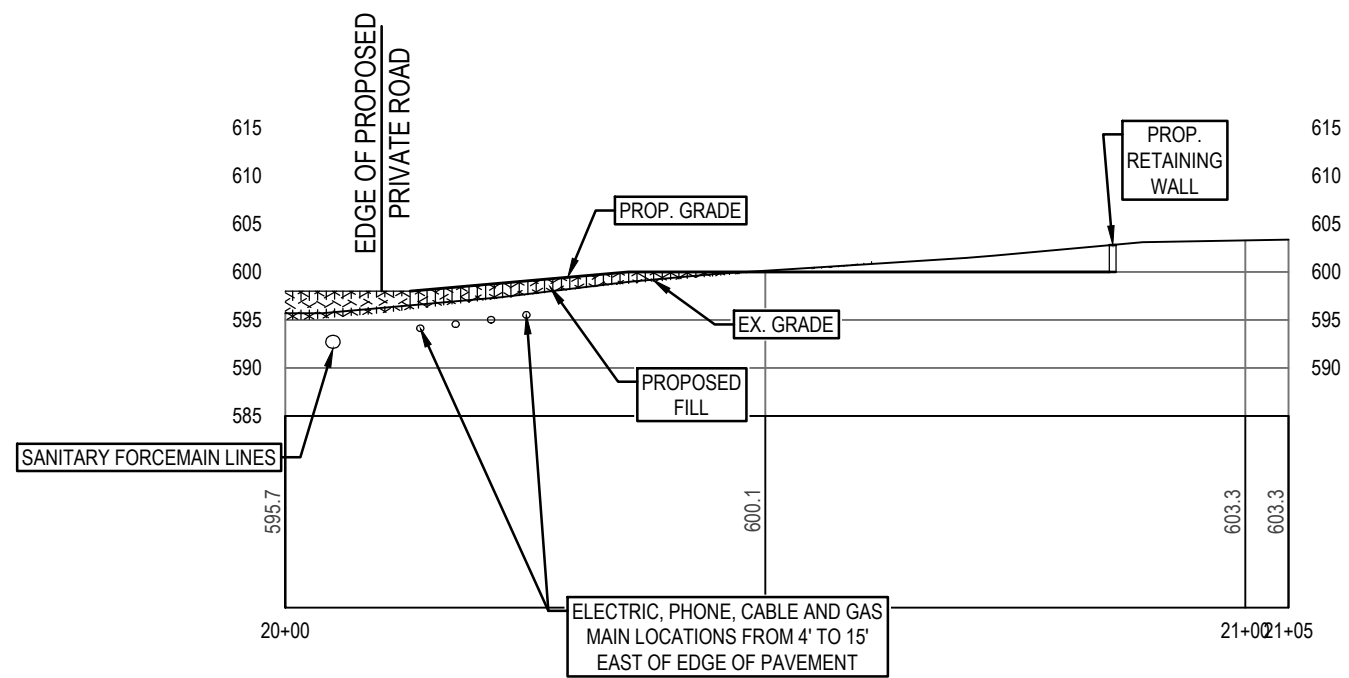
Cross-Section 'A'

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SCALE: 1" = 20' 0' 10' 20'



NORTH

**Vine Street Cottages
(Lot 2)**

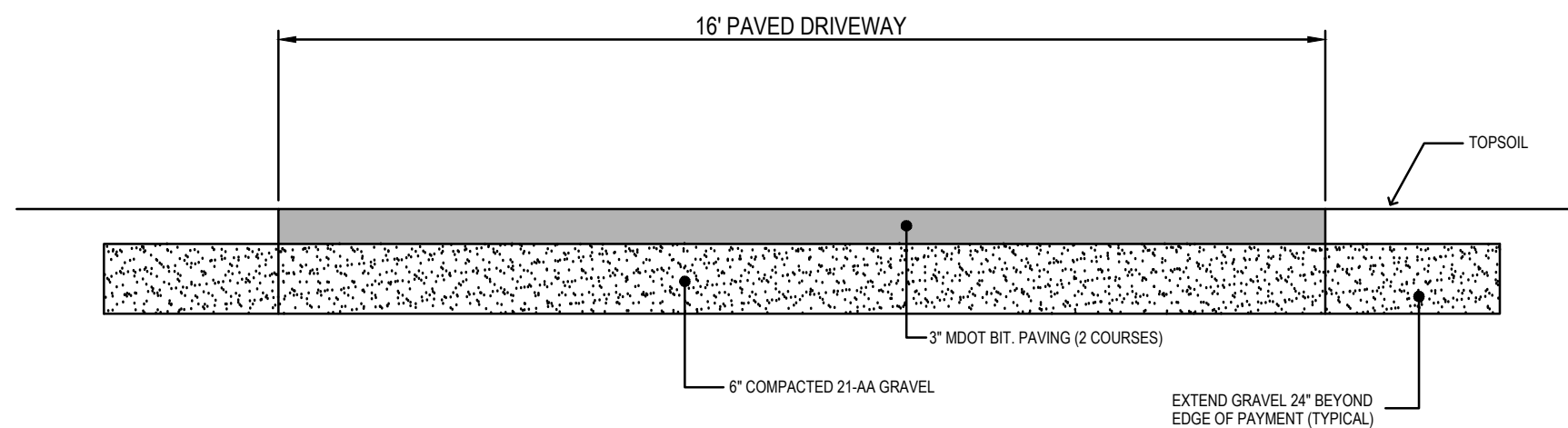
Cross-Section 'B'

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TYPICAL 16' WIDE BITUMINOUS DRIVEWAY

N.T.S.

NO SCALE

**Vine Street Cottages
(Lot 2)**

Cross-Section 'C'

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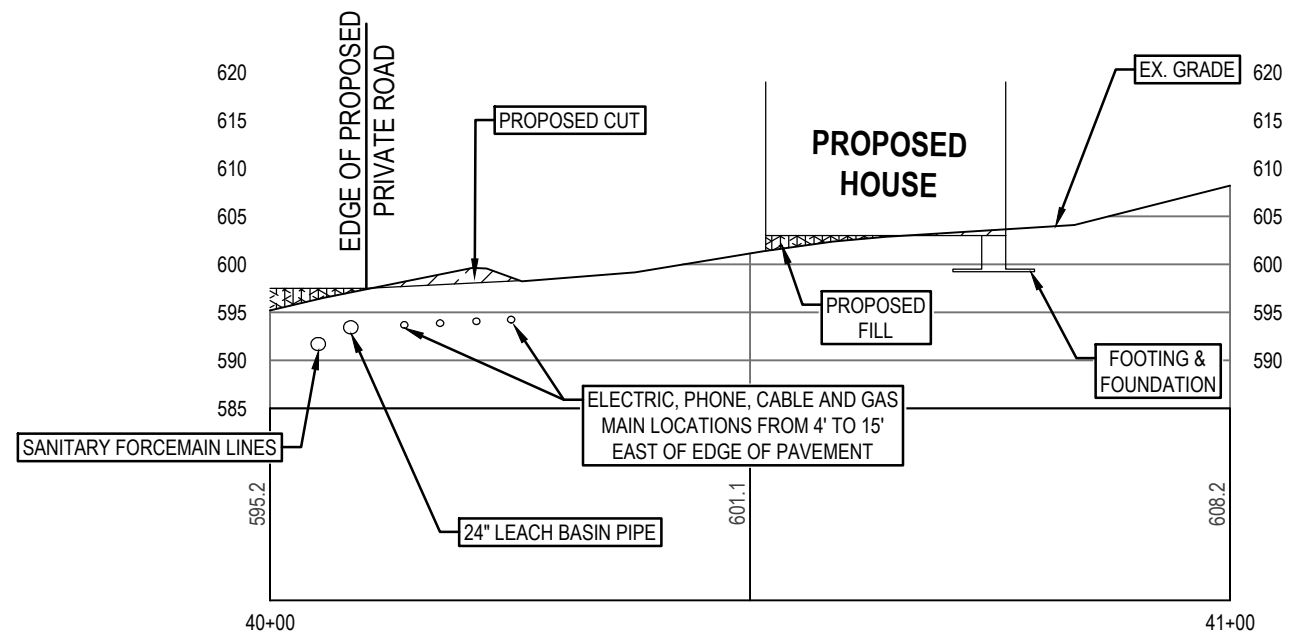


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SCALE: 1" = 20' 0' 10' 20'



NORTH

**Vine Street Cottages
(Lot 2)**

Cross-Section 'D'

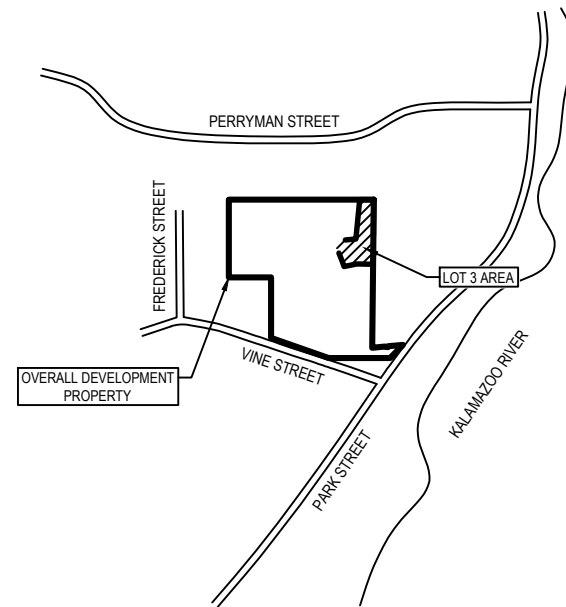
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Permit Application Sketches for VINE STREET COTTAGES (LOT 3)



LOCATION MAP

NOT TO SCALE



SHEET INDEX

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- 2 EXISTING CONDITIONS MAP - OVERALL
- 3 EXISTING CONDITIONS MAP - LOT DETAIL
- 4 PROPOSED SITE PLAN
- 5 CROSS-SECTION 'A'
- 6 CROSS-SECTION 'B'
- 7 CROSS-SECTION 'C'

NO SCALE



NORTH

Vine Street Cottages (Lot 3)

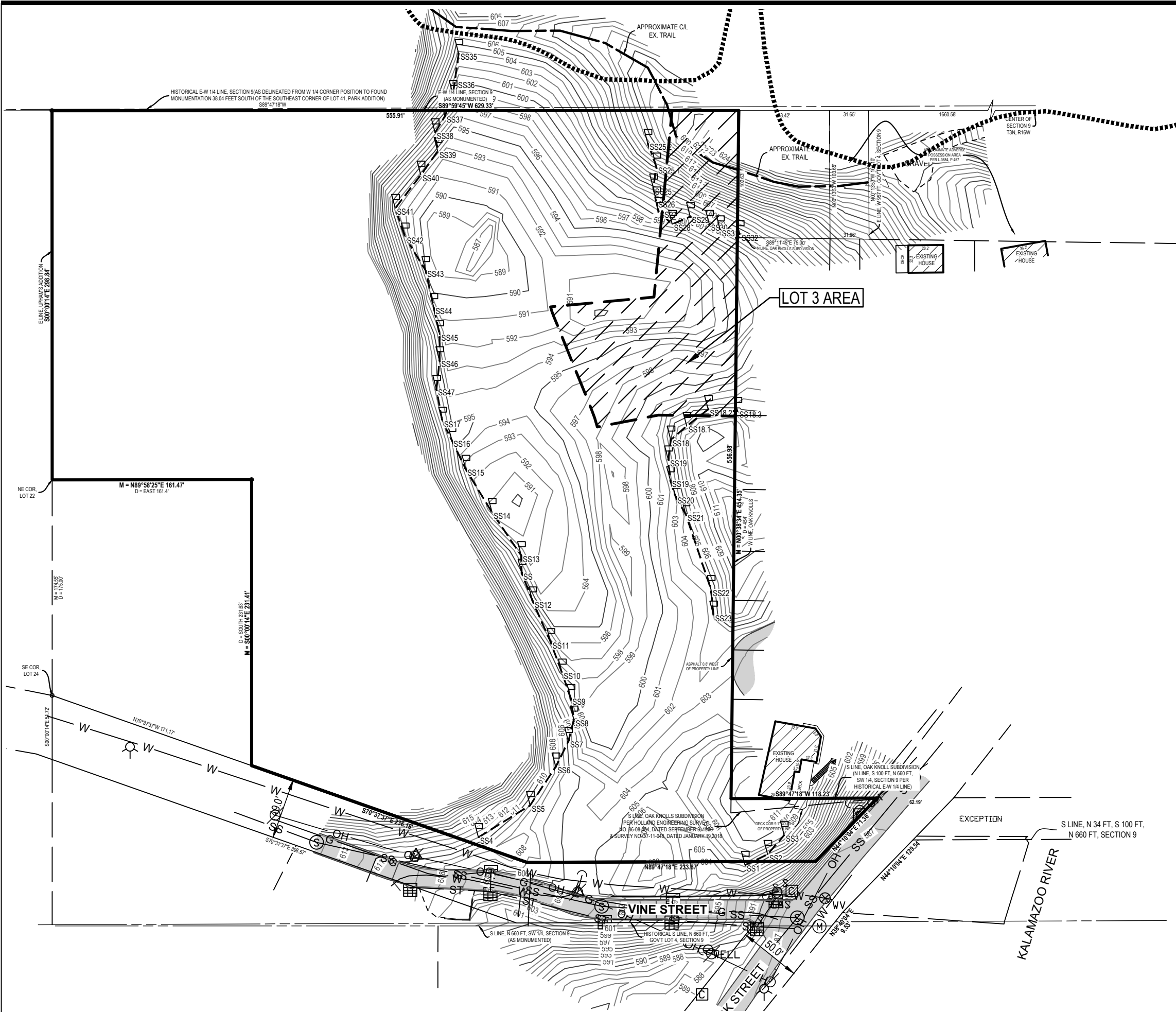
Site Location Map

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LEGEND

- Benchmark
- Catch Basin - Square
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- Manhole
- Sign
- Sanitary Sewer Manhole
- Utility Pole
- Underground Gas Marker
- Water Well
- Overhead Utility
- Sanitary
- Storm
- Asphalt
- Concrete
- Building
- Existing Grade Contour
- Critical Dune Steep Slope (33%) Boundary as determined by King & MacGregor

SCALE: 1" = 80' 0' 40' 80' NORTH

Vine Street Cottages (Lot 3)

Existing Conditions Map - Overall

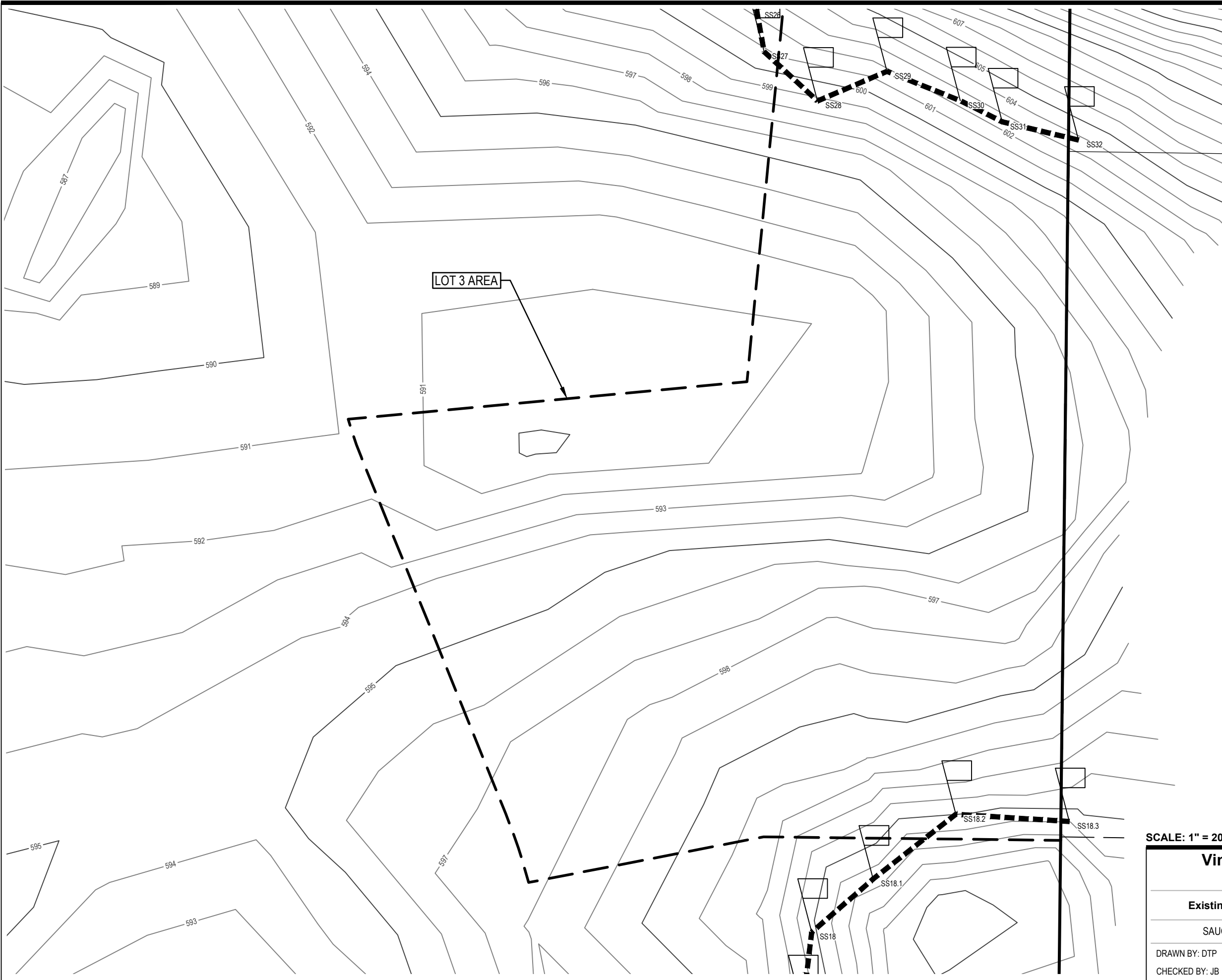
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






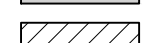



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LEGEND

-  Benchmark
-  Catch Basin - Square
-  Guy Anchor
-  Iron - Found
-  Underground Gas Marker
-  OH Overhead Utility
-  SS Sanitary
-  ST Storm
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-  Building
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SCALE: 1" = 20' 0' 10' 20'  NORTH

Vine Street Cottages (Lot 3)

Existing Conditions Map - Lot Detail

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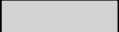

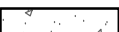


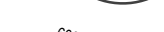



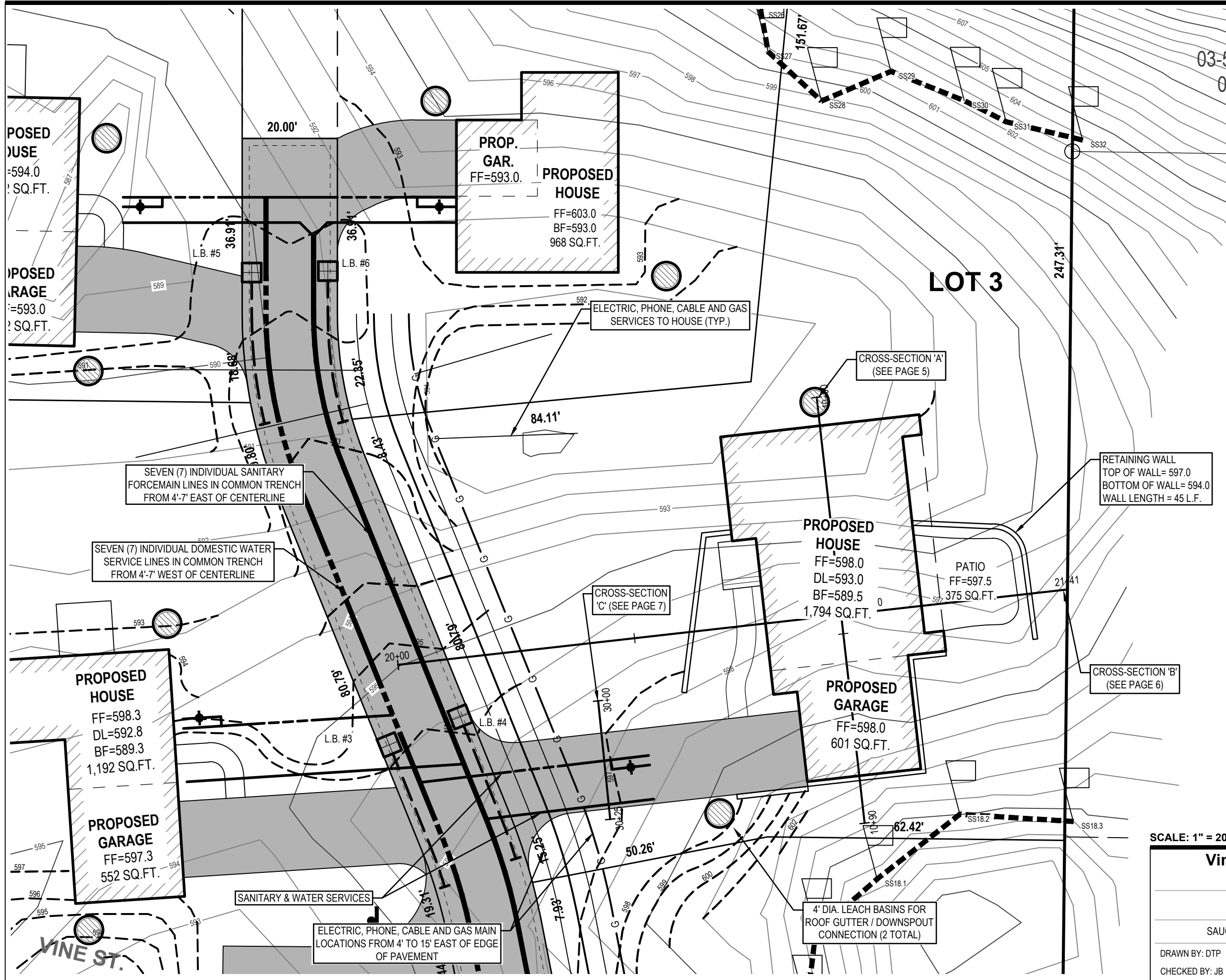
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LEGEND

-  EX. BITUMINOUS
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-  PROPOSED CONCRETE
-  CRITICAL DUNE STEEP SLOPE (33%) BOUNDARY AS DETERMINED BY KING & MACGREGOR
-  EX. GRADE CONTOUR
-  PROP. GRADE CONTOUR
-  PROPOSED 4' DIA. STORM LEACH BASIN FOR HOUSE ROOF WITH CONNECTION



SCALE: 1" = 20' 0' 10' 20' NORTH

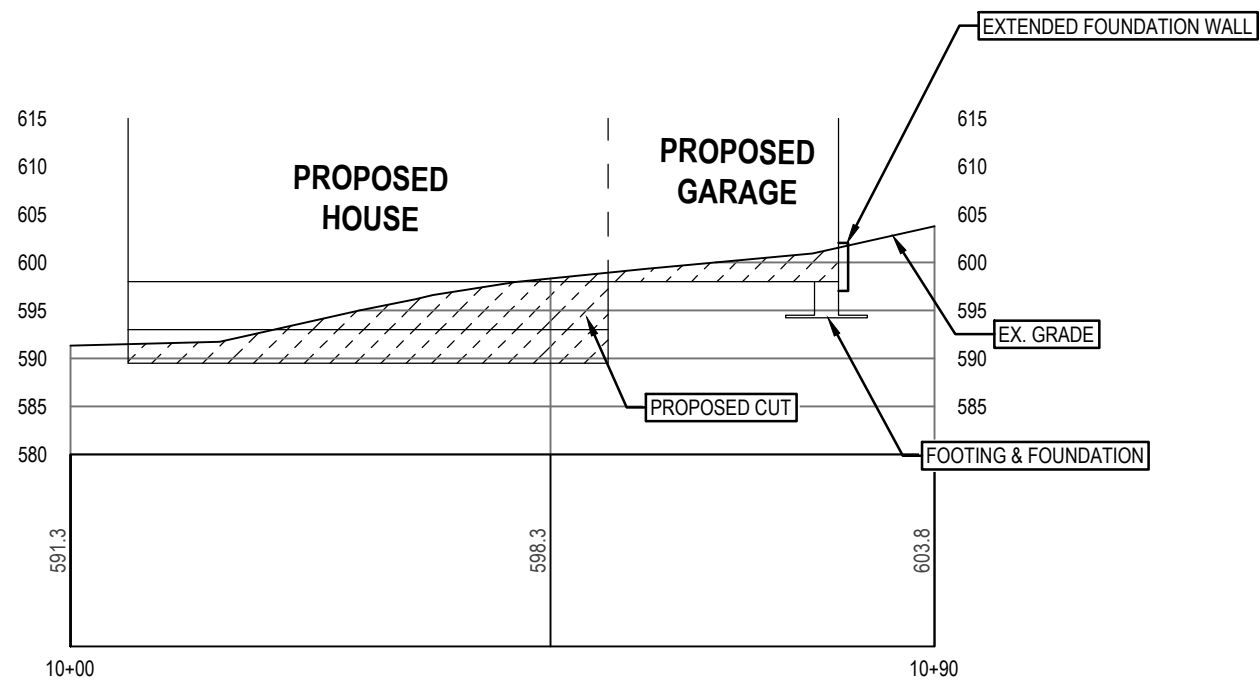
Vine Street Cottages (Lot 3)

Proposed Site Plan

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SCALE: 1" = 20' 0' 10' 20'



**Vine Street Cottages
(Lot 3)**

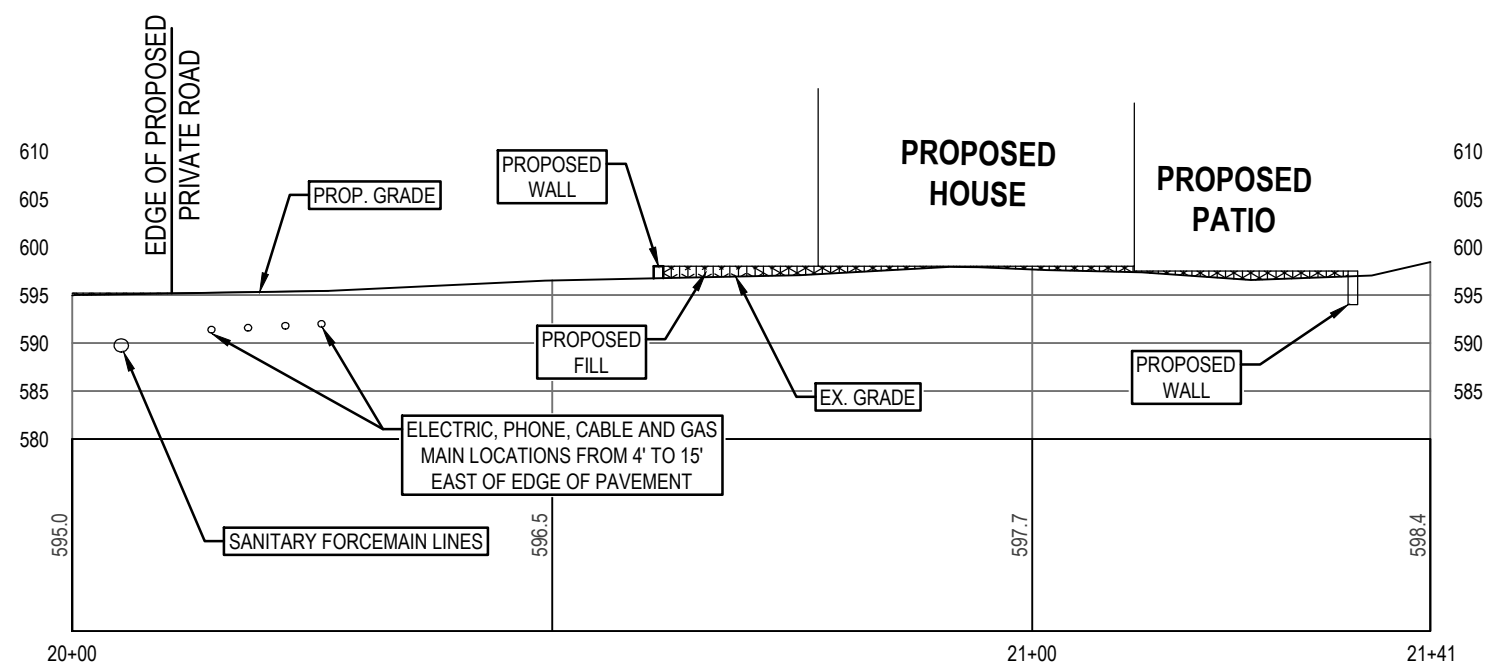
Cross-Section 'A'

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SCALE: 1" = 20' 0' 10' 20'

**Vine Street Cottages
(Lot 3)**

Cross-Section 'B'

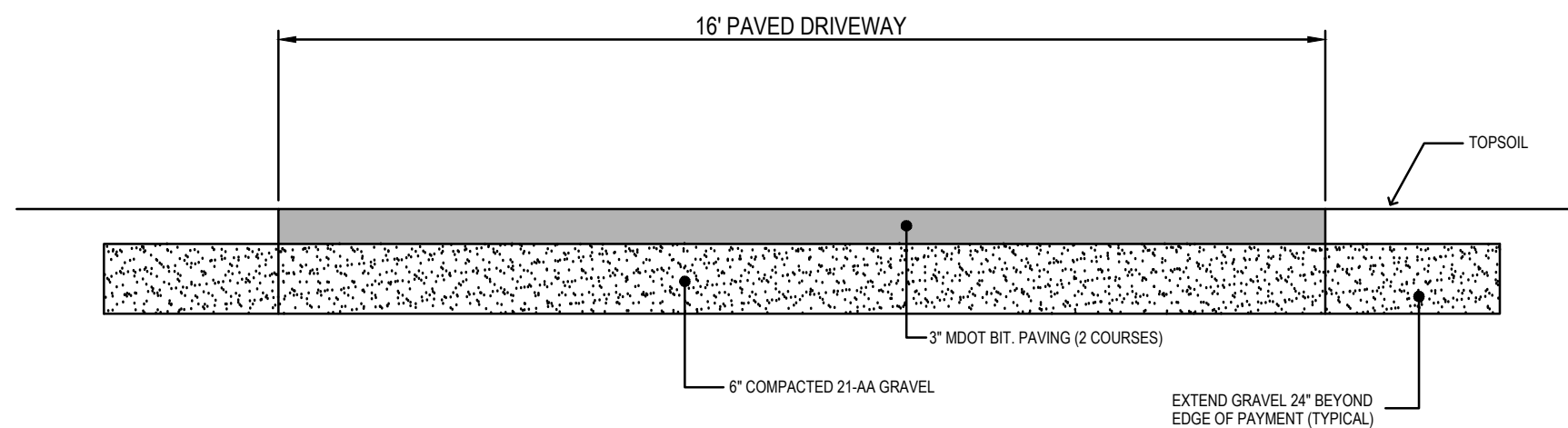
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NORTH

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TYPICAL 16' WIDE BITUMINOUS DRIVEWAY

N.T.S.

NO SCALE

**Vine Street Cottages
(Lot 3)**

Cross-Section 'C'

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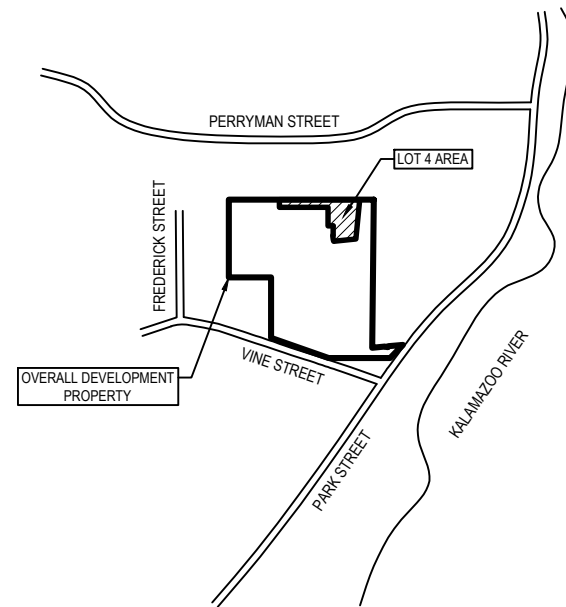
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Permit Application Sketches for VINE STREET COTTAGES (LOT 4)



LOCATION MAP

NOT TO SCALE



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- 1 SITE LOCATION MAP
- 2 EXISTING CONDITIONS MAP - OVERALL
- 3 EXISTING CONDITIONS MAP - LOT DETAIL
- 4 PROPOSED SITE PLAN
- 5 CROSS-SECTION 'A'
- 6 CROSS-SECTION 'B'
- 7 CROSS-SECTION 'C'

NO SCALE

Vine Street Cottages (Lot 4)

Site Location Map

SAUGATUCK, ALLEGAN COUNTY, MI

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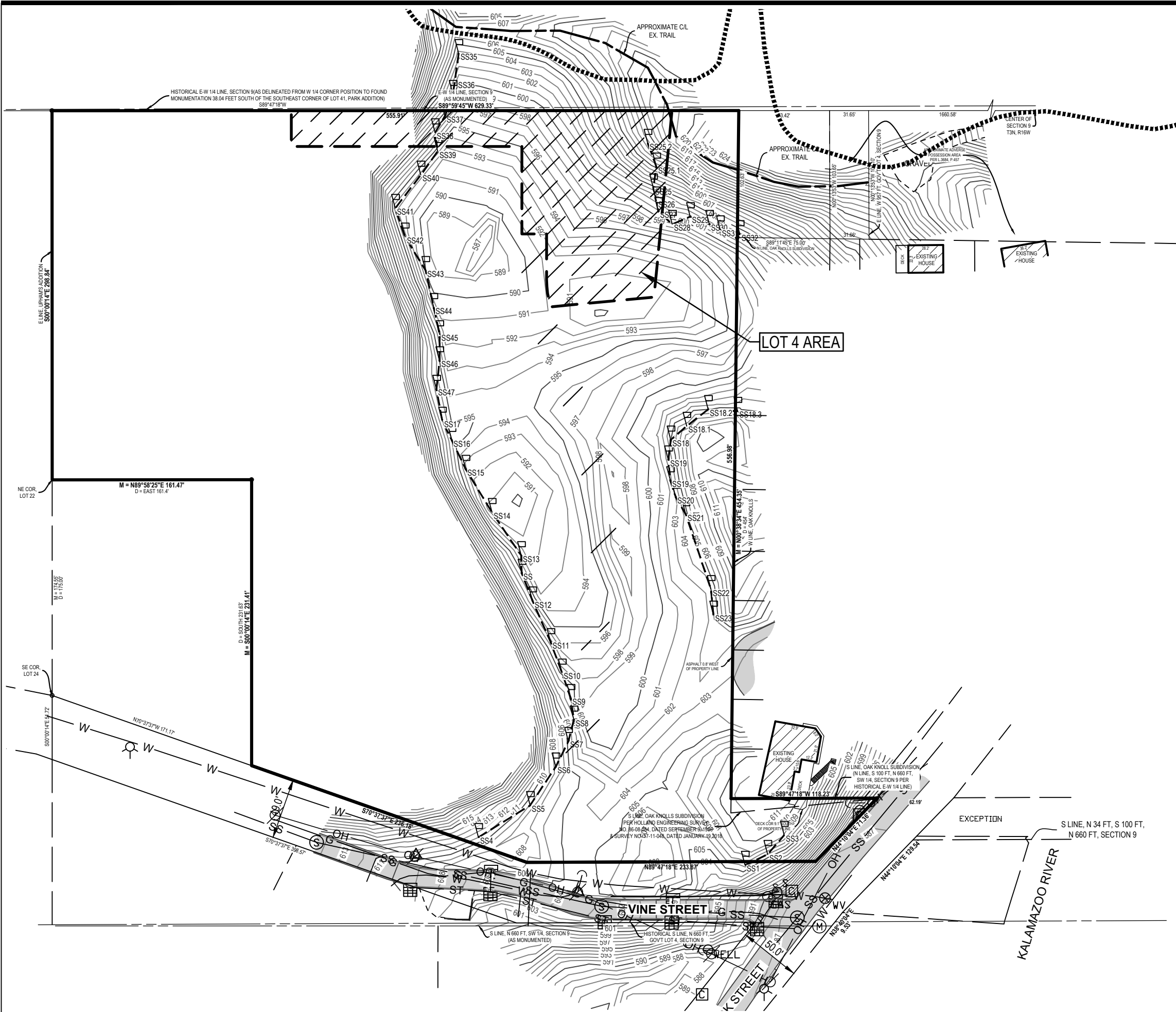
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LEGEND

- Benchmark
- Catch Basin - Square
- Guy Anchor
- Manhole
- Sign
- Sanitary Sewer Manhole
- Utility Pole
- Underground Gas Marker
- Water Well
- OH Overhead Utility
- SS Sanitary
- ST Storm
- Asphalt
- Concrete
- Building
- Existing Grade Contour
- Critical Dune Steep Slope (33%) Boundary as determined by King & MacGregor

SCALE: 1" = 80' 0' 40' 80' NORTH

Vine Street Cottages (Lot 4)

Existing Conditions Map - Overall

SAUGATUCK, ALLEGAN COUNTY, MI

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




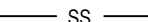



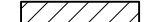

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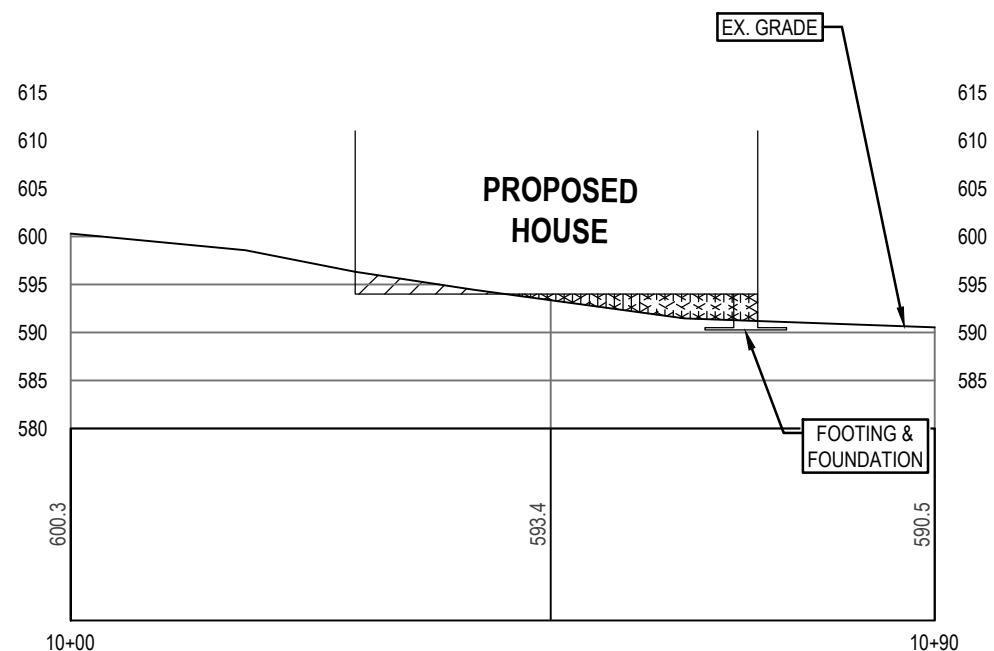
LEGEND

-  Benchmark
-  Catch Basin - Square
-  Guy Anchor
-  Iron - Found
-  Underground Gas Marker
-  OH Overhead Utility
-  SS Sanitary
-  ST Storm
-  Asphalt
-  Building
-  Existing Grade Contour
-  Critical Dune Steep Slope (33%) Boundary as determined by King & MacGregor
-  Lot Boundary

SCALE: 1" = 20' 0' 10' 20' NORTH

Vine Street Cottages (Lot 4)		
Existing Conditions Map - Lot Detail		
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SCALE: 1" = 20' 0' 10' 20'

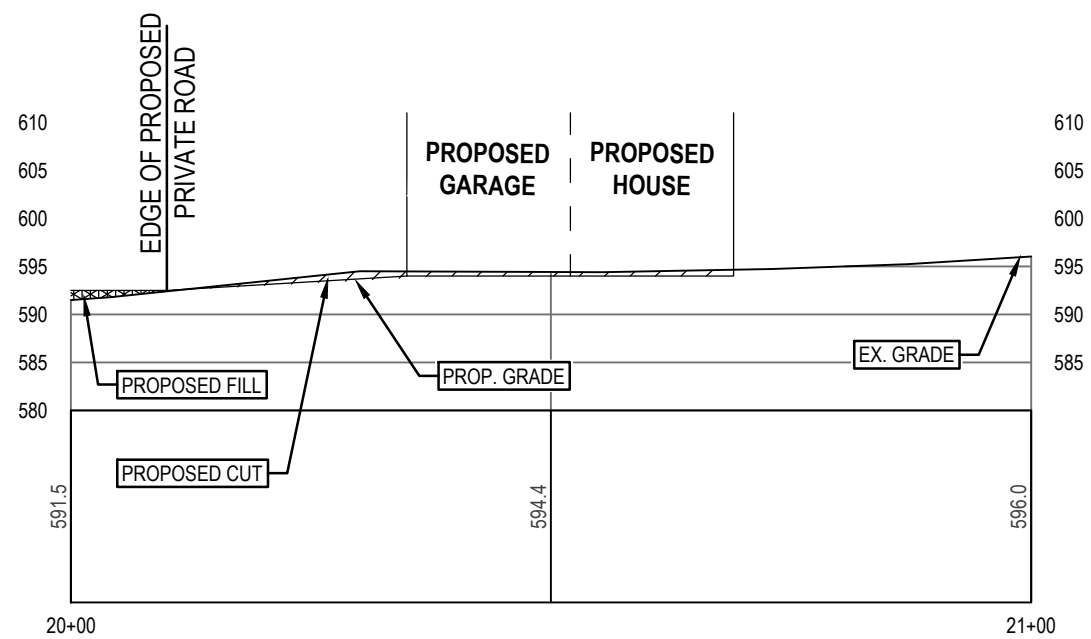
**Vine Street Cottages
(Lot 4)**

Cross-Section 'A'

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SCALE: 1" = 20' 0' 10' 20'



NORTH

**Vine Street Cottages
(Lot 4)**

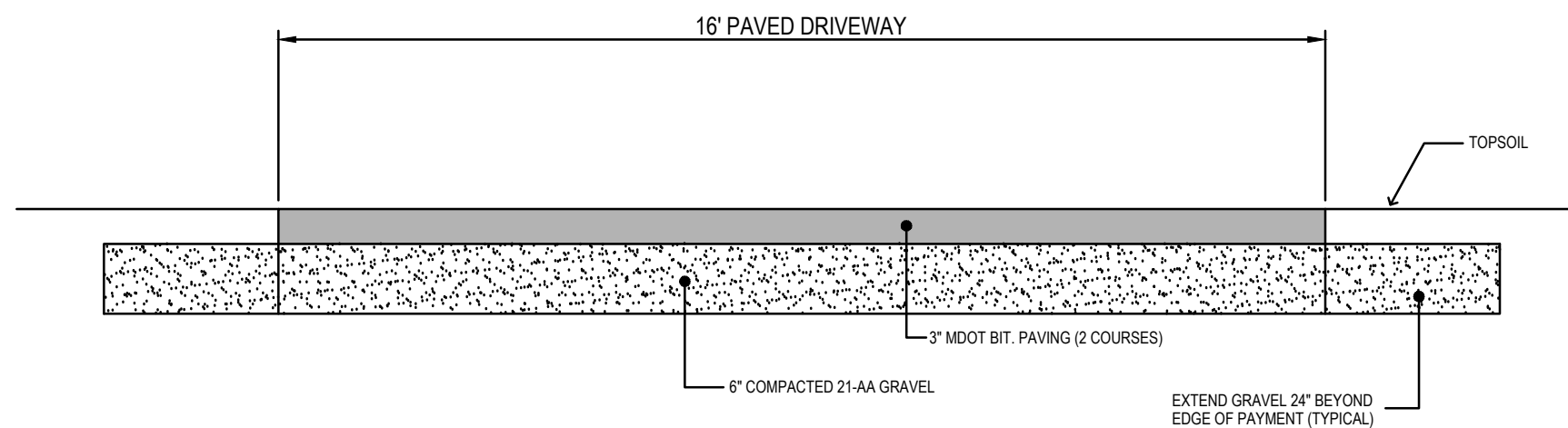
Cross-Section 'B'

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TYPICAL 16' WIDE BITUMINOUS DRIVEWAY

N.T.S.

NO SCALE

**Vine Street Cottages
(Lot 4)**

Cross-Section 'C'

SAUGATUCK, ALLEGAN COUNTY, MI

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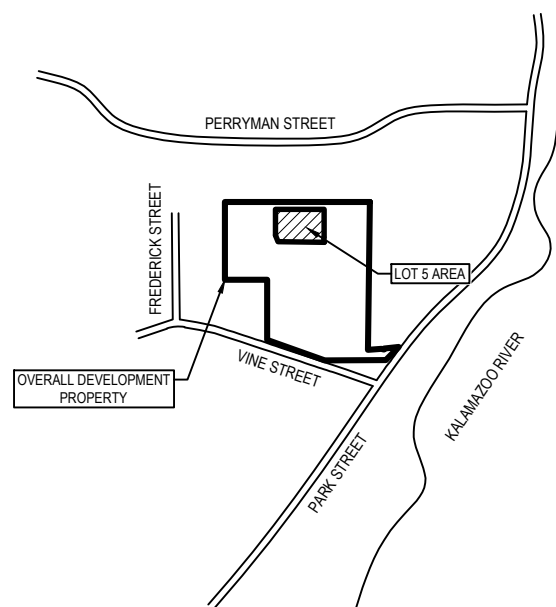
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NORTH

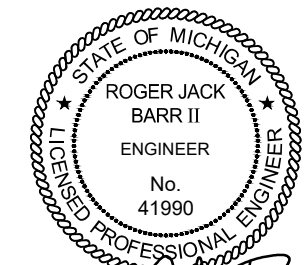
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Permit Application Sketches for VINE STREET COTTAGES (LOT 5)



LOCATION MAP

NOT TO SCALE



R. Jack Barr

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- 6 CROSS-SECTION 'B'
- 7 CROSS-SECTION 'C'

NO SCALE



NORTH

Vine Street Cottages (Lot 5)

Site Location Map

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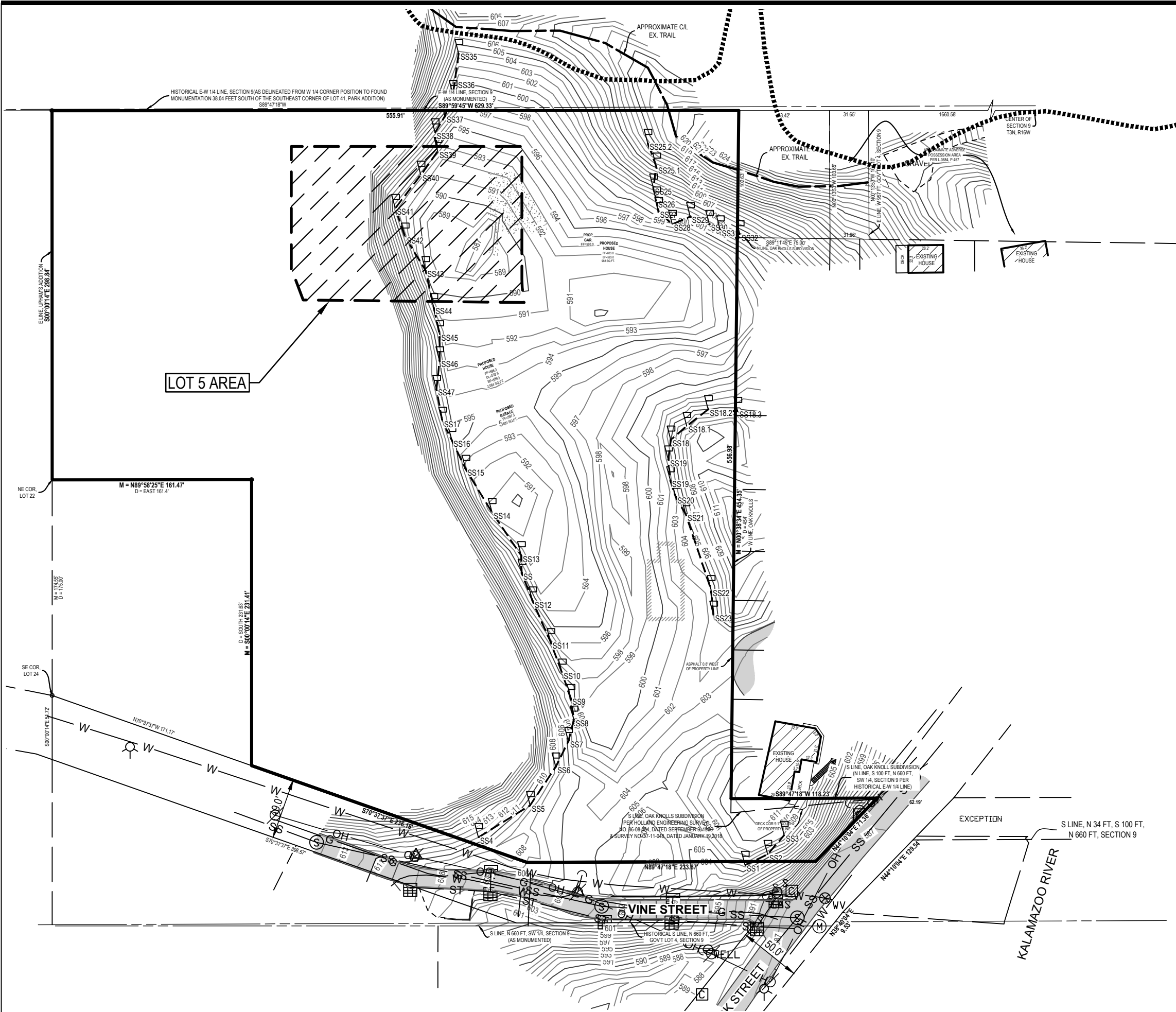
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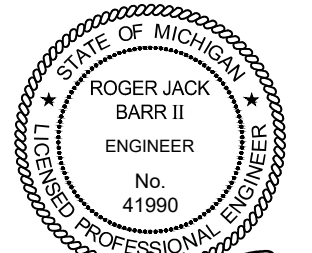
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LEGEND

- Benchmark
- Catch Basin - Square
- Guy Anchor
- Manhole
- Sign
- Sanitary Sewer Manhole
- Utility Pole
- Underground Gas Marker
- Water Well
- Overhead Utility
- Sanitary
- Storm
- Asphalt
- Concrete
- Building
- Existing Grade Contour
- Critical Dune Steep Slope (33%) Boundary as determined by King & MacGregor



R. J. Barr

SCALE: 1" = 80' 0' 40' 80'

Vine Street Cottages (Lot 5)

Existing Conditions Map - Overall

SAUGATUCK, ALLEGAN COUNTY, MI

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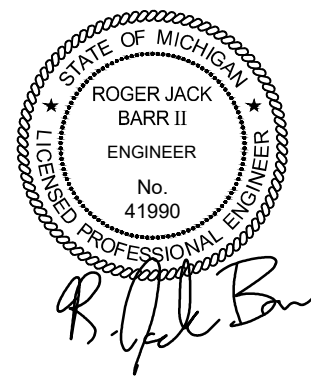
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LEGEND

- Benchmark
- Catch Basin - Square
- Guy Anchor
- Iron - Found
- Underground Gas Marker
- Overhead Utility
- Sanitary
- Storm
- Asphalt
- Building
- Existing Grade Contour
- Critical Dune Steep Slope (33%) Boundary as determined by King & MacGregor
- Lot Boundary





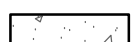




SCALE: 1" = 20' 0' 10' 20' NORTH

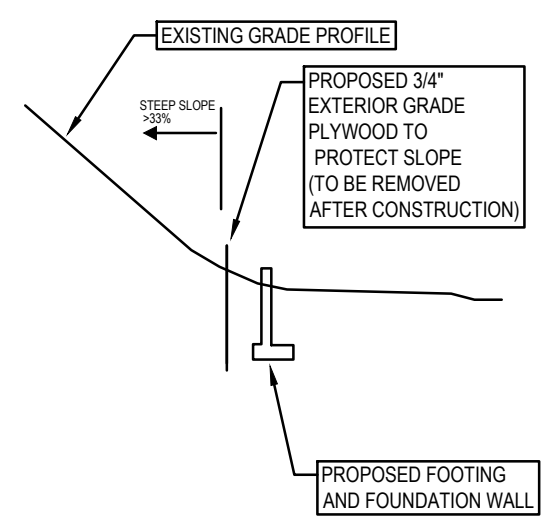
Vine Street Cottages (Lot 5)		
Existing Conditions Map - Lot Detail		
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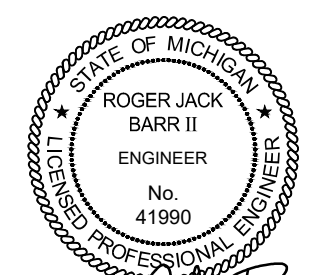
LEGEND

-  EX. BITUMINOUS
-  PROPOSED BITUMINOUS
-  PROPOSED CONCRETE
-  CRITICAL DUNE STEEP SLOPE (33%) BOUNDARY AS DETERMINED BY KING & MACGREGOR
-  EX. GRADE CONTOUR
-  PROP. GRADE CONTOUR
-  PROPOSED 4' DIA. STORM LEACH BASIN FOR HOUSE ROOF WITH CONNECTION



SLOPE PROTECTION DETAIL

N.T.S.



R. Jack Barr

SCALE: 1" = 20' 0' 10' 20' NORTH

Vine Street Cottages (Lot 5)

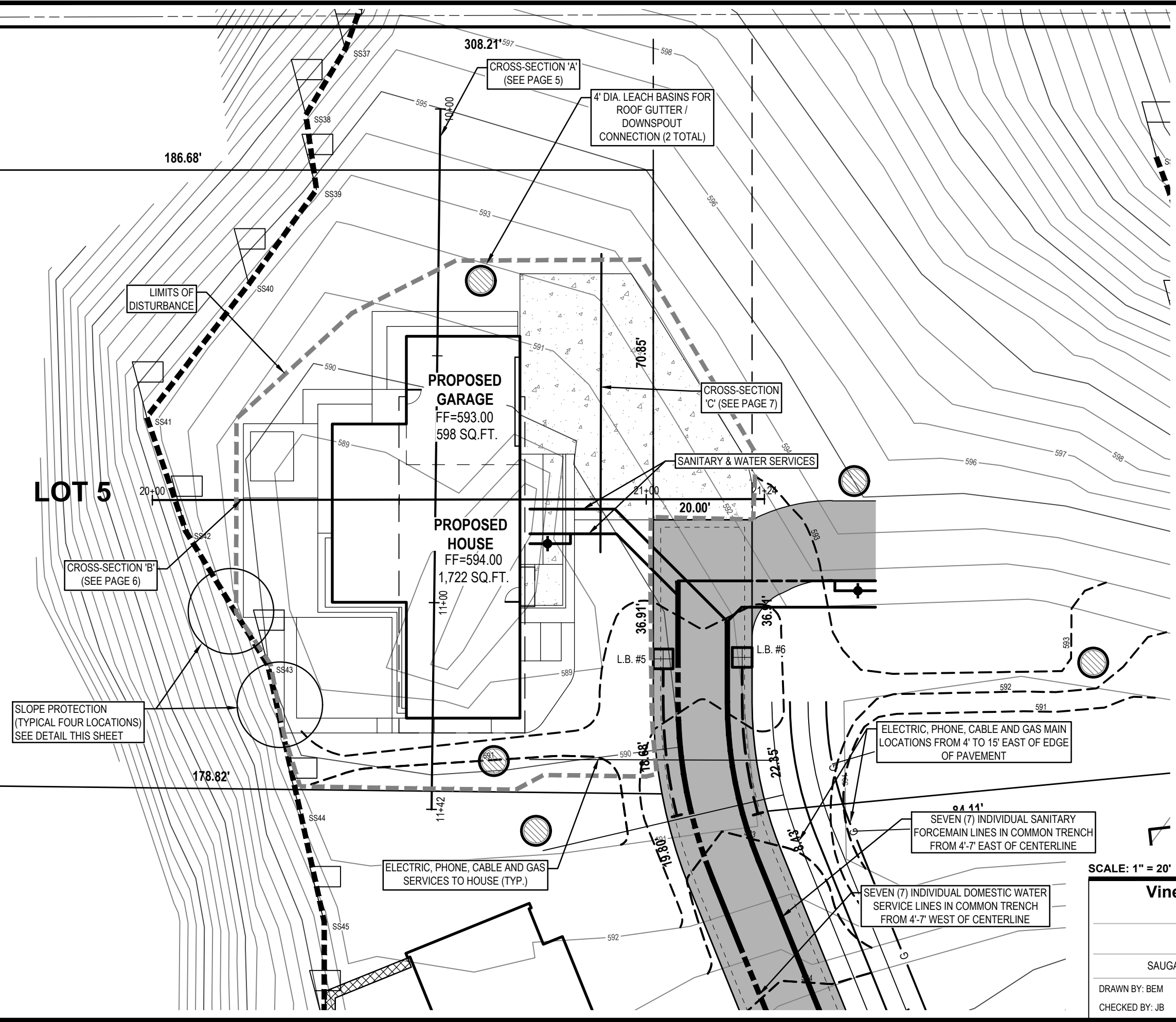
Proposed Site Plan

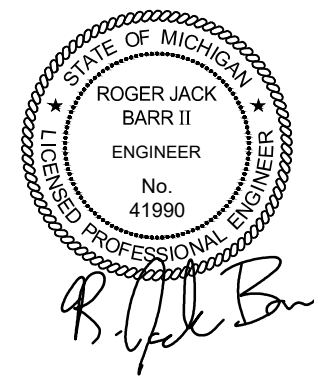
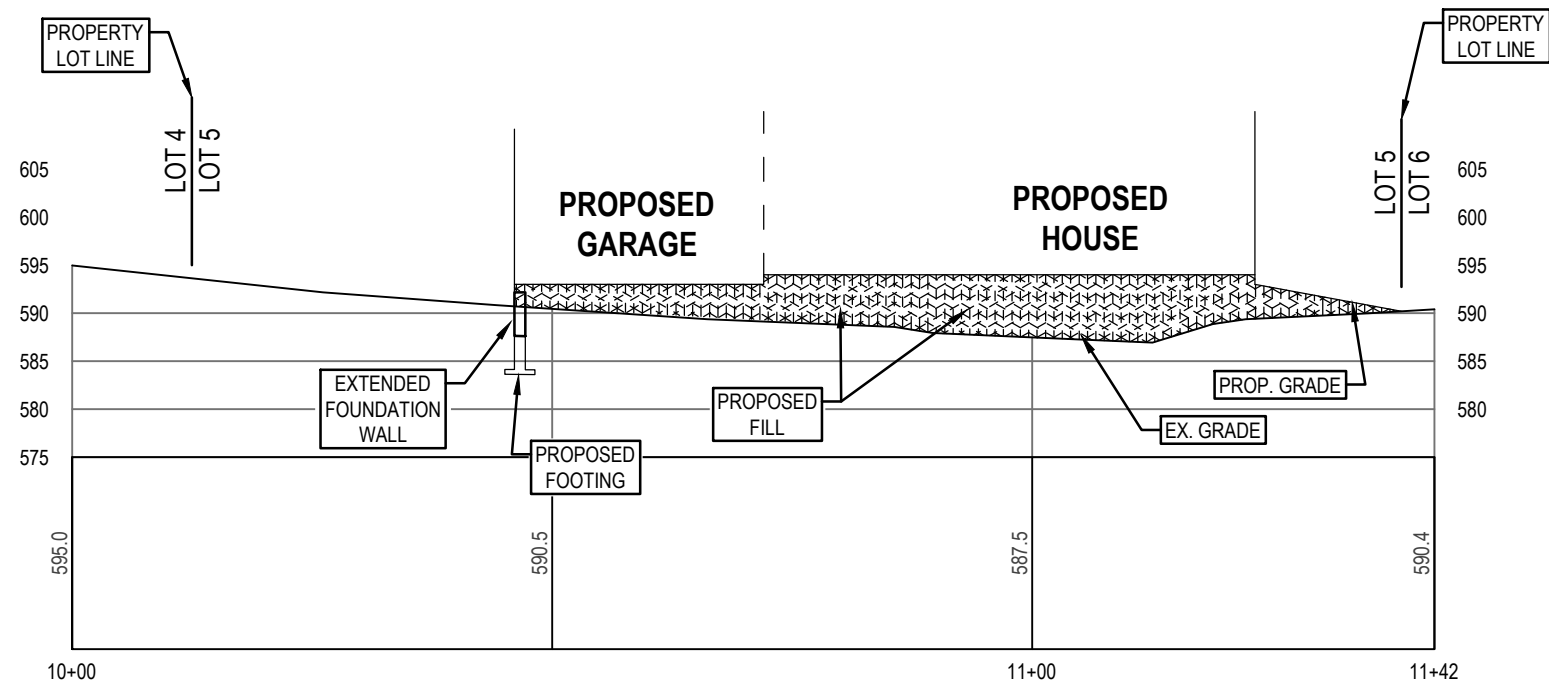
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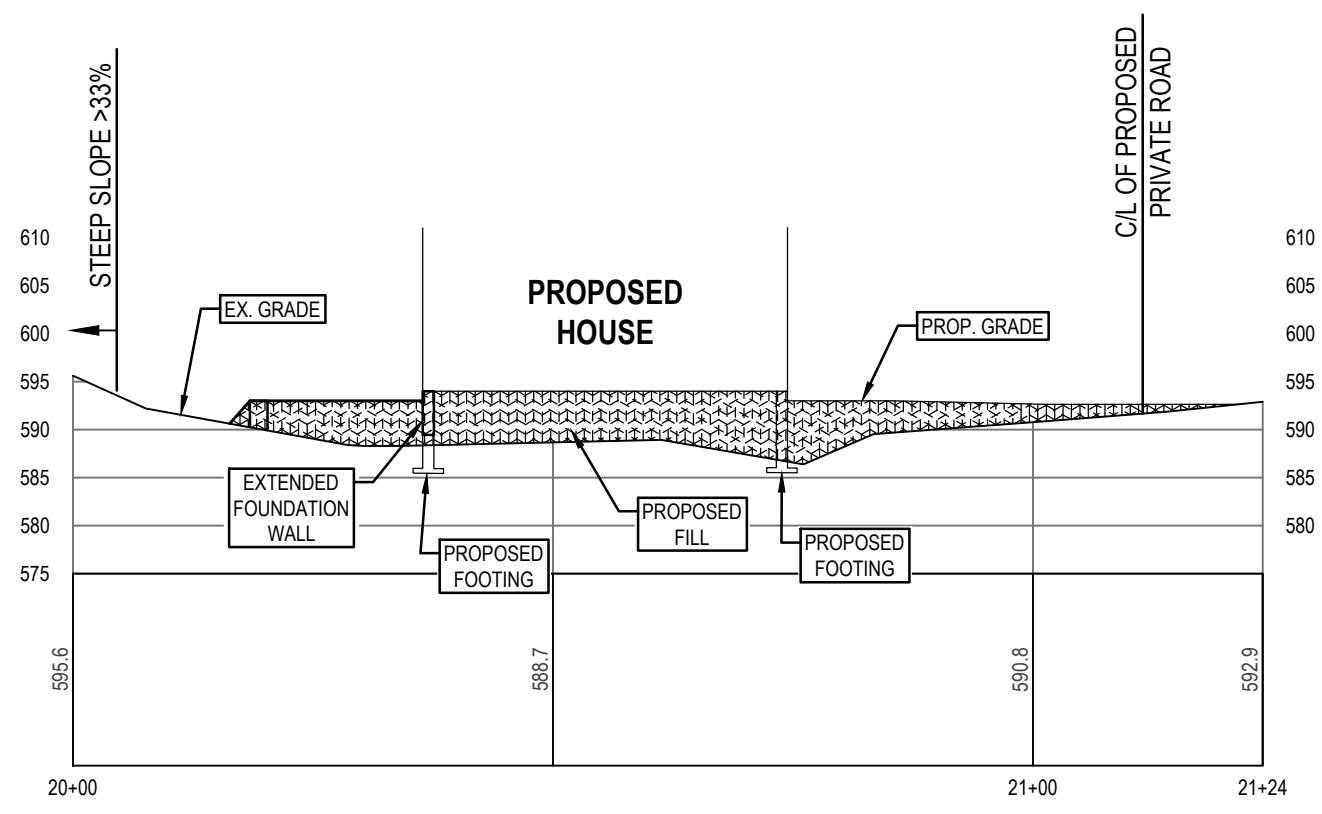


SCALE: 1" = 20' 0' 10' 20' NORTH

Vine Street Cottages (Lot 5)		
Cross-Section 'A'		
SAUGATUCK, ALLEGAN COUNTY, MI		
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STATE OF MICHIGAN
 ROGER JACK BARR II
 ENGINEER
 No. 41990
 LICENSED PROFESSIONAL ENGINEER

R. Jack Barr

SCALE: 1" = 20' 0' 10' 20'

NORTH

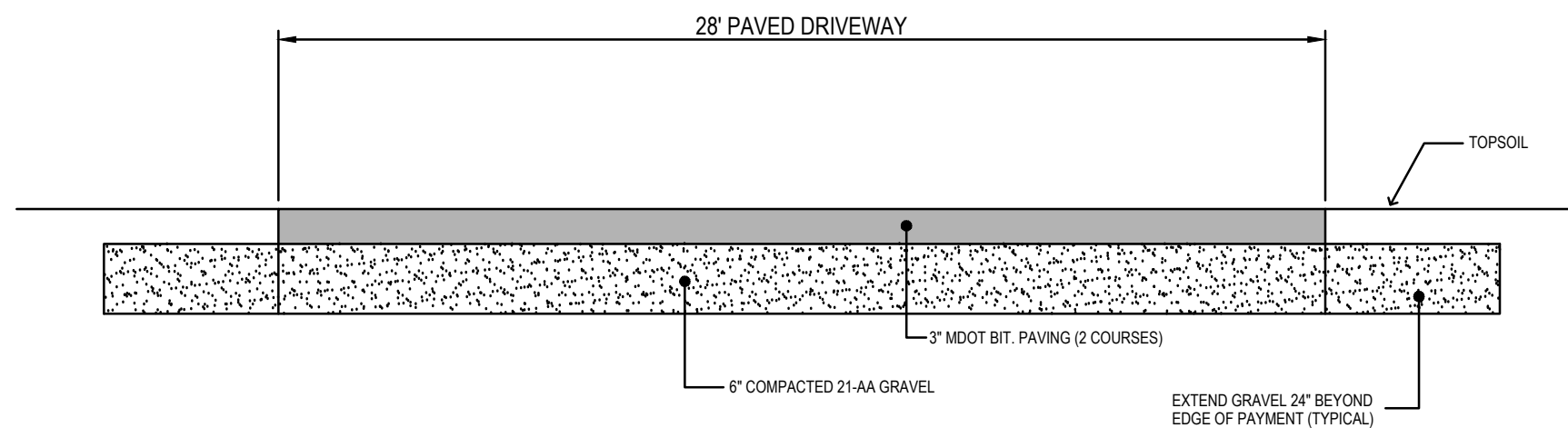
Vine Street Cottages (Lot 5)

Cross-Section 'B'

SAUGATUCK, ALLEGAN COUNTY, MI

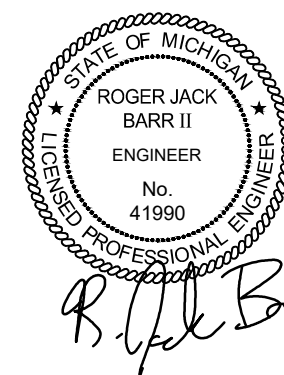
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TYPICAL 28' WIDE BITUMINOUS DRIVEWAY

N.T.S.



NO SCALE

**Vine Street Cottages
(Lot 5)**

Cross-Section 'C'

SAUGATUCK, ALLEGAN COUNTY, MI

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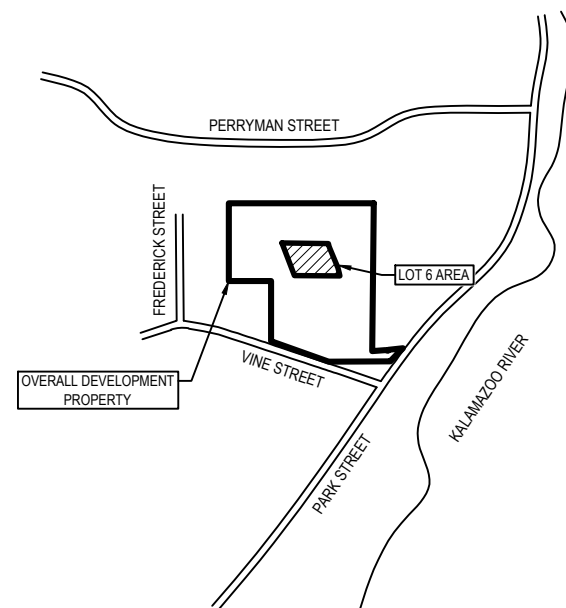
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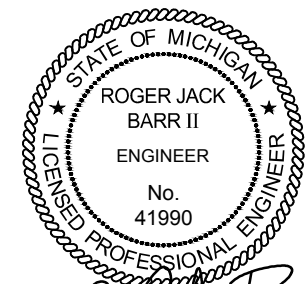
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Permit Application Sketches for VINE STREET COTTAGES (LOT 6)



LOCATION MAP

NOT TO SCALE



R. Jack Barr

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- 6 CROSS-SECTION 'B'
- 7 CROSS-SECTION 'C'

NO SCALE



NORTH

Vine Street Cottages (Lot 6)

Site Location Map

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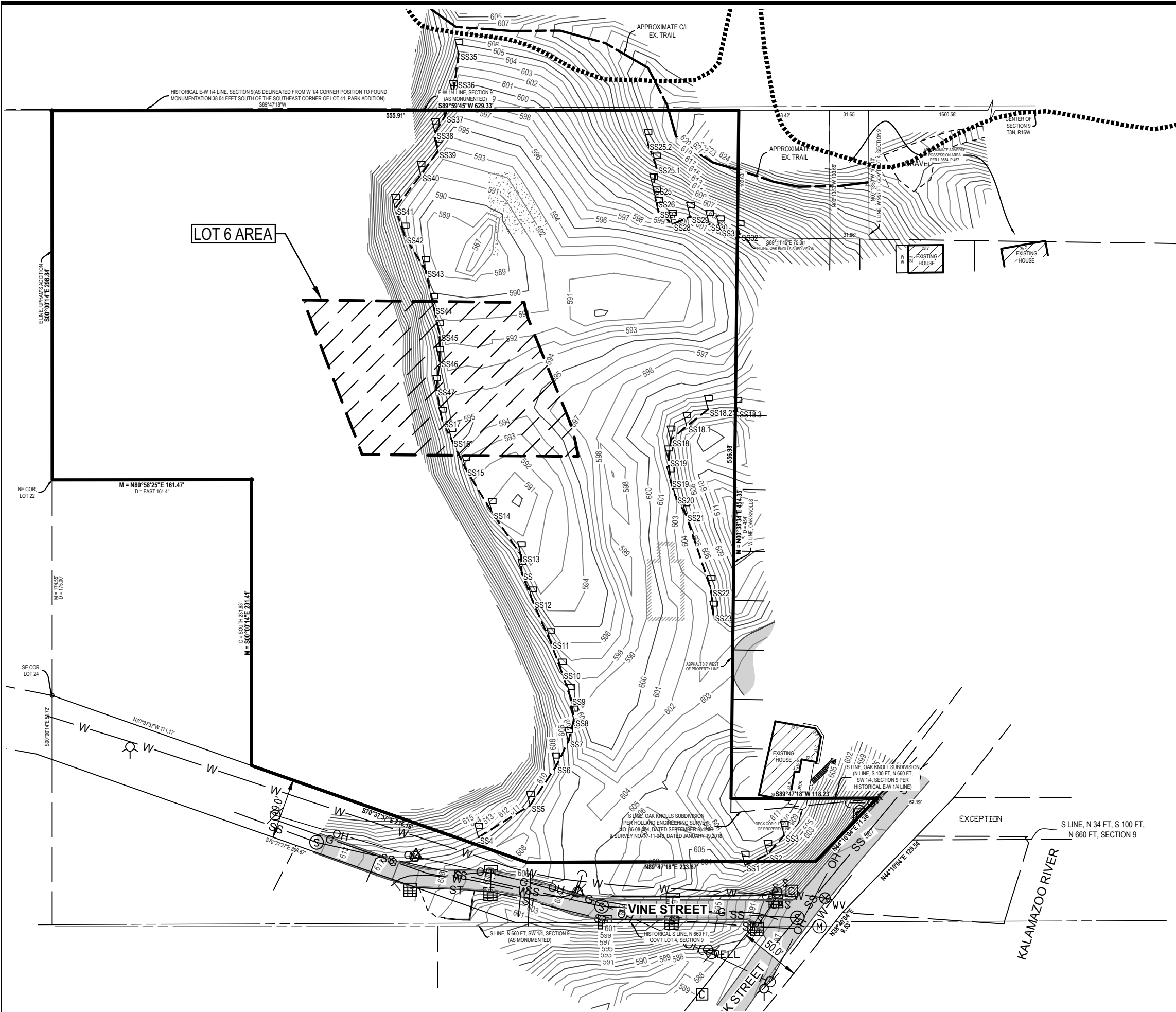
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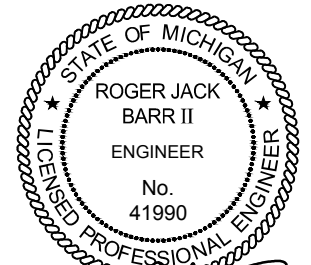
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LEGEND

- Benchmark
- Catch Basin - Square
- Guy Anchor
- Manhole
- Sign
- Sanitary Sewer Manhole
- Utility Pole
- Underground Gas Marker
- Water Well
- OH Overhead Utility
- SS Sanitary
- ST Storm
- Asphalt
- Concrete
- Building
- Existing Grade Contour
- Critical Dune Steep Slope (33%) Boundary as determined by King & MacGregor



R. Jack Barr

SCALE: 1" = 80' 0' 40' 80'

Vine Street Cottages (Lot 6)

Existing Conditions Map - Overall






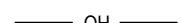



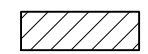



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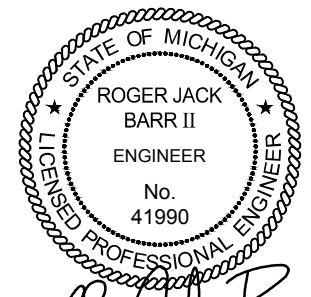
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LEGEND

-  Benchmark
-  Catch Basin - Square
-  Guy Anchor
-  Iron - Found
-  Underground Gas Marker
-  OH Overhead Utility
-  SS Sanitary
-  ST Storm
-  Asphalt
-  Building
-  Existing Grade Contour
-  Critical Dune Steep Slope (33%) Boundary as determined by King & MacGregor
-  Lot Boundary



R. Jack Barr

SCALE: 1" = 20' 0' 10' 20'

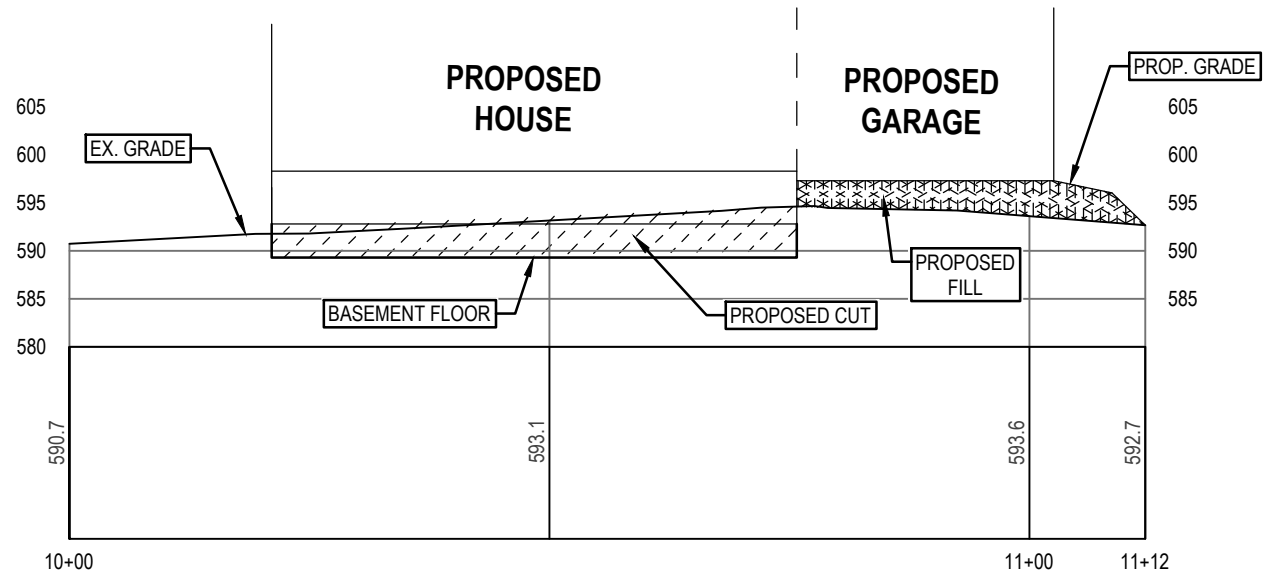
Vine Street Cottages (Lot 6)

Existing Conditions Map - Lot Detail

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 ROGER JACK
 BARR II
 ENGINEER
 No.
 41990
 LICENSED PROFESSIONAL ENGINEER

R. Jack Barr

SCALE: 1" = 20' 0' 10' 20'

Vine Street Cottages (Lot 6)

Cross-Section 'A'

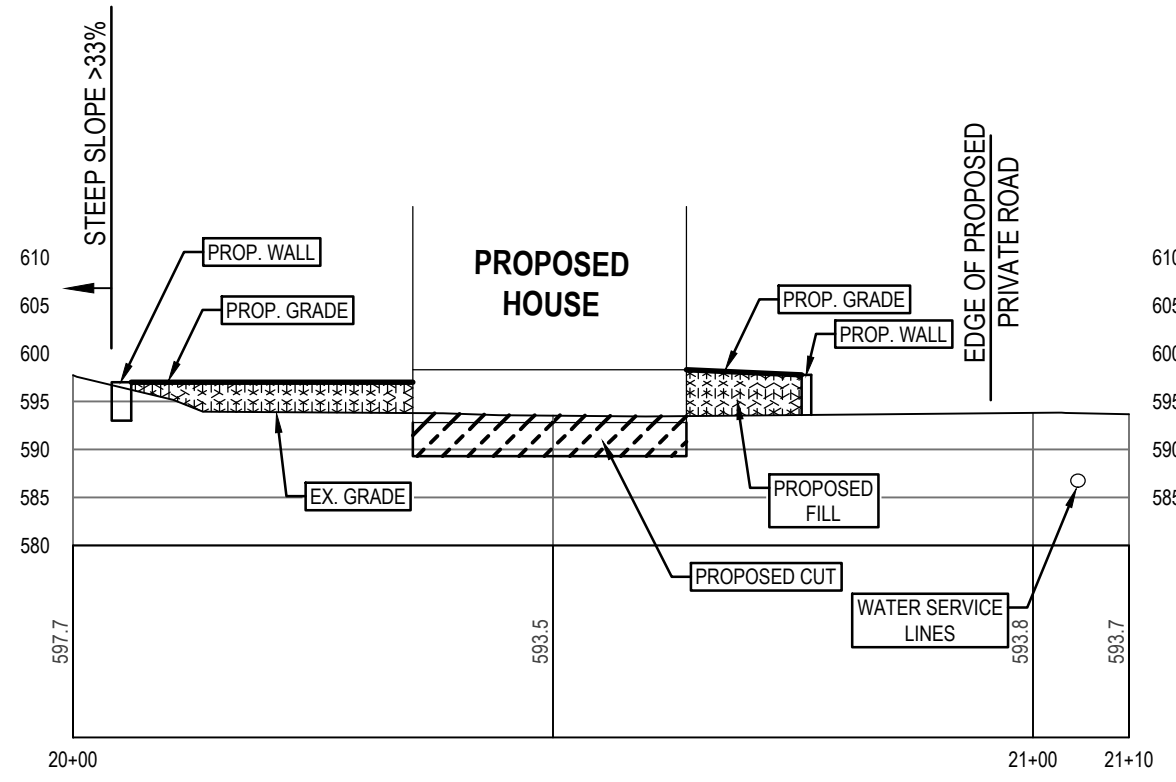
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NORTH

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 ROGER JACK BARR II
 ENGINEER
 No. 41990
 LICENSED PROFESSIONAL ENGINEER

R. Jack Barr

SCALE: 1" = 20' 0' 10' 20'

Vine Street Cottages (Lot 6)

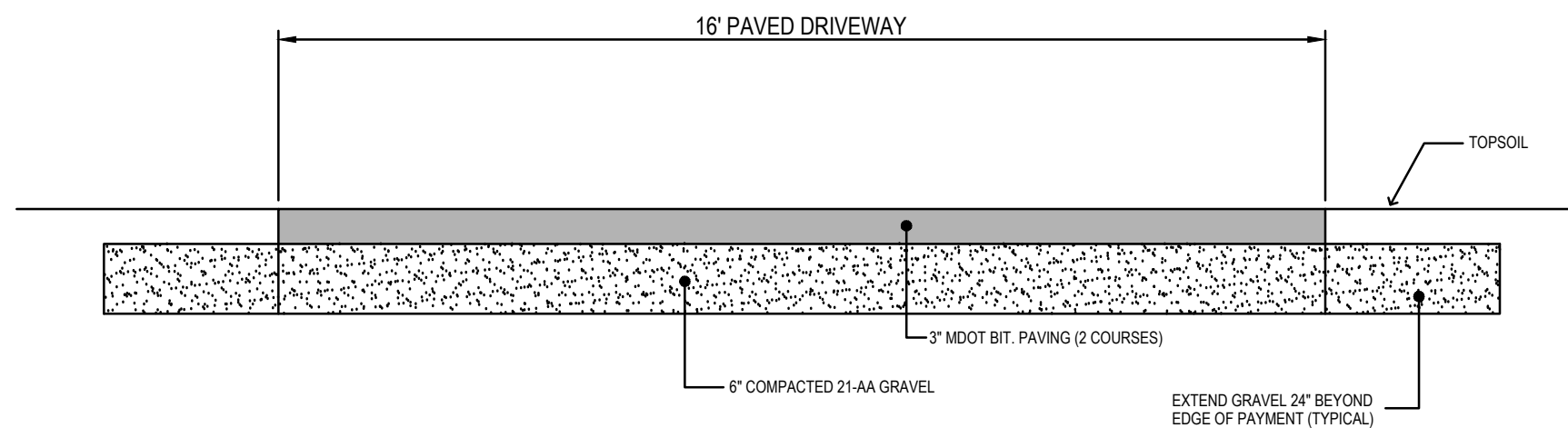
Cross-Section 'B'

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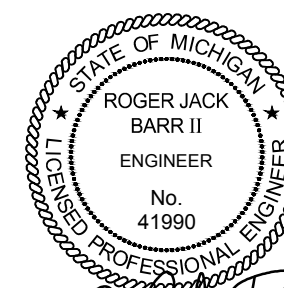
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CHECKED BY: JB	S. DATE: 02.20.23	6 OF 7

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TYPICAL 16' WIDE BITUMINOUS DRIVEWAY

N.T.S.



R. Jack Barr

NO SCALE

**Vine Street Cottages
(Lot 6)**

Cross-Section 'C'

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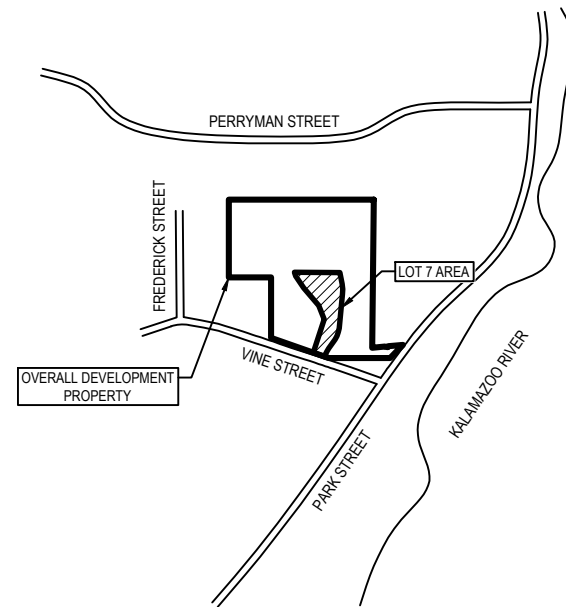
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Permit Application Sketches for VINE STREET COTTAGES (LOT 7)



LOCATION MAP

NOT TO SCALE



SHEET INDEX

- 1 SITE LOCATION MAP
- 2 EXISTING CONDITIONS MAP - OVERALL
- 3 EXISTING CONDITIONS MAP - LOT DETAIL
- 4 PROPOSED SITE PLAN
- 5 CROSS-SECTION 'A'
- 6 CROSS-SECTION 'B'
- 7 CROSS-SECTION 'C'

NO SCALE

Vine Street Cottages (Lot 7)

Site Location Map

SAUGATUCK, ALLEGAN COUNTY, MI

DRAWN BY: DTP

V. DATE: 05.04.20

PRJ NO: 16201802

CHECKED BY: JB

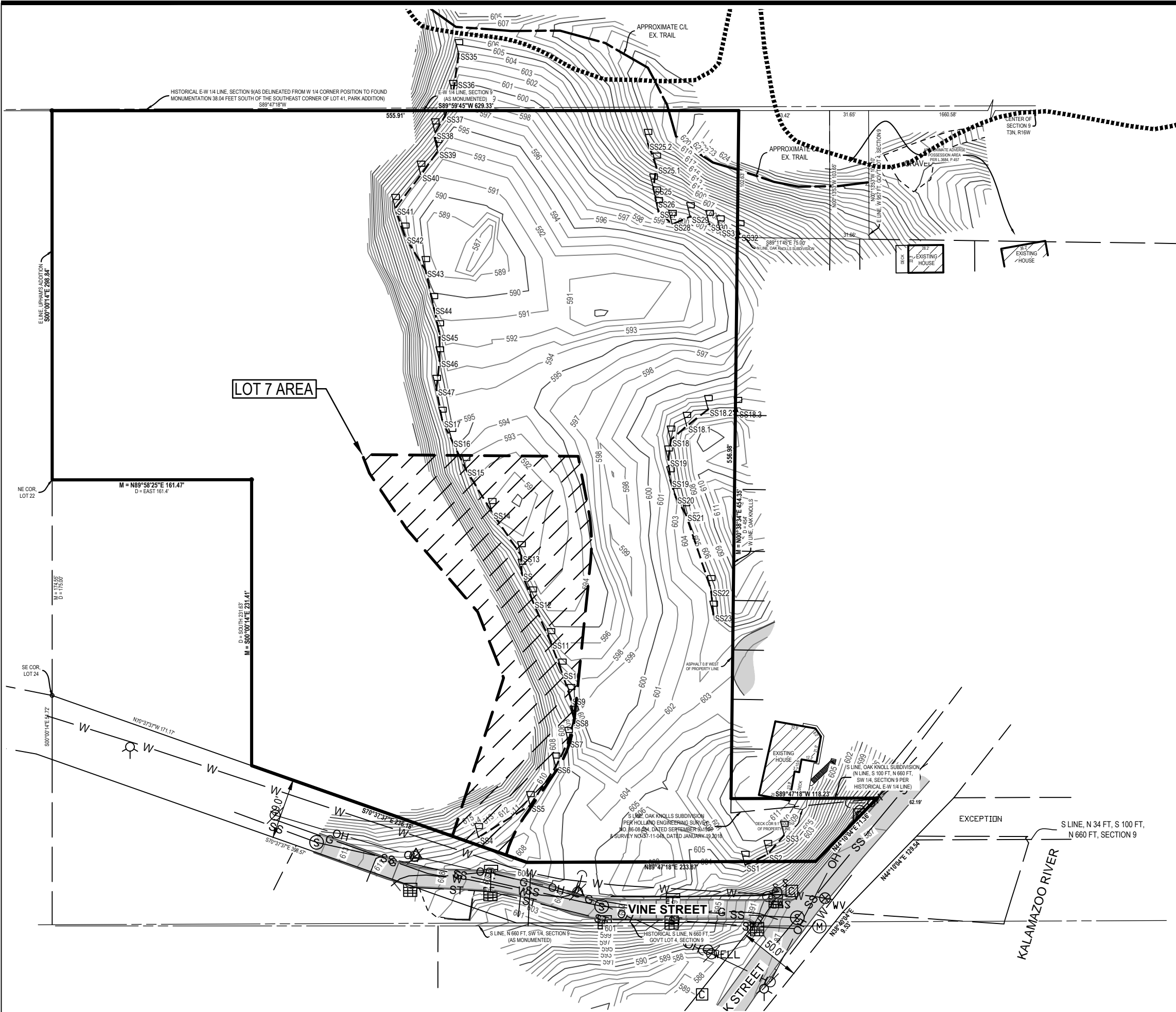
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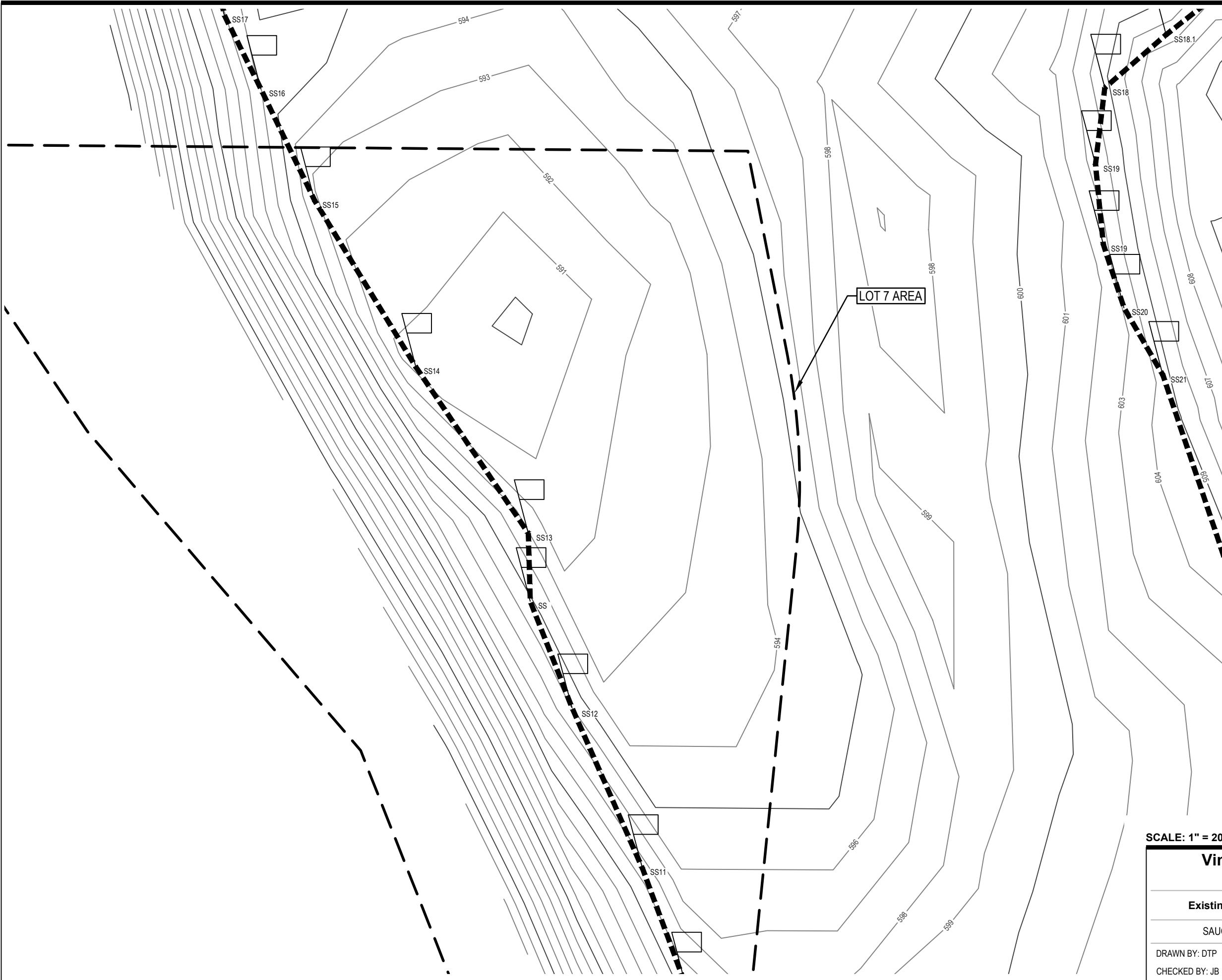
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


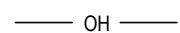
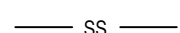
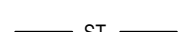

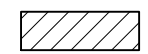



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LEGEND

-  Benchmark
-  Catch Basin - Square
-  Guy Anchor
-  Iron - Found
-  Underground Gas Marker
-  Overhead Utility
-  Sanitary
-  Storm
-  Asphalt
-  Building
-  Existing Grade Contour
-  Critical Dune Steep Slope (33%) Boundary as determined by King & MacGregor
-  Lot Boundary

SCALE: 1" = 20' 0' 10' 20' NORTH

Vine Street Cottages (Lot 7)

Existing Conditions Map - Lot Detail

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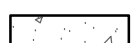


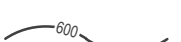

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LEGEND

-  EX. BITUMINOUS
-  PROPOSED BITUMINOUS
-  PROPOSED CONCRETE
-  CRITICAL DUNE STEEP SLOPE (33%) BOUNDARY AS DETERMINED BY KING & MACGREGOR
-  EX. GRADE CONTOUR
-  PROP. GRADE CONTOUR
-  PROPOSED 4' DIA. STORM LEACH BASIN FOR HOUSE ROOF WITH CONNECTION

LOT 7

FF=597.3
552 SQ.FT.

4' DIA. LEACH BASINS FOR ROOF GUTTER / DOWNSPOUT CONNECTION (2 TOTAL)

CROSS-SECTION 'A'
(SEE PAGE 5)

ELECTRIC, PHONE, CABLE AND GAS SERVICES TO HOUSE (TYP.)

CROSS-SECTION 'B'
(SEE PAGE 6)

PROP. GAR.
FF=597.5

PROPOSED HOUSE
FF=598.0
968 SQ.FT.

SANITARY & WATER SERVICES

CROSS-SECTION 'C'
(SEE PAGE 7)

ELECTRIC, PHONE, CABLE AND GAS MAIN LOCATIONS FROM 4' TO 15' EAST OF EDGE OF PAVEMENT

PROPOSED HOUSE
FF=603.5
1,316 SQ.FT.

PATIO
220 SQ.FT.

PROPOSED GARAGE
FF=601.5
576 SQ.FT.

5' DIA. LEACH BASINS AND 30 L.F. OF 24" DIA. LEACH PIPE FOR ROAD AND DRIVEWAY

SEVEN (7) INDIVIDUAL SANITARY FORCEMAIN LINES IN COMMON TRENCH FROM 4'-7' EAST OF CENTERLINE

SEVEN (7) INDIVIDUAL DOMESTIC WATER SERVICE LINES IN COMMON TRENCH FROM 4'-7' WEST OF CENTERLINE

SCALE: 1" = 20' 0' 10' 20' NORTH

Vine Street Cottages (Lot 7)

Proposed Site Plan

SAUGATUCK, ALLEGAN COUNTY, MI

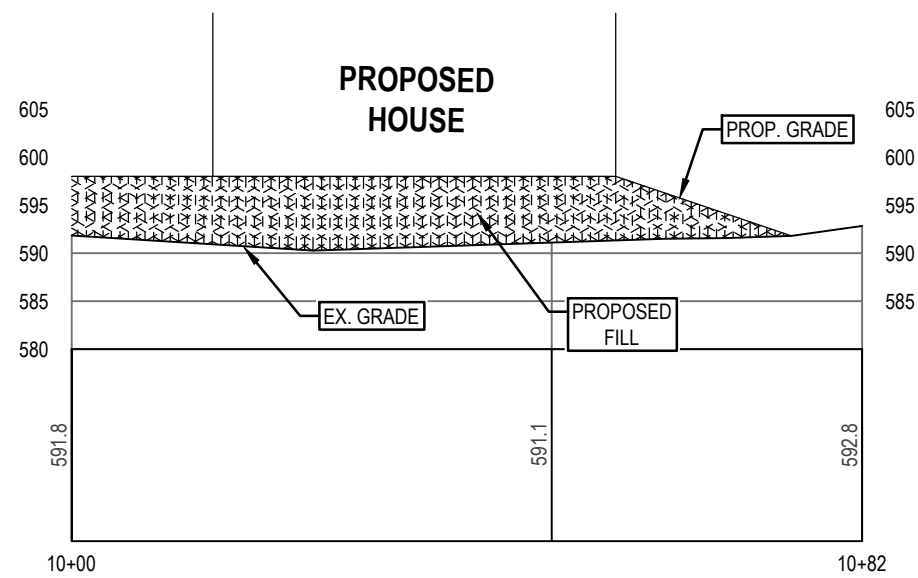
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SCALE: 1" = 20' 0' 10' 20'

Vine Street Cottages (Lot 7)

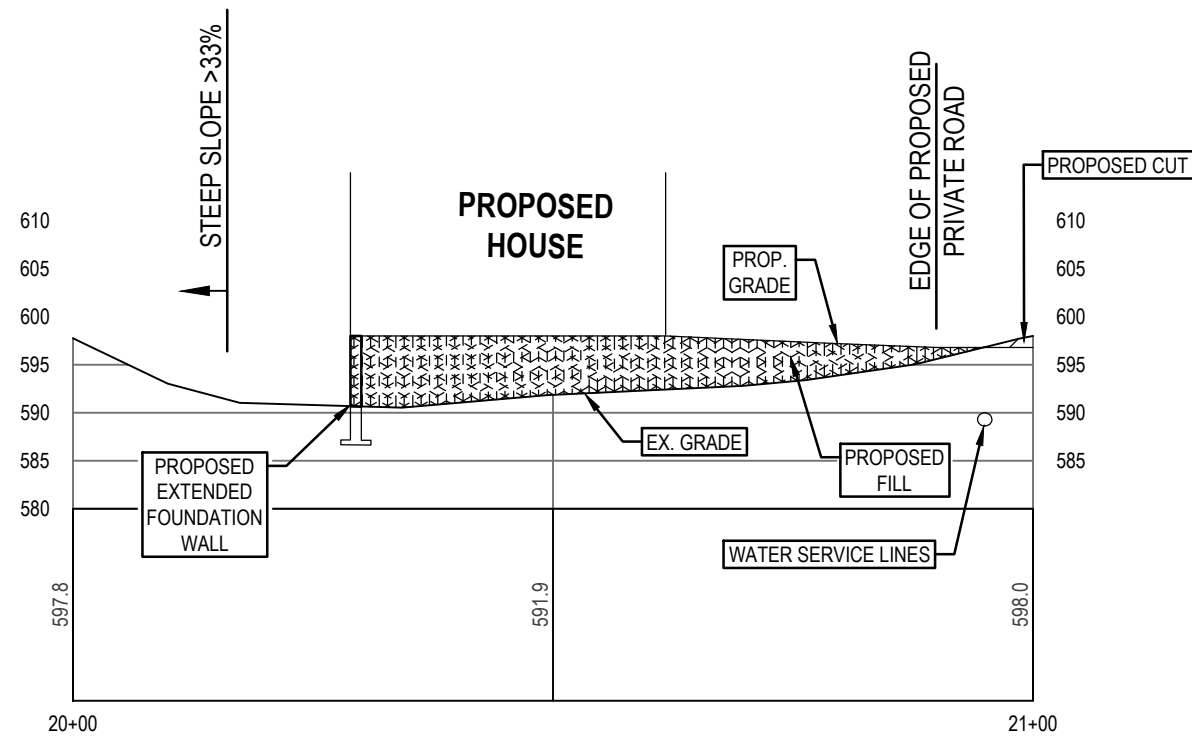
Cross-Section 'A'

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SCALE: 1" = 20' 0' 10' 20'

Vine Street Cottages (Lot 7)

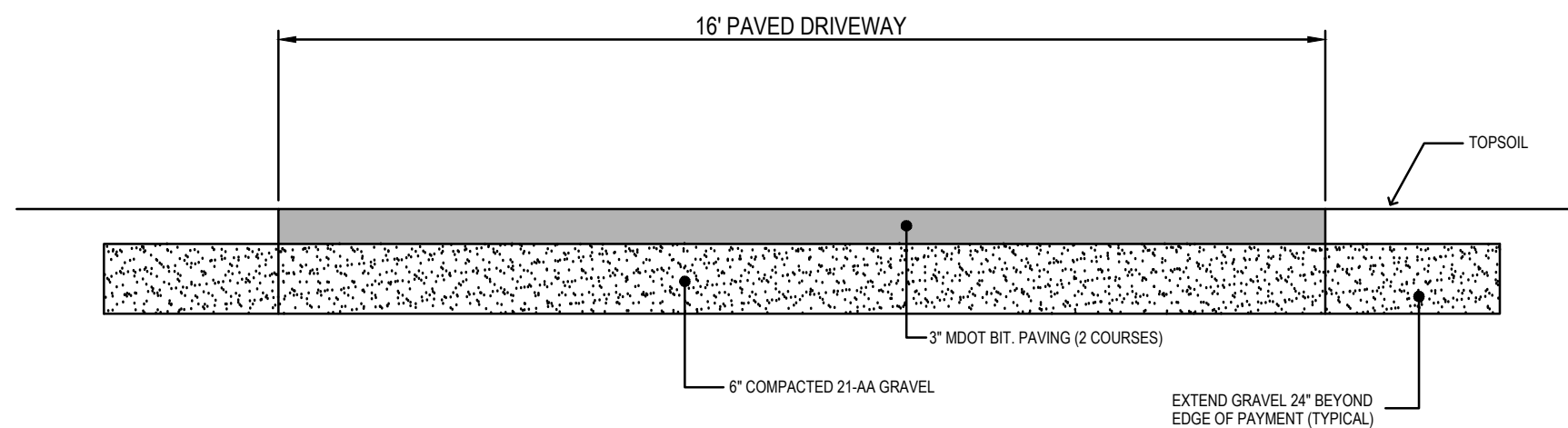
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TYPICAL 16' WIDE BITUMINOUS DRIVEWAY

N.T.S.

NO SCALE

**Vine Street Cottages
(Lot 7)**

Cross-Section 'C'

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Exhibit K



**MICHIGAN DEPARTMENT OF ENVIRONMENT, GREAT LAKES, AND ENERGY
WATER RESOURCES DIVISION
PERMIT**

Issued To:

**Brad Rottschafer
Vine Street Cottages, LLC
2050 Celadon Drive NE, Suite B
Grand Rapids, Michigan 49525**

**Permit No: WRP033533 v1.0
Submission No: HPE-57W1-Y3TAM
Site Name: 03-Vine Street Cottages Lot 5-Saugatuck
Issued: June 3, 2022
Revised:
Expires: June 3, 2027**

This permit is being issued by the Michigan Department of Environment, Great Lakes, and Energy (EGLE), Water Resources Division, under the provisions of the Natural Resources and Environmental Protection Act, 1994 PA 451, as amended (NREPA); specifically:

Part 353, Sand Dunes Protection and Management

EGLE certifies that the activities authorized under this permit are in compliance with the State Coastal Zone Management Program and certifies without conditions under the Federal Clean Water Act, Section 401 that the discharge from the activities authorized under this permit will comply with Michigan's water quality requirements in Part 31, Water Resources Protection, of the NREPA and associated administrative rules, where applicable.

Permission is hereby granted, based on permittee assurance of adherence to State of Michigan requirements and permit conditions, to:

Authorized Activity:

Construct a new single-family residential home with an attached garage that will be supported by a basement and slab-on-grade foundation, respectively. The new home will be located on approximately 847 cubic yards of clean imported fill to level the site. Additional work will include a large concrete patio with retaining walls, a new driveway, storm water collection and disposal systems, temporary slope protection and shoring, landscaping around the new house with native plants and connections to public and private utilities. The foundation footprint of the new house and will be approximately 2,462 square feet in size and that of the attached garage will add approximately 865 square feet to that footprint. Restore all areas disturbed by the construction of the house, garage, driveway, parking area, and supporting structures with native dune vegetation per the submitted and attached vegetation assurance.

All work shall be completed in accordance with the attached plans approved by EGLE on June 3, 2022, and the permit specifications listed herein.

Waterbody Affected: Lake Michigan / Kalamazoo River
Property Location: Allegan County, City of Saugatuck, Town/Range/Section: 03N16W09;
Property Tax No: 03-57-009-051-10

Authority granted by this permit is subject to the following limitations:

- A. Initiation of any work on the permitted project confirms the permittee's acceptance and agreement to comply with all terms and conditions of this permit.
- B. The permittee, in exercising the authority granted by this permit, shall not cause unlawful pollution as defined by Part 31 of the NREPA.
- C. This permit shall be kept at the site of the work and available for inspection at all times during the duration of the project or until its date of expiration.
- D. All work shall be completed in accordance with the approved plans and specifications submitted with the application and/or plans and specifications attached to this permit.
- E. No attempt shall be made by the permittee to forbid the full and free use by the public of public waters at or adjacent to the structure or work approved.
- F. It is made a requirement of this permit that the permittee give notice to public utilities in accordance with 2013 PA 174 (Act 174) and comply with each of the requirements of Act 174.
- G. This permit does not convey property rights in either real estate or material, nor does it authorize any injury to private property or invasion of public or private rights, nor does it waive the necessity of seeking federal assent, all local permits, or complying with other state statutes.
- H. This permit does not prejudice or limit the right of a riparian owner or other person to institute proceedings in any circuit court of this state when necessary to protect his rights.
- I. Permittee shall notify EGLE within one week after the completion of the activity authorized by this permit by completing and forwarding the attached preaddressed postcard to the office addressed thereon.
- J. This permit shall not be assigned or transferred without the written approval of EGLE.
- K. Failure to comply with conditions of this permit may subject the permittee to revocation of permit and criminal and/or civil action as cited by the specific state act, federal act, and/or rule under which this permit is granted.
- L. All dredged or excavated materials shall be disposed of in an upland site (outside of floodplains, unless exempt under Part 31 of the NREPA, and wetlands).
- M. In issuing this permit, EGLE has relied on the information and data that the permittee has provided in connection with the submitted application for permit. If, subsequent to the issuance of a permit, such information and data prove to be false, incomplete, or inaccurate, EGLE may modify, revoke, or suspend the permit, in whole or in part, in accordance with the new information.
- N. The permittee shall indemnify and hold harmless the State of Michigan and its departments, agencies, officials, employees, agents, and representatives for any and all claims or causes of action arising from acts or omissions of the permittee, or employees, agents, or representative of the permittee, undertaken in connection with this permit. The permittee's obligation to indemnify the State of Michigan applies only if the state: (1) provides the permittee or its designated representative written notice of the claim or cause of action within 30 days after it is received by the state, and (2) consents to the permittee's participation in the proceeding on the claim or cause of action. It does not apply to contested case proceedings under the Administrative Procedures Act, 1969 PA 306, as amended, challenging the permit. This permit shall not be construed as an indemnity by the State of Michigan for the benefit of the permittee or any other person.
- O. Noncompliance with these terms and conditions and/or the initiation of other regulated activities not specifically authorized shall be cause for the modification, suspension, or revocation of this permit, in whole or in part. Further, EGLE may initiate criminal and/or civil proceedings as may be deemed necessary to correct project deficiencies, protect natural resource values, and secure compliance with statutes.
- P. If any change or deviation from the permitted activity becomes necessary, the permittee shall request, in writing, a revision of the permitted activity from EGLE. Such revision request shall include complete documentation supporting the modification and revised plans detailing the proposed modification. Proposed modifications must be approved, in writing, by EGLE prior to being implemented.


- Q. This permit may be transferred to another person upon written approval of EGLE. The permittee must submit a written request to EGLE to transfer the permit to the new owner. The new owner must also submit a written request to EGLE to accept transfer. The new owner must agree, in writing, to accept all conditions of the permit. A single letter signed by both parties that includes all the above information may be provided to EGLE. EGLE will review the request and, if approved, will provide written notification to the new owner.
- R. Prior to initiating permitted construction, the permittee is required to provide a copy of the permit to the contractor(s) for review. The property owner, contractor(s), and any agent involved in exercising the permit are held responsible to ensure that the project is constructed in accordance with all drawings and specifications. The contractor is required to provide a copy of the permit to all subcontractors doing work authorized by the permit.
- S. Construction must be undertaken and completed during the dry period of the wetland. If the area does not dry out, construction shall be done on equipment mats to prevent compaction of the soil.
- T. Authority granted by this permit does not waive permit requirements under Part 91, Soil Erosion and Sedimentation Control, of the NREPA, or the need to acquire applicable permits from the County Enforcing Agent (CEA).
- U. Authority granted by this permit does not waive permit requirements under the authority of Part 305, Natural Rivers, of the NREPA. A Natural Rivers Zoning Permit may be required for construction, land alteration, streambank stabilization, or vegetation removal along or near a natural river.
- V. The permittee is cautioned that grade changes resulting in increased runoff onto adjacent property is subject to civil damage litigation.
- W. Unless specifically stated in this permit, construction pads, haul roads, temporary structures, or other structural appurtenances to be placed in a wetland or on bottomland of the water body are not authorized and shall not be constructed unless authorized by a separate permit or permit revision granted in accordance with the applicable law.
- X. For projects with potential impacts to fish spawning or migration, no work shall occur within fish spawning or migration timelines (i.e., windows) unless otherwise approved in writing by the Michigan Department of Natural Resources, Fisheries Division.
- Y. Work to be done under authority of this permit is further subject to the following special instructions and specifications:
1. Authority granted by this permit does not waive permit or program requirements under Part 91 of the NREPA or the need to acquire applicable permits from the CEA. To locate the Soil Erosion Program Administrator for your county, visit [Soil Erosion and Sedimentation Control Program \(SESC\) \(michigan.gov\)](http://Soil Erosion and Sedimentation Control Program (SESC) (michigan.gov)) and select "Soil Erosion and Sedimentation Control Agencies".
 2. The authority to conduct the activity as authorized by this permit is granted solely under the provisions of the governing act as identified above. This permit does not convey, provide, or otherwise imply approval of any other governing act, ordinance, or regulation, nor does it waive the permittee's obligation to acquire any local, county, state, or federal approval or authorization necessary to conduct the activity.
 3. No fill, excess soil, or other material shall be placed in any wetland, floodplain, or surface water area not specifically authorized by this permit, its plans, and specifications.
 4. This permit does not authorize or sanction work that has been completed in violation of applicable federal, state, or local statutes.
 5. The permit placard shall be kept posted at the work site in a prominent location at all times for the duration of the project or until permit expiration.

6. This permit is being issued for the maximum time allowed and no extensions of this permit will be granted. Initiation of the construction work authorized by this permit indicates the permittee's acceptance of this condition. The permit, when signed by EGLE, will be for a five-year period beginning on the date of issuance. If the project is not completed by the expiration date, a new permit must be sought.
7. Prior to initiation of construction, a preconstruction meeting shall be held with the contractor, permittee or her/his representative(s), and representatives of EGLE. Contact: John Bayha at BayhaJ@michigan.gov; 269-568-2680.
8. The tree pest, hemlock woolly adelgid (HWA), is known to infest hemlock and tiger-tail spruce trees in this county. The Michigan Department of Agriculture and Rural Development (MDARD) has issued a quarantine on the movement of all branches, boughs, any tree part bearing twigs and needles and uncomposted, chipped/shredded/ground parts that include twigs and needles. Issuance of this permit does not obviate the need to obtain approval to move hemlock and tiger-tail spruce parts off the project site prior to commencement of construction activity as stated in the quarantine effective on September 10, 2020, by authority of Public Act 72 of 1945, as amended, for Allegan, Ottawa, Muskegon, Oceana and Mason counties. Contact Mr. Robert Miller, MDARD Invasive Species Prevention and Response Specialist, MillerR35@Michigan.gov or 517-614-0454. For more information about HWA visit the HWA webpage at Michigan.gov/Invasives.
9. Oak wilt, a non-native tree killing fungus, is known to infect oak trees in this county. Damage to the trees from construction, such as cut or broken branches, during the growing season may result in the tree becoming infected and dying shortly thereafter. If possible, do not cut or trim oak trees during the growing season, especially April 15 through July 15. Open cuts on damaged trees should be immediately painted with pruning sealer or tree paint. Contact the local Cooperative Invasive Species Management Area (CISMA) staff for more information, info@MichiganInvasives.org or www.MichiganInvasives.org.
10. The permittee is responsible for acquiring all necessary easements or rights of way before commencing any work authorized by this permit. All construction operations relating to, or part of this project shall be confined to the existing right-of-way limits or other acquired easements.
11. Prior to the initiation of any permitted construction activities, a sedimentation barrier shall be constructed immediately down gradient of the construction site. Sedimentation barriers shall be specifically designed to handle the sediment type, load, water depth, and flow conditions of each construction site throughout the anticipated time of construction and unstable site conditions. The sedimentation barrier shall be maintained in good working order throughout the duration of the project. Upon project completion, the accumulated materials shall be removed and disposed of at an upland (non-wetland, non-floodplain) site and stabilized with seed and mulch. The sedimentation barrier shall then be removed in its entirety and the area restored to its original configuration and cover.
12. All slopes steeper than one on three (33%) must not be disturbed under any circumstances.
13. All earth moving and contour changes must occur within five (5) feet of the limits of the proposed structures as depicted on the attached project drawings.
14. Vertically install temporary slope protection (plywood or other materials) prior to the start of the project. The slope protection shall be placed as shown on the project drawings near the foundation footing corners along the west side of the project to prevent slope impacts caused by over digging during construction. The slope protection shall remain in place during construction and shall be removed once the project is completed.

15. Vegetation changes are not permitted more than ten (10) feet outside of the project footprint. All disturbed areas shall be re-vegetated with native dune vegetation and stabilized with temporary measures before or upon commencement of the permitted activity and maintained until permanent measures are in place. The removal and re-establishment of vegetation must be in accordance with the submitted and attached vegetation assurance.
16. Restore all areas disturbed by the construction of the house and supporting structures, by planting native species as described in the submitted vegetation assurance. This will include the planting of new native tree specimens to replace all live trees over a diameter at breast height (DBH) of 3 inches removed as part of this project. The number of replacement trees and their size shall be as described in the revegetation and replanting required in permit WRP023252.
17. The transport of building materials/excavated sand and access to and from the site shall be via the newly permitted driveway and the existing private roadway.
18. A separate temporary driveway or access road is not permitted for construction activities.
19. Impacting the dunes is not permitted outside of the approved disturbance area including activities such as driving machinery on any slopes steeper than one-on-three (33%), or storing (permanently or temporarily) machinery, soil, materials, equipment, or removed vegetation, on any slopes steeper than one-on-four (25%).
20. The construction of porches, decks, landscaping (with the exception of planting native dune vegetation), on-grade walkways, on-grade stairways, and retaining walls which also includes the placement of boulders, are considered uses, and not permitted unless specified in the permit conditions.
21. The underground utility lines must be placed in areas with slopes less than one on four or the lines must be installed using the directional bore method or by hand digging. If the directional bore method is utilized, the bore pits must be located in areas with slopes less than one on four. The disturbed areas must be stabilized and repaired with temporary measures before or upon commencement of the permitted activity and shall be maintained until permanent measures are in place. Trenching areas with slopes steeper than one on four is not permitted.
22. All excess woody debris, concrete, building materials, or other types of soil must be deposited off site, outside of the Critical Dunes Area.
23. Only clean sand shall be placed in areas depicted on the site plan. Where mature trees are present, sand shall not be placed greater than 2 inches deep. Where shrubs are present, sand shall not be placed greater 3 inches deep. In areas of open sand or dune grass, sand shall not be placed greater than 18 inches deep.

Upon signing by the permittee named herein, this permit must be returned to EGLE's Water Resources Division, Kalamazoo District Office, 7953 Adobe Road, Kalamazoo, MI 49009 for final execution. This permit shall become effective on the date of the EGLE representative's signature.


Permittee hereby accepts and agrees to comply with the terms and conditions of this permit.

X  5/26/22

Permittee Date

X BRAD ROTTSCHAFFER VINE STREET COTTAGES, LLC

Printed Name and Title of Permittee) MANAGING MEMBER

Issued By: 

John Bayha, P.E.
District Engineer
Kalamazoo District Office
Water Resources Division
bayhaj@michigan.gov
269-568-2680

cc: City of Saugatuck Clerk
Allegan County SESC Agent
John Vigna, Agent

BN

5/26/22

Permittee

Date

Sugar Hill – Lot 5 Vegetation Removal Assurance

Site Description

The subject parcel is in a forested dune area. The overall Sugar Hill development is dominated by sassafras, maple and oak trees. The east half of the Lot 5 is relatively flat with a steep, dune slope rising near the middle of the parcel.

Proposed Development

The applicant proposes to construct a new, single-family residence on the subject parcel. The grading/disturbance area will be cleared to facilitate this activity. There are approximately 40 trees within the proposed grading area. The attached figure shows tree locations, proposed site disturbance and tree-removal tally.

Seasonal issues

Oaks pruned or disturbed between April 15 and July 15 are susceptible to oak wilt.

Special Considerations

No special considerations have been identified.

Site Stabilization Activities

Erosion control fencing will be installed at the base of the dune slope and around the perimeter of project disturbance in accordance with SESC permit requirements.

To help prevent oak wilt, effort will be made to prevent disturbance to oak trees at the edge of the development area.

Proposed Revegetation of the Site

Following completion of construction activities, the exposed soils will be stabilized and revegetated with native plants and dune grass. If mulch blankets are needed, weed-free blankets will be used.

The attached list will be used as guidance for all replanting and site stabilization activities on the subject site.

Vegetation removal compensation for the Sugar Hill development was addressed in EGLE Permit No. WRP023252 (issued August 31, 2020). Tree and dune grass planting in accordance with that permit is in process.

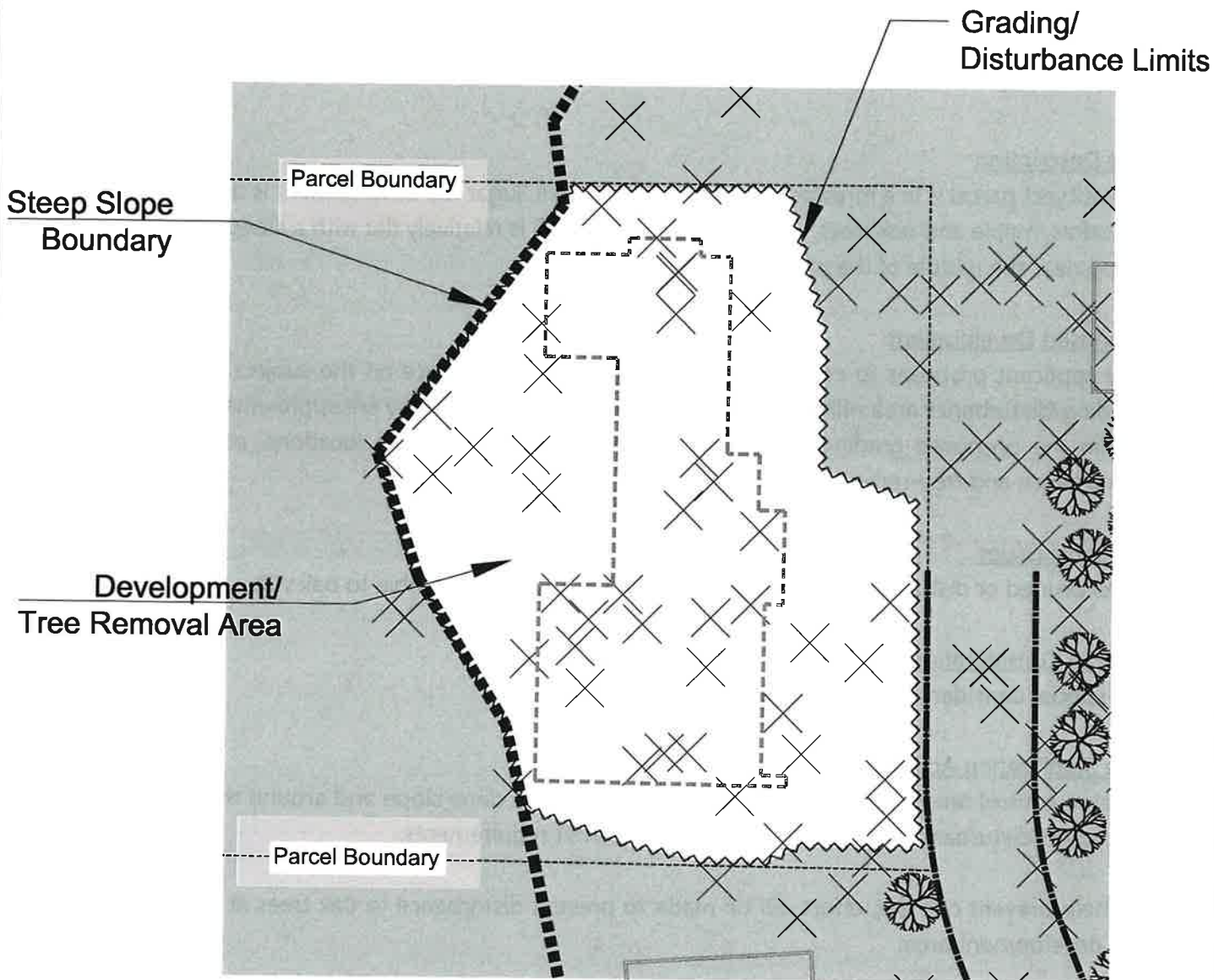
February 2, 2022

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Bn 5/26/22

Permittee

Date



× Existing Trees (approximately 40 trees to be removed on Lot 5)



Tree Survey For:

Sugar Hill Lot #5

City of Saugatuck

Allegan County, Michigan



Figure 1

Tree Survey

WRP033533 v1.0
PROJECT NUMBER
22031063



5/26/22



List of Common Native (Indigenous) Plants of Michigan Sand Dunes*

This is a list of some of the many native plant species found in sand dune communities. The plant list is organized by the proximity to the lake where the plant is most likely to be found. Plants common to open dunes and interdunal wetlands are most likely to be found in the foredunes, those dunes closest to the lake where disturbance from wind and water is greatest. Further from the lake where the winds are less are dunes in transition. Plants common to this area can also be typical of open dune communities. The backdunes are furthest from the shoreline and support plants growing on a more stable dune. Plants will grow where they find the necessary nutrients, water, and sun regardless of the distance from the shoreline. For example, plants listed as being in a transition dune may also be found in a foredune.

The plant's common name is followed by its scientific name in italics. Photos of the plants may be found online at [United States Department of Agriculture Natural Resources Conservation Service Plants Database](#) or [University of Michigan Herbarium Michigan Flora On-Line](#). When searching online, use the scientific name as some plants have multiple common names.

Foredune

Common Name	Scientific Name	Category
Marram Grass or Beach Grass	<i>Ammophila breviligulata</i>	Grass
Sand Reed Grass	<i>Calamovilfa longifolia</i>	Grass
Common Milkweed	<i>Asclepias syriaca</i>	Herb
Sea-rocket	<i>Cakile edentula</i>	Herb
Harebell or Bluebell	<i>Campanula rotundifolia</i>	Herb
River-bank Grape	<i>Vitis riparia</i>	Vine
Sand Cherry	<i>Prunus pumila</i>	Shrub
Cottonwood	<i>Populus deltoides</i>	Tree

Transition Dune

Common Name	Scientific Name	Category
Little Bluestem	<i>Schizachyrium scoparium</i>	Grass
Sand Cress	<i>Arabidopsis lyrata</i>	Herb
Wild Wormwood	<i>Artemisia campestris</i>	Herb
Bugseed	<i>Corispermum sp.</i>	Herb
Pitcher's Thistle or Dune Thistle	<i>Cirsium pitcheri</i>	Herb
Summer Grape	<i>Vitis aestivalis</i>	Vine
Bearberry or Kinnikinick	<i>Arctostaphylos uva-ursi</i>	Shrub
Blueleaf Willow	<i>Salix myricoides</i>	Shrub

*This list was created in 1975 by Michigan State University staff from the Michigan Great Lakes Shorelands Zone Boundary Definitions. Additional plant species were added to the list by Department of Natural Resources staff in 1989. The list was reviewed by Hope College faculty in 2013.

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List of Common Native Plants in Michigan Sand Dunes (continued).

Backdune

Common Name	Scientific Name	Category
Canada Wild Rye	<i>Elymus canadensis</i>	Grass
Flowering Spurge	<i>Euphorbia corollata</i>	Herb
Seaside Spurge	<i>Euphorbia polygonifolia</i>	Herb
Plains Puccoon or Hairy Puccoon	<i>Lithospermum caroliniense</i>	Herb
Horse Mint or Dotted Mint	<i>Monarda punctata</i>	Herb
Common Evening Primrose	<i>Oenothera biennis</i>	Herb
Beach Pea	<i>Lathyrus japonicus</i>	Vine
Ground Juniper	<i>Juniperus communis</i>	Shrub
Creeping Juniper	<i>Juniperus horizontalis</i>	Shrub
Yew or Ground-hemlock	<i>Taxus canadensis</i>	Shrub
Kalm's St. John's-wort	<i>Hypericum kalmianum</i>	Shrub
False Heather or Beach-heath	<i>Hudsonia tomentosa</i>	Shrub
Red-osier	<i>Cornus sericea</i>	Shrub
Alternate-leaved Dogwood	<i>Cornus alternifolia</i>	Tree
Serviceberry	<i>Amelanchier interior</i>	Shrub
Smooth Shadbush	<i>Amelanchier laevis</i>	Tree
Round-leaved Serviceberry	<i>Amelanchier sanguinea</i>	Shrub
Shadbush Serviceberry	<i>Amelanchier spicata</i>	Shrub
Hop-hornbeam or Ironwood	<i>Ostrya virginiana</i>	Tree
Basswood or Linden	<i>Tilia americana</i>	Tree
American Beech	<i>Fagus grandifolia</i>	Tree
Red Oak	<i>Quercus rubra</i>	Tree
Black Oak	<i>Quercus velutina</i>	Tree
Sugar Maple or Hard Maple	<i>Acer saccharum</i>	Tree
Red Maple	<i>Acer rubrum</i>	Tree
Red-cedar	<i>Juniperus virginiana</i>	Tree
White-cedar or Arbor Vitae	<i>Thuja occidentalis</i>	Tree
White Pine	<i>Pinus strobus</i>	Tree
Jack Pine	<i>Pinus banksiana</i>	Tree
Red Pine	<i>Pinus resinosa</i>	Tree
Hemlock	<i>Tsuga canadensis</i>	Tree
Balsam Fir	<i>Abies balsamea</i>	Tree

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Permit Application Sketches for VINE STREET COTTAGES (LOT 5)



LOCATION MAP

NOT TO SCALE



SHEET INDEX

- 1 SITE LOCATION MAP
- 2 EXISTING CONDITIONS MAP - OVERALL
- 3 EXISTING CONDITIONS MAP - LOT DETAIL
- 4 PROPOSED SITE PLAN
- 5 CROSS-SECTION 'A'
- 6 CROSS-SECTION 'B'
- 7 CROSS-SECTION 'C'

NO SCALE

Vine Street Cottages (Lot 5)

Site Location Map

SAUGATUCK, ALLEGAN COUNTY, MI

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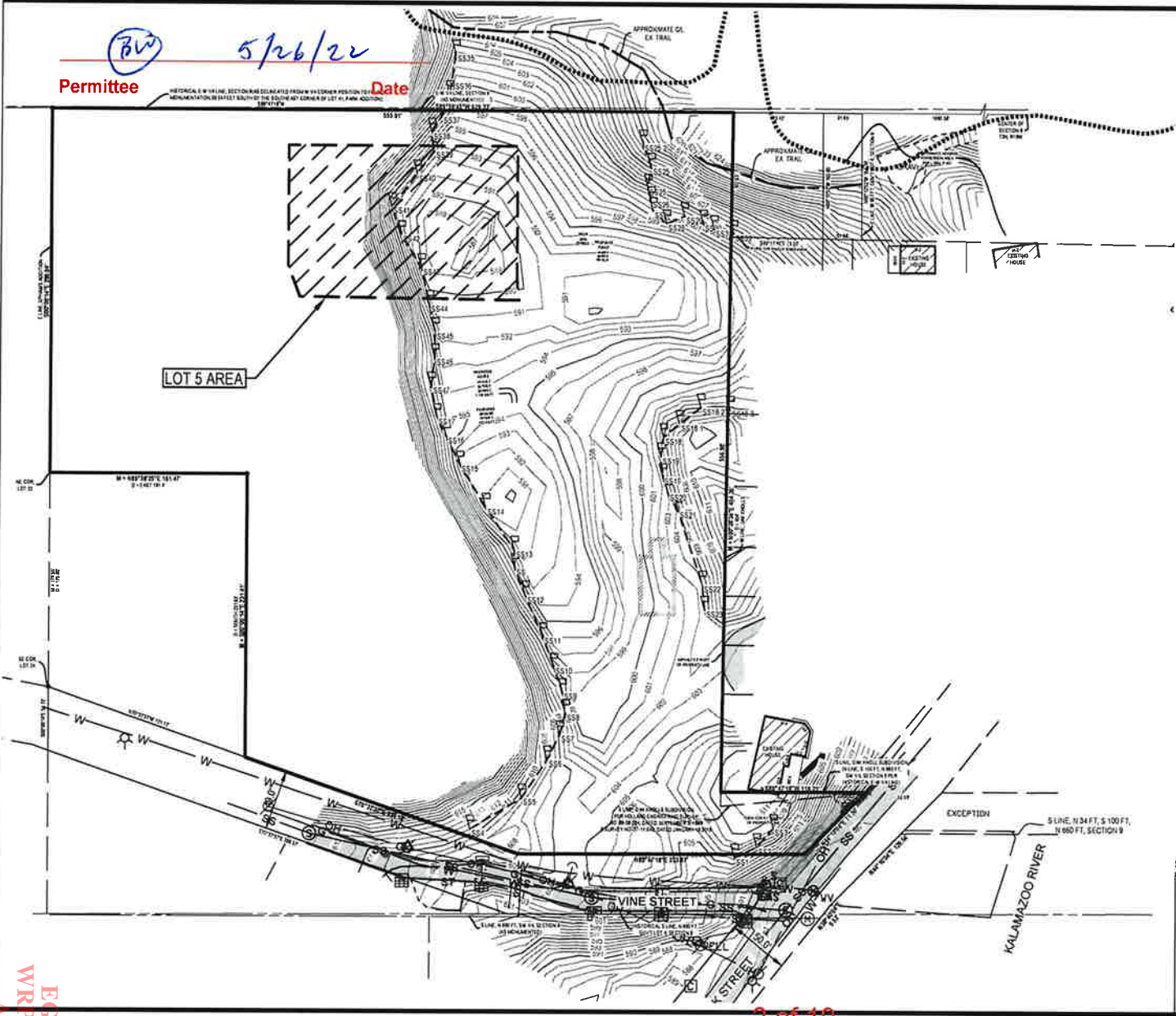
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HISTORICAL 1/4" SCALE SECTION HAS DELINEATED 1/4" AND 1/2" SECTION PERIODS FOR DOCUMENTATION BE BESET BY THE SOUTH-WEST CORNER OF LOT 4. PARK ADDITION FOR LOT 5.



LEGEND

- Benchmark
- Catch Basin - Square
- Guy Anchor
- Manhole
- Sign
- Sanitary Sewer Manhole
- Utility Pole
- Underground Gas Marker
- Water Well
- Overhead Utility
- Sanitary
- Storm
- Asphalt
- Concrete
- Building
- Existing Grade Contour
- Critical Dune Steep Slope (33%) Boundary as determined by King & MacGregor

SCALE: 1" = 80'



Vine Street Cottages (Lot 5)

Existing Conditions Map - Overall

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LOT 5 AREA

LEGEND

- Benchmark
- Catch Basin - Square
- Guy Anchor
- Iron - Found
- Underground Gas Marker
- Overhead Utility
- Sanitary
- Storm
- Asphalt
- Building
- Existing Grade Contour
- Critical Dune Steep Slope (33%) Boundary as determined by King & MacGregor
- Lot Boundary

SCALE: 1" = 20' 0' 10' 20'



Vine Street Cottages (Lot 5)

Existing Conditions Map - Lot Detail

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SLOPE PROTECTION
(TYPICAL FOUR LOCATIONS)
SEE DETAIL THIS SHEET

186.68'

CROSS-SECTION 'A'
(SEE PAGE 5)

4" DIA. LEACH BASINS FOR
ROOF GUTTER /
DOWNSPOUT
CONNECTION (2 TOTAL)

LIMITS OF
DISTURBANCE

LOT 5

CROSS-SECTION 'B'
(SEE PAGE 6)

PROPOSED
HOUSE
FF=594.0
2,462 SQ.FT.

PROPOSED
GARAGE
FF=593.0
855 SQ.FT.

SANITARY & WATER SERVICES

CROSS-SECTION 'C'
(SEE PAGE 7)

ELECTRIC, PHONE, CABLE AND GAS MAIN
LOCATIONS FROM 4' TO 15' EAST OF EDGE
OF PAVEMENT

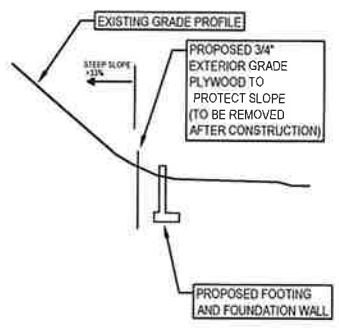
ELECTRIC, PHONE, CABLE AND GAS
SERVICES TO HOUSE (TYP.)

SEVEN (7) INDIVIDUAL SANITARY
FORCEMAIN LINES IN COMMON TRENCH
FROM 4'-7' EAST OF CENTERLINE

SEVEN (7) INDIVIDUAL DOMESTIC WATER
SERVICE LINES IN COMMON TRENCH
FROM 4'-7' WEST OF CENTERLINE

LEGEND

- EX. BITUMINOUS
- PROPOSED BITUMINOUS
- PROPOSED CONCRETE
- CRITICAL DUNE STEEP SLOPE (33%) BOUNDARY AS DETERMINED BY KING & MACGREGOR
- EX. GRADE CONTOUR
- PROP. GRADE CONTOUR
- PROPOSED 4" DIA. STORM LEACH BASIN FOR HOUSE ROOF WITH CONNECTION



SLOPE PROTECTION DETAIL

N.T.S.

SCALE: 1" = 20'



Vine Street Cottages
(Lot 5)

Proposed Site Plan

SAUGATUCK, ALLEGAN COUNTY, MI

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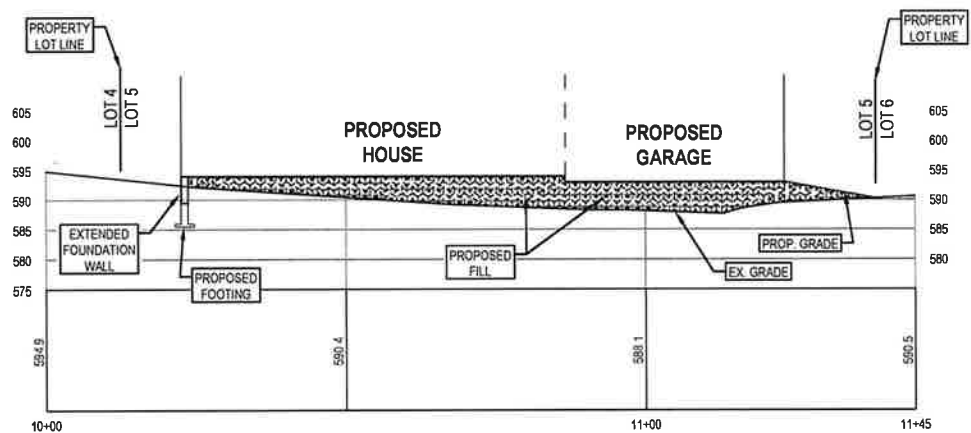
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SCALE: 1" = 20' 0' 10' 20' NORTH

Vine Street Cottages (Lot 5)

Cross-Section 'A'

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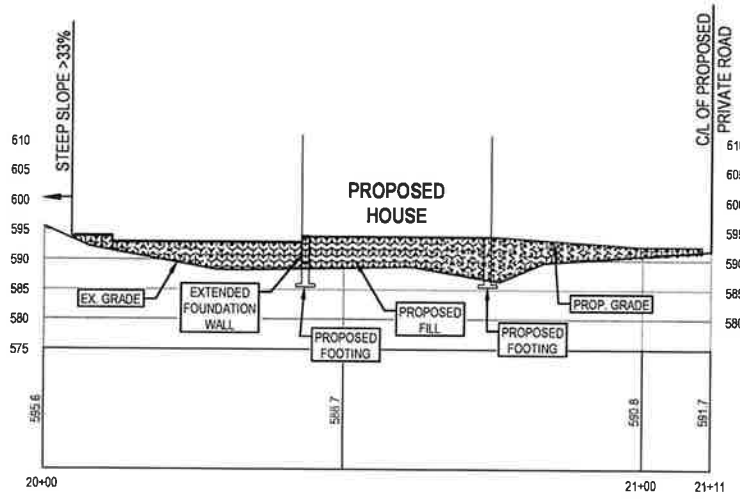


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SCALE: 1" = 20'



**Vine Street Cottages
(Lot 5)**

Cross-Section 'B'

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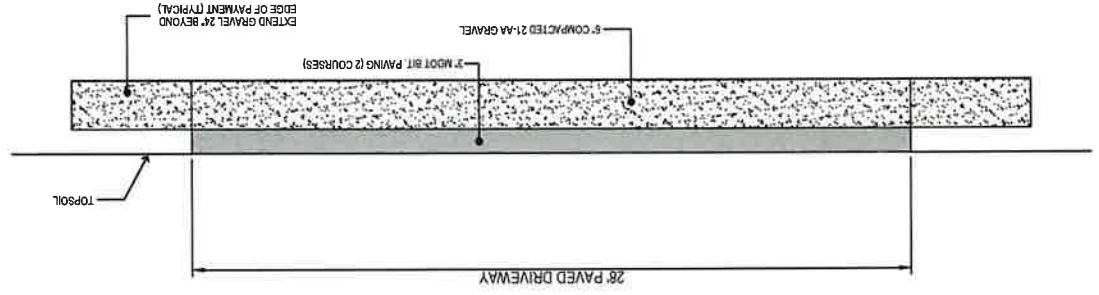
Vine Street Cottages (Lot 5)
 Cross-Section 'C'
 SAUGATUCK, ALLEGAN COUNTY, MI
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NO SCALE

NORTH

TYPICAL 28' WIDE BITUMINOUS DRIVEWAY

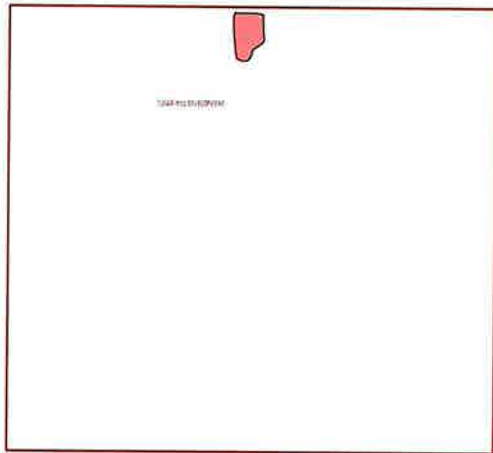


N.T.S.

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McCUMBY RESIDENCE

LOT 5, SUGAR HILL DEVELOPMENT
SAUGATUCK, MI 49453

PROJECT AREA:

MAIN LEVEL = 2481 SF
LOFT LEVEL = 359 SF
TOTAL FINISHED = 2840 SF

INDEX

- T100 - TITLE SHEET
- G100 - GENERAL INFORMATION
- G101 - SITE LAYOUT PLAN
- A100 - MAIN LEVEL PLAN
- A101 - LOFT LEVEL PLAN
- A102 - ROOF PLAN
- A201 - EXTERIOR ELEVATIONS
- A202 - EXTERIOR ELEVATIONS
- A301 - BUILDING SECTIONS
- A302 - BUILDING SECTIONS
- A401 - MAIN LEVEL CEILING PLAN
- A402 - LOFT LEVEL CEILING PLAN



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**TITLE
SHEET**

T100

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C - NE PERSPECTIVE

B - NW PERSPECTIVE

D - SE PERSPECTIVE

A - SW PERSPECTIVE




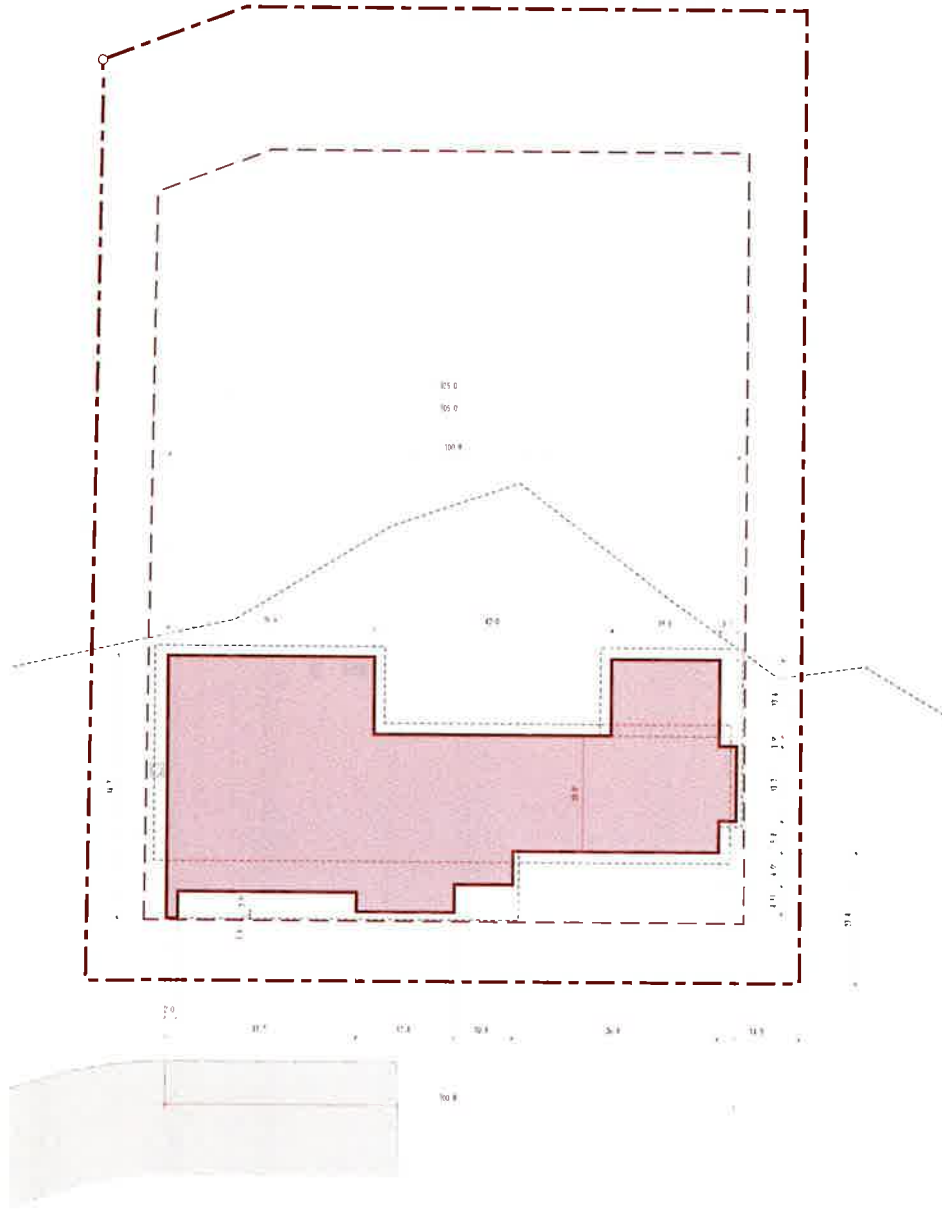
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**GENERAL
INFORMATION**

G100


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SITE PLAN GENERAL NOTES:

- 1) GENERAL CONTRACTOR TO COORDINATE AND ESTABLISH FOUNDATION WALL HEIGHTS, FOOTING ELEVATIONS, AND ALL FINISH FLOOR ELEVATIONS IN RELATION TO FINAL GRADE.
- 2) ELEMENTS DEPICTED IN RELATION TO FINAL GRADE ARE SHOWN FOR COORDINATION PURPOSES ONLY AND DO NOT REFLECT REQUIREMENTS OF FINAL GRADY AS ESTABLISHED IN THE FIELD BY GC
- 3) SLOPE ALL TOPOGRAPHY AWAY FROM BUILDING FOR POSITIVE DRAINAGE
- 4) ~~GRADE CONSTRUCTION MATERIALS TO BE MINIMUM 1/2\"~~ ~~GRADE CONSTRUCTION MATERIALS TO BE MINIMUM 1/2\"~~ ~~GRADE CONSTRUCTION MATERIALS TO BE MINIMUM 1/2\"~~
- 5) DRIVES, WALKS, HARDSCAPE, CONCRETE AND ASPHALT FLOORWORK, RETAINING WALLS, AND LANDSCAPE ELEMENTS SHOWN INDICATE GENERAL SCOPE OF WORK ONLY. CONTRACTORS TO VERIFY AND REVIEW ALL ELEMENTS SHOWN WITH OWNER OR GC PRIOR TO CONSTRUCTION.
- 6) CONTRACTOR TO DEVELOP AND IMPLEMENT AN APPROVED SOIL EROSION AND SEDIMENTATION CONTROL PLAN.
- 7) BUILDING ORIENTATION AND LOCATION FOR GENERAL LAYOUT PURPOSES. CONFIRM FINAL ORIENTATION AND POSITION WITH OWNER OR GC PRIOR TO CONSTRUCTION.

PLANS AND SUBMITTALS BY OTHERS:

- 1) LANDSCAPING AND LANDSCAPE ELEMENTS, SOIL TESTING, EXISTING AND NEW SITE ELEVATIONS, DRIVEWAYS, CURB CUTS, WALKS, RETAINING WALLS, UTILITY LOCATIONS AND CONNECTIONS, ETC. ARE BY OTHERS.

SOIL SPECIFICATIONS:

- 1) ALL FOOTINGS AND SLABS SHALL BE CONSTRUCTION ON CLASS II CLEAN ENGINEERED FILL, FREE FROM ANY ORGANIC MATERIAL.
- 2) SOIL TO HAVE MINIMUM 3000 PSF LOADBEARING CAPACITY.
- 3) ALL FILL SAND AND BACKFILL SOIL TO BE COMPACTED TO 95% MAX DENSITY IN PLACE. SOIL TESTING, DESIGN CRITERIA, AND SOIL ENHANCING IS BY OTHERS.

01 SITE LAYOUT 1" = 10'



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**SITE LAYOUT
PLAN**

G101

BR 5/21/22

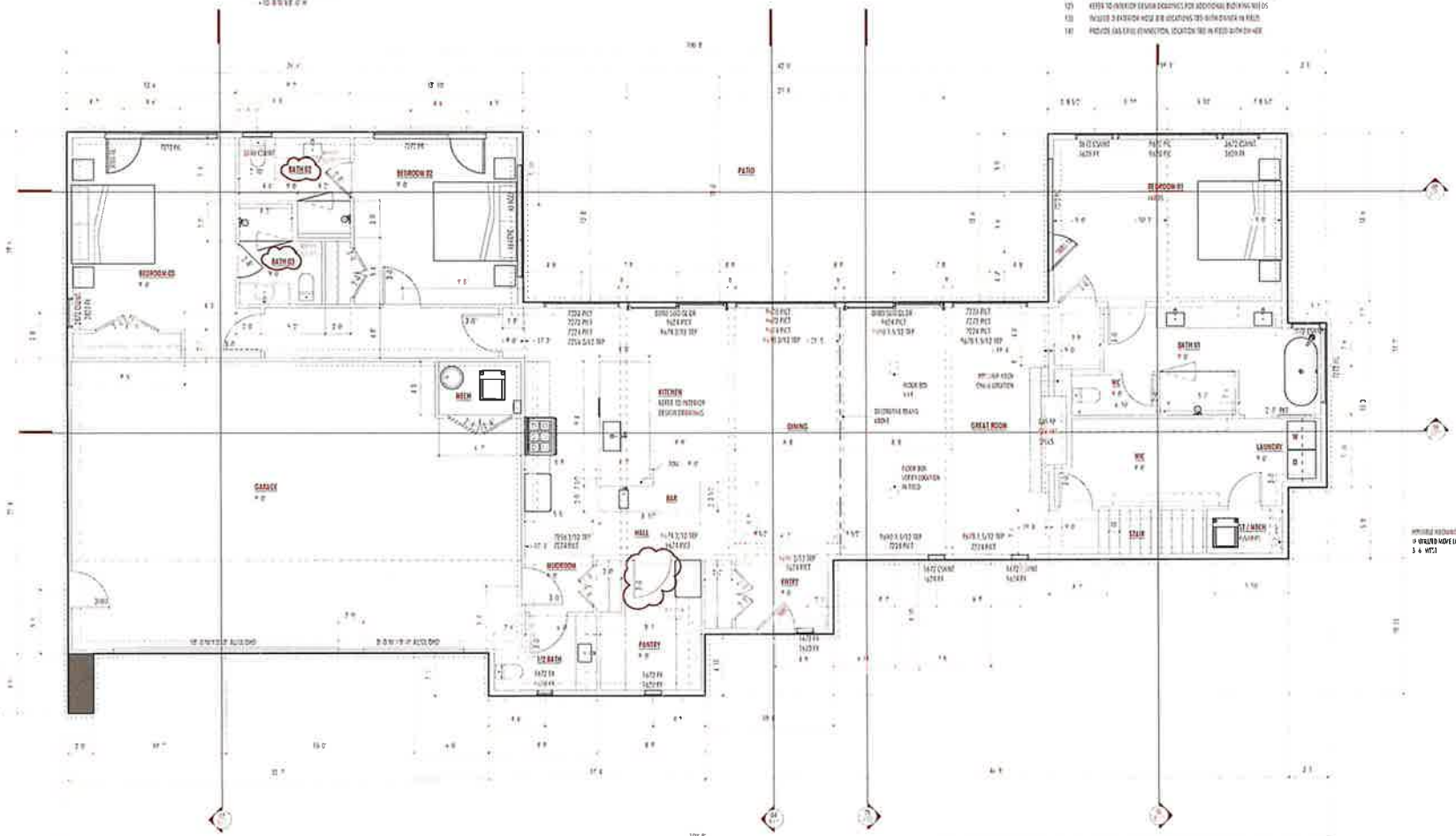
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NOTE: FINISHES SHOWN ON THIS FLOOR PLAN ARE BASED ON THE FINISHES LISTED IN THE SPECIFICATIONS. FINISHES LISTED IN THE SPECIFICATIONS SHALL BE USED UNLESS OTHERWISE NOTED.

FINISHES LISTED IN THE SPECIFICATIONS:

2021 CMR 7.00(1) 2021 CMR 7.00(1)

TYPICAL DOOR NOTATION - FEET AND INCHES



FLOOR PLAN GENERAL NOTES:

- 1) REFER TO INTERIOR DESIGN DRAWINGS FOR FLOOR FINISHES, CEILING FINISHES, INTERIOR FINISHES, INTERIOR ELEVATIONS, CASING, APPLIANCES, PLUMBING FIXTURES, LIGHTING FIXTURES, FLOOR BOARDS, ELEC (CEILING DEVICES, AND PANEL) LOCATIONS, ETC. INTERIOR DESIGN DRAWINGS SHALL OVERRIDE CONDITIONS SHOWN ON THIS FLOOR PLAN.
- 2) ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED. ALL FINISHES ARE SHOWN FOR CLARITY. ADD FINISH MATERIAL FINISHES TO INTERIOR DESIGN DRAWINGS FOR ANY REQUIRED CLARIFICATION.
- 3) REFER ELECTRICAL FOR ADDITIONAL SYMBOLS AND SCHEDULES ON PLANS.
- 4) STUDY ALL FINISHING SYMBOLS TO BE SHOWN ON STRUCTURAL PLANS.
- 5) PROVIDE DOOR AND WINDOW FINISHES (INTERIOR, EXTERIOR, AND FINISHES) SHOWN ON FINISH SCHEDULES.
- 6) PROVIDE CONCRETE FLOORS PER CONCRETE STANDARDS OF AS SCHEDULED ON DRAWINGS.
- 7) MECHANICAL, ELECTRICAL, PLUMBING FIXTURES, MECHANICAL CHASIS NOT SHOWN. COORDINATE ROOMS WITH ALL TRADES BY OTHERS.
- 8) COORDINATE CEILING FINISHES WITH LIGHTING FIXTURES TO BE CENTERED ON JOINTS, BEAMS, RAILS, ETC. COORDINATE WALL FINISHES WITH SWITCH LOCATIONS.
- 9) KITCHEN AND BATHROOM SCHEDULES SHOWN FOR GENERAL SYMBOLS ONLY. REFER TO KITCHEN, BATH, OR BATHROOM DRAWINGS BY OTHERS.
- 10) SYMBOLS AND FINISHES LOCATIONS SHALL REFER TO GENERAL SYMBOLS OF ROOM ONLY. LOCATIONS FOR MECHANICAL, ELECTRICAL, PLUMBING SYMBOLS AS SHOWN ON DRAWINGS SHALL REFER TO GENERAL SYMBOLS OF ROOM ONLY.
- 11) REFER TO INTERIOR DESIGN DRAWINGS FOR ADDITIONAL FINISHING NOTES.
- 12) PROVIDE A FINISHING SCHEDULE FOR ADDITIONAL FINISHING NOTES.
- 13) PROVIDE GAS LINE CONNECTION LOCATION TO BE SHOWN ON PLAN.

01 MAIN LEVEL FLOOR PLAN 1/4" = 1'-0"



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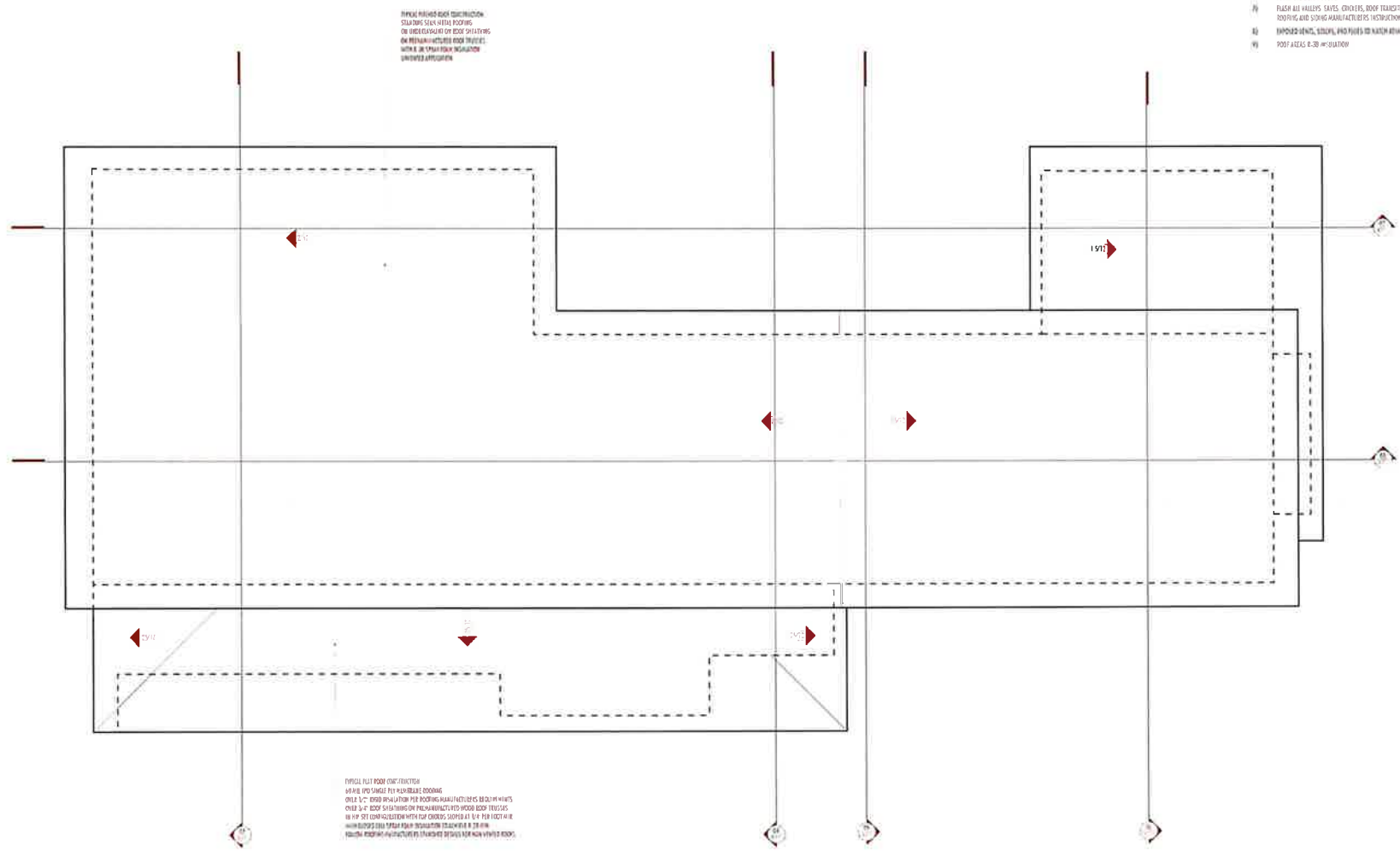
MAIN LEVEL FLOOR PLAN

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- ROOF PLAN GENERAL NOTES:**
- 1) SEE ELEVATIONS FOR SUGGESTED DOWNSPOUT CLEARING.
 - 2) ALL DOWNSPOUTS TO BE 1/2" GALV. GALVANIZED TO BE SANKIN'S "A" SHIP OR HALF ROUND. COLOR OF GUTTERS AND DOWNSPOUTS TO MATCH COLOR OF ADJACENT FACED AND WALL SURFACES THEY ADJURY TO.
 - 3) CEILING BOARD SMOOTH, NON VENTED.
 - 4) CEILING ROOFING METAL STANDING SEAM.
 - 5) EPDM OR TPO MEMBRANE LOW SLOPE ROOFING - 1:12 GARY COLOR.
 - 6) ALL ROOF STRUCTURE INCLUDING TRUSSES, GIRDERS, PURLIN, RAFTERS, ETC., FINISHED IN BRNPK.
 - 7) FLASH ALL WALLS, SITES, CHIMNEYS, ROOF TRANSECTIONS AND PENETRATIONS PER ROOFING AND FLASHING MANUFACTURERS' INSTRUCTIONS, TYPICAL.
 - 8) EXPOSED BEAMS, TRUSSES, AND RAFTERS TO REMAIN UNPAINTED ROOF TRUSS COLOR.
 - 9) POOF AREAS 6-30" MIN. SLOPE.



FINISH FLOOR ROOF CONSTRUCTION
 CEILING SHALL BE METAL ROOFING
 ON UNDEVELOPED OR ROOF SLOPING
 ON PREMANUFACTURED ROOF TRUSSES
 WITHIN AN AREA FROM THE EXTERIOR
 UNPAINTED BRNPK

FINISH FLOOR ROOF CONSTRUCTION
 BRNPK AND GABLE FOR MANUFACTURED
 TRUSSES SHALL BE MANUFACTURED
 OVER 3" OF ROOF SLOPING ON PREMANUFACTURED WOOD ROOF TRUSSES
 OR 1/2" OF ROOF SLOPING WITH FOR GABLES, SUPPORTS ALL 1/2" FOR TRUSSES
 WITHIN AN AREA FROM THE EXTERIOR UNPAINTED BRNPK



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ROOF PLAN

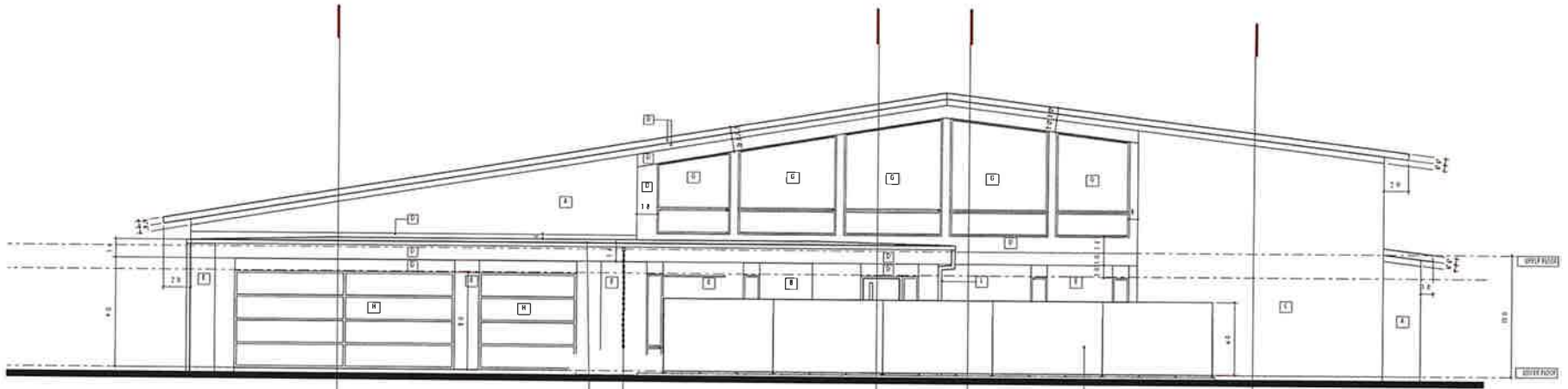
A102

01 ROOF PLAN 3/16" = 1' 0"

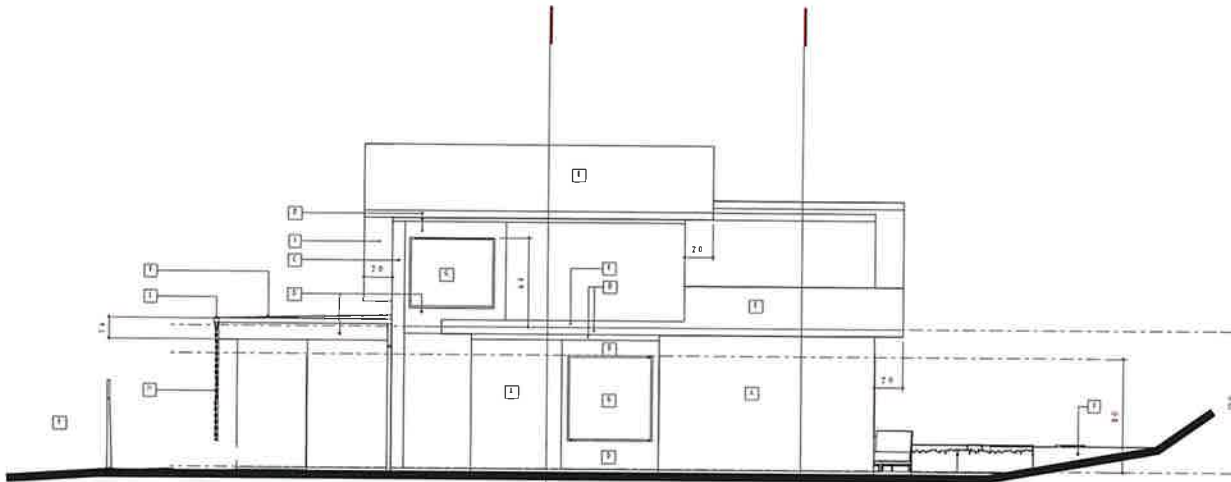
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02 EAST ELEVATION 1/4" = 1'



01 NORTH ELEVATION 1/4" = 1'

MATERIAL NOTES:

- A1 GENERAL BOARD LAP SIDING, SMOOTH
- B1 VERTICAL WOOD SIDING - NAVALYDIO FORESTRY, GENERAL, LIGHT GRAY FINISH
- C1 SOLID VENEER, BUCHEN STONE FORM OULAC TAILORED BLENDED 90% ROCKFACED
- D1 1/2" THICK BOARD BENEATH BRICK, SMOOTH
- E1 STAINLESS STEEL METAL ROOFING TO BE SELECTED SEAM BY 407 5744, 22 GA., COLOR FACTOR 0.11
- F1 FLAT ROOFING TO BE SINGLE PLY MEMBRANE ROOFING, IPD OR EPDM, LIGHT GRAY COLOR
- G1 WINDOWS, CLAD WOOD WINDOW'S BRASS OF RESIN - PELLA ARCHITECT SERIES CONTRASTABLE WINDOW'S, COLOR - HIGH GLOSS BLACK INTERIORS AND WHITE BLACK HARDWARE
- H1 ALUMINUM 2ND GLASS LARGED DOOR (PREFERRED), 1/2" WOOD GRIND, SCHEDULE 40 (EXCEED FOR FINANCY)
- I1 CEILING BOARD SYSTEM
- J1 GARDEN RETAINING WALL
- K1 COR TEX FENCING - 80% WOODEN BRACE FENCE SYSTEM, 6 TALL X 41 LONG, PATTERN 6-10-10000 - 100% WOOD, 100% WOODEN FOR THE SYSTEM, 6 TALL
- L1 ALUMINUM BUTTER / DOORSTOP, 4.5" HIGH, 100% WOOD

ELEVATION NOTES:

- 1) HOUSE READY TO BE A READY WOOD CONSTRUCTION AND SLOPED AWAY FROM WHOLE FOR POSITIVE DRAINAGE
- 2) EXPOSED VENTS, VENT STACKS, FLUES, EXHAUSTS, ETC TO MATCH COLOR OF MATERIAL OR SURFACE BEING PENETRATED
- 3) FOLLOW ALL MANUFACTURERS STANDARD DETAILS, RECONSTRUCTIONS, AND FLASHING RECONSTRUCTIONS
- 4) DETAILS AND DETAILS SPECIFIED IN DRAWINGS ARE NOT INTENDED TO COVER ALL INSTANCES. CONSULT WITH THE DESIGN AND MANUFACTURER'S SPECIFICATIONS FOR THE PROPER INSTALLATION
- 5) LANDSCAPE AND HARDWARE SHOWN FOR GENERAL SCENE OF WORK ONLY



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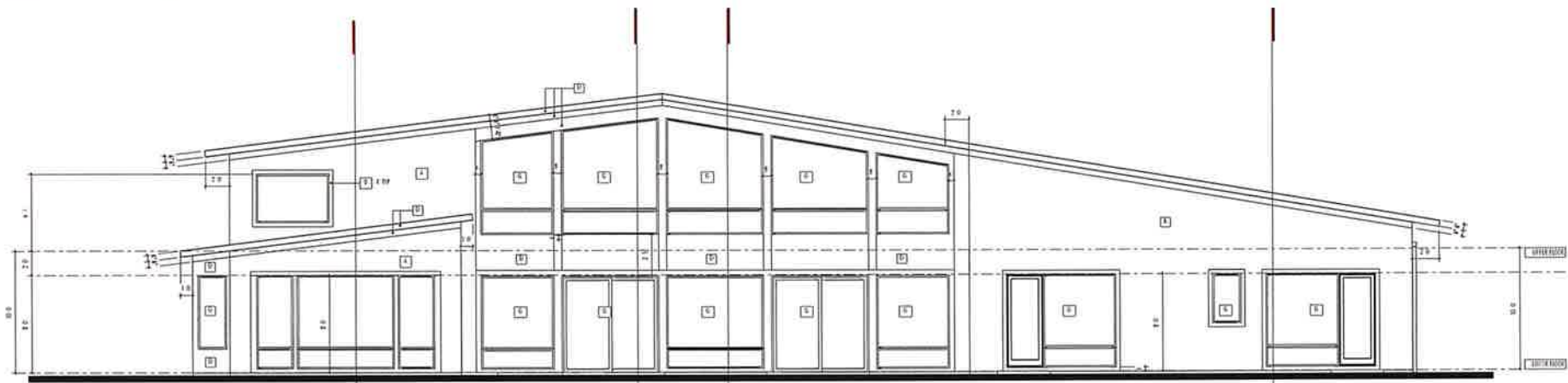
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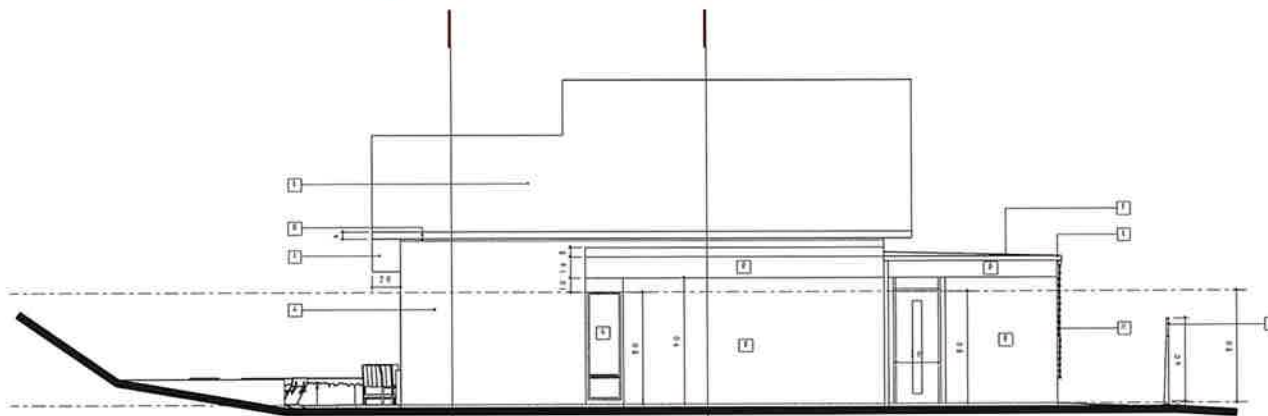
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02 WEST ELEVATION 1/4" = 1'



01 SOUTH ELEVATION 1/4" = 1'

MATERIAL NOTES:

- A1 CELESTIAL BOARD LAY SIDING, SMOOTH
- A2 CELESTIAL SIDING SIDING - HAZARDOUS POREFILL, GRANITE - LIGHT GRAY FINISH
- C1 STONE VENEER, BUSHBERG STONE FROM DUE LAC GRANITE BLEND 90 - REFINISHED
- F1 CELESTIAL BOARD PANEL / TRIM, SMOOTH
- S1 STAINLESS STEEL METAL ROOFING TO BE SELECTED BY AEP SP411 27 GA., COLOR: JACTON/ELI
- T1 FLAT ROOFING TO BE SHINGLE PLY WEATHERING ROOFING TPO OR EPDM, LIGHT GRAY COLOR
- W1 WINDOWS, CLAD WOOD WINDOWS, (BASIS OF DESIGN - PELLA ARCHITECT SERIES COURTESY PELLA WINDOWS), COLOR - HAZARDOUS, BLACK INTERIOR AND EXTERIOR BLACK ALUMINUM
- H1 ALUMINUM AND GLASS GARAGE DOOR (POSTED, ILLUMINATED WITH LED LIGHTS OR LED FOR PORCH)
- U1 CELESTIAL BOARD SOFFIT
- G1 GARBAGE REMAINING WALL
- C1 COR. TIN FENCING - BOB ALDEN BLADE FENCE SYSTEM, 4 TALL X 44 LONG PATTERN A 15 FINISH - CORNER OR EQUIVALENT FOR TWIN SAFETY & HIGH
- L1 ALUMINUM GUTTER / DOWNSPOUT, A STRIKE BOX GUTTER

ELEVATION NOTES:

- T1 FINISH GRADE TO BE 6" BELOW WOOD CONSTRUCTION AND SLOPED AWAY FROM HOUSE FOR POSITIVE DRAINAGE
- T2 EXPOSED RISERS, NAIL STAKES, FENCES, CHAINSTAYS, ETC TO BACK COLOR OF MATERIAL OR SURFACE BEING PELLETRATED
- T3 FOLLOW ALL MANUFACTURERS STANDARD DETAILS, RECOMMENDATIONS, AND FLASHING REQUIREMENTS
- T4 HEIGHT AND DETAILS SUGGESTED BY DRAWINGS ARE NOT INTENDED TO VOID ANY WARRANTIES. CONFLICTS BETWEEN DESIGN AND WARRANTY CONDITIONS SHALL BE REVIEWED WITH GC PRIOR TO THE GARBAGE
- T5 LANDSCAPE AND HARDSCAPE SHOWN FOR GENERAL SCOPE OF WORK ONLY



McCUMBY RESIDENCE

LOT 5, SUGAR HILL DEVELOPMENT SAUGATUCK, MI 49453

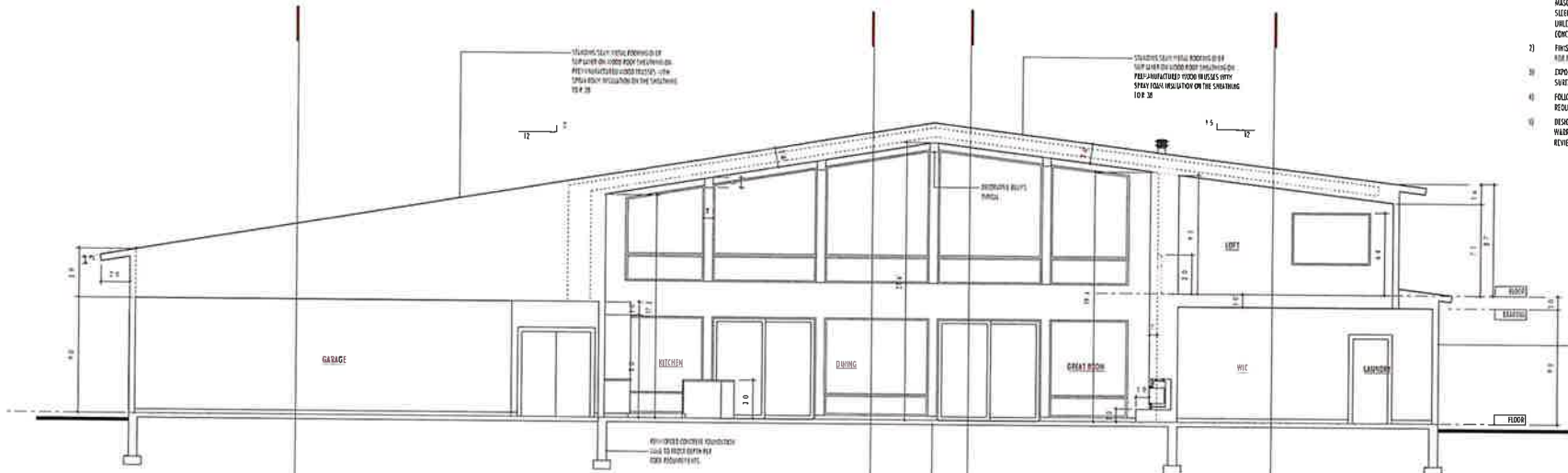
12.16.2021 CONSTRUCTION DOCUMENTS

A202

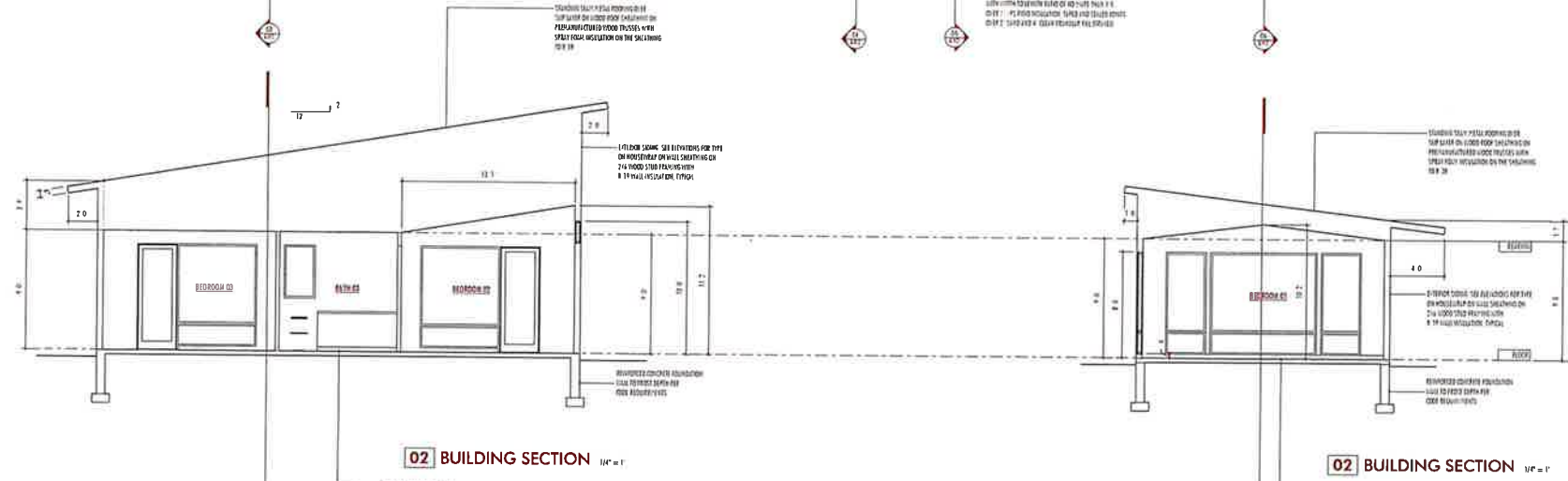
EGLE-WRD
 WRP033533 v1.0
 Approved
 Issued On: 06/03/2022
 Expires On: 06/03/2027

Per 5/26/22

Permittee Date



01 BUILDING SECTION 1/4" = 1'



02 BUILDING SECTION 1/4" = 1'

02 BUILDING SECTION 1/4" = 1'

BUILDING SECTION GENERAL NOTES:

- 1) NATURALLY Durable OR PRESERVATIVE TREATED WOOD IN ACCORDANCE WITH ANPA 11 WHERE WOOD STRUCTURE IS WITHIN 18' OF GROUND OR EXPOSED GROUND IN CONTACT SPACES OR OTHER INDICATED AREAS. ALL WOOD FRAMING ON CONCRETE OR MASONRY WALLS WHERE WALLS ARE LESS THAN 18' FROM EXPOSED GROUND. SILL AND SLEEPERS ON CONCRETE OR MASONRY SLABS THAT ARE IN DIRECT CONTACT WITH GROUND UNLESS OVER IMPERVIOUS MOISTURE BARRIER. ANY OTHER FRAMING IN CONTACT WITH CONCRETE OR CONCRETE MASONRY.
- 2) FINISH GRADE TO BE AT LEAST 4" ABOVE WOOD CONSTRUCTION AND SURFACE SHALL BE AS PER PERMITS. FINISH GRADE TO BE AT LEAST 4" ABOVE FINISHING GRADE CONCRETE SLABS.
- 3) EXPOSED VENTS, VENT STACKS, FLUES, EXHAUSTS, ETC TO JAMB EDGE OF MATERIAL OR SURFACE BEING PENETRATED.
- 4) FOLLOW ALL MANUFACTURERS STANDARD DETAILS, RECOMMENDATIONS, AND FINISHING REQUIREMENTS.
- 5) DESIGN AND DETAILS SUGGESTED IN DRAWINGS ARE NOT INTENDED TO VOID ANY WARRANTIES. CONFLICTS BETWEEN DESIGN AND MANUFACTURER CONDITIONS SHALL BE REVIEWED WITH GC PRIOR TO INSTALLATION.

OUTER SHEATHING SEE ALLOWANCES FOR TYPE OF ROOFING ON WALL SHEATHING ON THIS SHEATHING PERMITS SHALL BE 1/2\"/>



McCUMBY RESIDENCE
LOT 5, SUGAR HILL DEVELOPMENT
SAUGATUCK, MI 49453

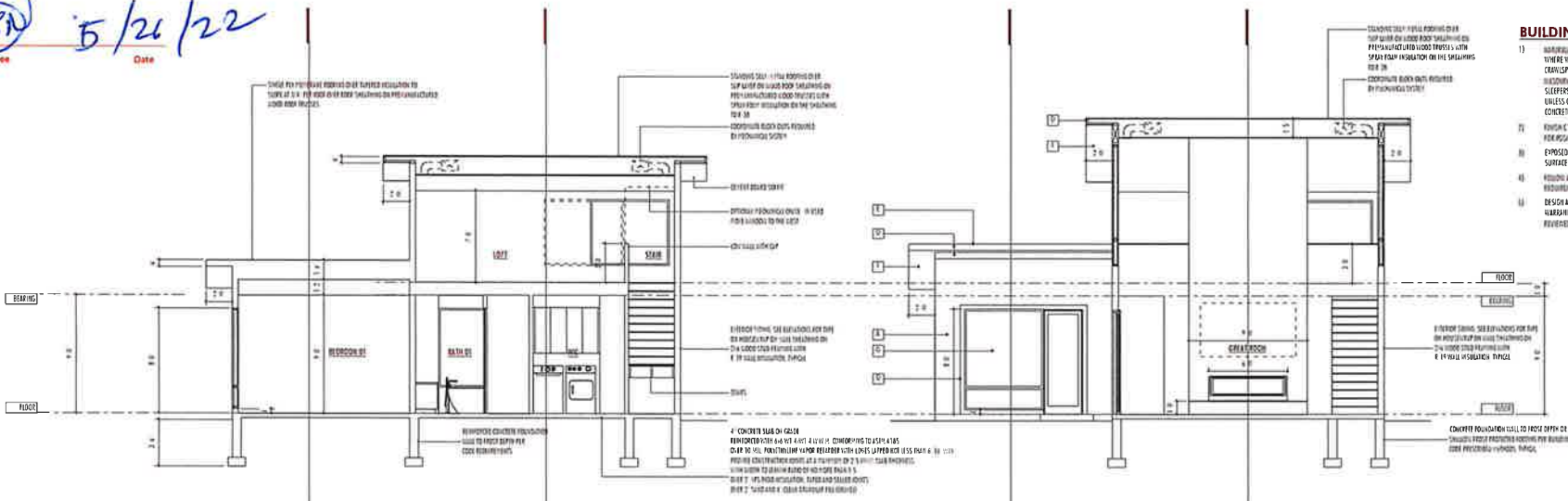
12.16.2021
CONSTRUCTION DOCUMENTS

BUILDING SECTION

A301

EGLE-WRD
WRP033533 v1.0
Approved
Issued On: 06/03/2022
Expires On: 06/03/2027

5/26/22
 Permittee Date



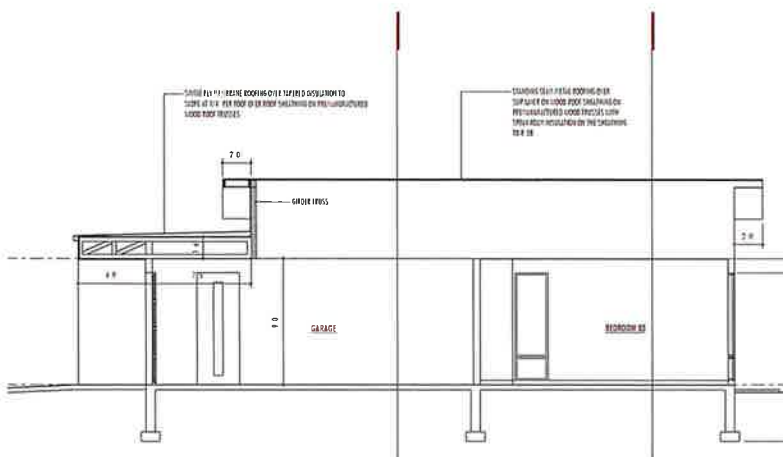
05 BUILDING SECTION 1/4" = 1'

- BUILDING SECTION GENERAL NOTES:**
- 1) MATERIALS SHOWN OR PRESUMED TO BE USED IN ACCORDANCE WITH THE BUILDING CODE. THE CONTRACTOR SHALL VERIFY THE QUALITY OF ALL MATERIALS AND METHODS OF CONSTRUCTION.
 - 2) FINISHES TO BE AS SHOWN OR PRESUMED TO BE USED IN ACCORDANCE WITH THE BUILDING CODE. THE CONTRACTOR SHALL VERIFY THE QUALITY OF ALL MATERIALS AND METHODS OF CONSTRUCTION.
 - 3) EXPOSED VENTS, VENT STACKS, FLUES, EXHAUSTS, ETC. TO MATCH COLOR OF MATERIAL OR SURFACE BEING PENETRATED.
 - 4) FINISHES AND MATERIALS SHOWN OR PRESUMED TO BE USED IN ACCORDANCE WITH THE BUILDING CODE. THE CONTRACTOR SHALL VERIFY THE QUALITY OF ALL MATERIALS AND METHODS OF CONSTRUCTION.
 - 5) DESIGN AND DETAILS SUGGESTED IN DRAWINGS ARE NOT INTENDED TO VOID ANY WARRANTIES. CONFLICTS BETWEEN DESIGN AND WARRANTY CONDITIONS SHALL BE RESOLVED WITH THE PROVIDER OF INSTALLATION.

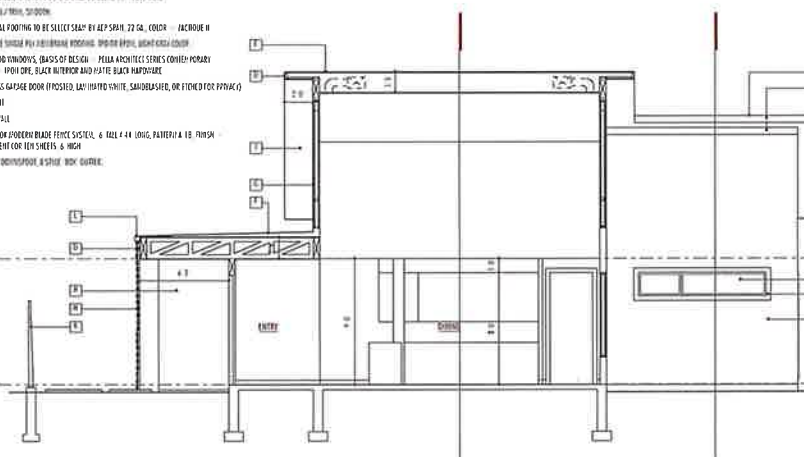


06 BUILDING SECTION 1/4" = 1'

- MATERIAL NOTES:**
- 01 CEILING BOARD LAMINATION SYSTEM
 - 02 VERTICAL WOOD SHINGLES - PLYWOOD UNDERLAYER, GEOTEK - WHITE GRAY FINISH
 - 03 SYPHON VENTING, BURNING SYSTEM FLOOR DRAINAGE DRAINAGE BLEND BY 1" ROOFING
 - 04 CEILING BOARD FINISHES: 1/2" x 4" x 8" x 12"
 - 05 STAIRING SELF-HEALING FLOORING TO BE SELECTED BY ARCHITECT, 22 GA. COOL - FACIUM II
 - 06 FLOOR FINISHES TO BE SELECTED BY ARCHITECT, 22 GA. COOL - FACIUM II
 - 07 WOODS, CLAD WOOD FINISHES, BASIS OF DESIGN - PELLA ARCHITECT SERIES COMBI-POUR WOODS, COLOR - 1/2" x 4" x 8" x 12"
 - 08 ALUMINUM AND GLASS GARAGE DOOR (IF POSTED, LAMINATED WHITE, SANDBLASTED, OR FINISH FOR PPAV) 1/2" x 4" x 8" x 12"
 - 09 CEILING BOARD FINISHES
 - 10 GARBOR RETAINING WALL
 - 11 FLOOR FINISHES: BOW POWER BLADE FENCE SYSTEM, 6" TALL 4" LONG, PATTERIA 1.8 FINISH FOR FLOOR OR EQUIVALENT FOR 1/2" x 4" x 8" x 12"
 - 12 REFRIGERATOR / DISHWASHER & SINK - 1/2" x 4" x 8" x 12"
 - 13 FLOOR FINISHES



03 BUILDING SECTION 1/4" = 1'



04 BUILDING SECTION 1/4" = 1'



McCUMBY RESIDENCE
 LOT 5, SUGAR HILL DEVELOPMENT
 SAUGATECK, MI 49453

12.16.2021
 CONSTRUCTION DOCUMENTS

BUILDING SECTION

A302

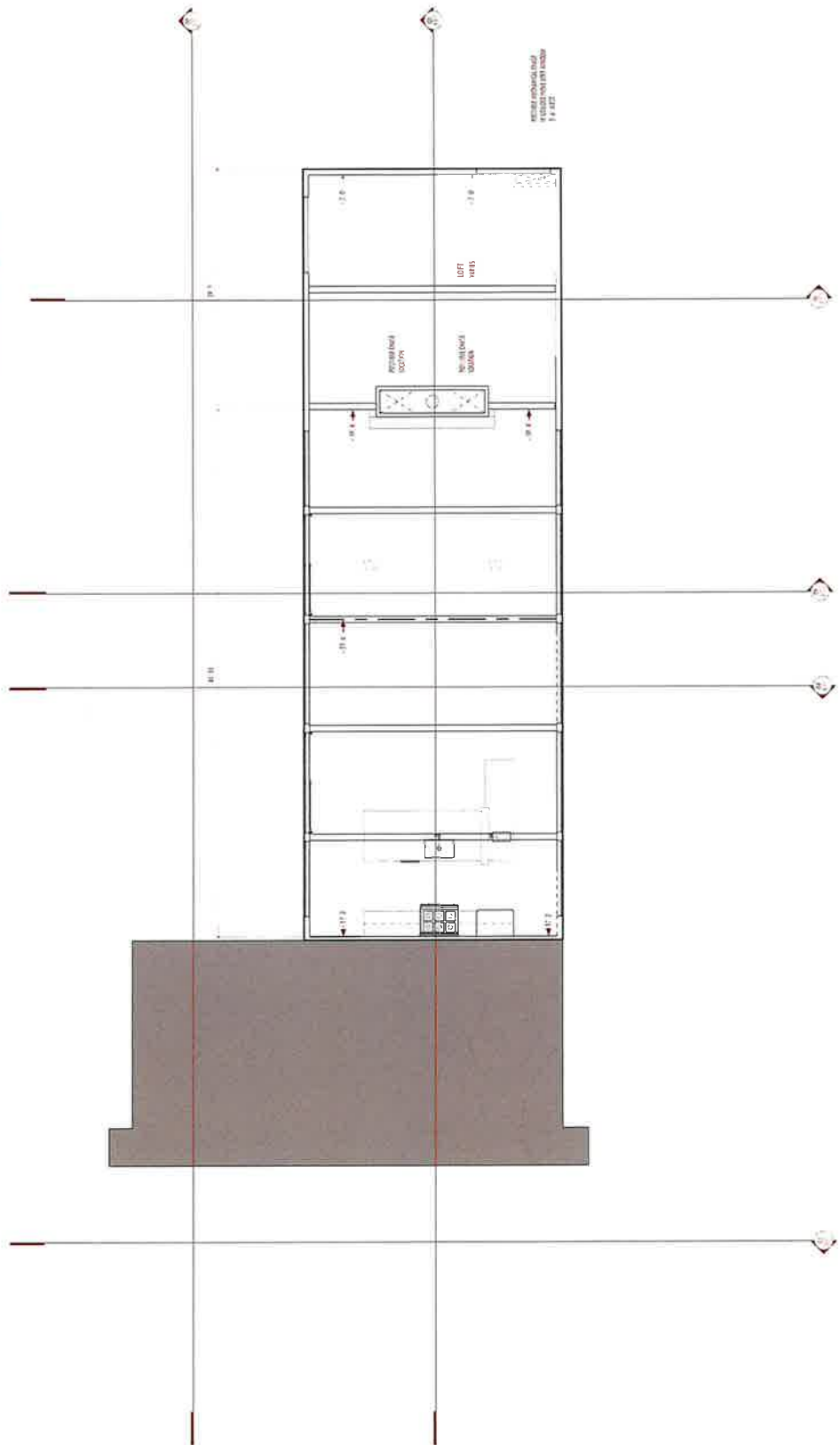
EGLE-WRD
 WRP033533 v1.0
 Approved
 Issued On: 06/03/2022
 Expires On: 06/03/2027

Permittee
 310

5/26/22
 Date

CEILING PLAN GENERAL NOTES:

- 01 REFER TO INTERIOR FINISH SCHEDULE FOR FLOOR FINISHES, INTERIOR WALLS, INTERIOR CEILING, EXTERIOR CEILING, PARTITIONS, TRIM, AND DOORS, AND TO FINISH SCHEDULE FOR FINISHES, INTERIOR WALLS, INTERIOR CEILING, EXTERIOR CEILING, PARTITIONS, TRIM, AND DOORS.
- 02 ALL INTERIORS ARE TO BE FINISHED TO THE FINISHES LISTED IN THE SCHEDULES UNLESS OTHERWISE NOTED.
- 03 FINISHES ARE TO BE APPLIED TO ALL SURFACES UNLESS OTHERWISE NOTED.
- 04 FINISHES ARE TO BE APPLIED TO ALL SURFACES UNLESS OTHERWISE NOTED.
- 05 FINISHES ARE TO BE APPLIED TO ALL SURFACES UNLESS OTHERWISE NOTED.
- 06 FINISHES ARE TO BE APPLIED TO ALL SURFACES UNLESS OTHERWISE NOTED.
- 07 FINISHES ARE TO BE APPLIED TO ALL SURFACES UNLESS OTHERWISE NOTED.
- 08 FINISHES ARE TO BE APPLIED TO ALL SURFACES UNLESS OTHERWISE NOTED.
- 09 FINISHES ARE TO BE APPLIED TO ALL SURFACES UNLESS OTHERWISE NOTED.
- 10 FINISHES ARE TO BE APPLIED TO ALL SURFACES UNLESS OTHERWISE NOTED.
- 11 FINISHES ARE TO BE APPLIED TO ALL SURFACES UNLESS OTHERWISE NOTED.
- 12 FINISHES ARE TO BE APPLIED TO ALL SURFACES UNLESS OTHERWISE NOTED.
- 13 FINISHES ARE TO BE APPLIED TO ALL SURFACES UNLESS OTHERWISE NOTED.
- 14 FINISHES ARE TO BE APPLIED TO ALL SURFACES UNLESS OTHERWISE NOTED.
- 15 FINISHES ARE TO BE APPLIED TO ALL SURFACES UNLESS OTHERWISE NOTED.
- 16 FINISHES ARE TO BE APPLIED TO ALL SURFACES UNLESS OTHERWISE NOTED.
- 17 FINISHES ARE TO BE APPLIED TO ALL SURFACES UNLESS OTHERWISE NOTED.
- 18 FINISHES ARE TO BE APPLIED TO ALL SURFACES UNLESS OTHERWISE NOTED.
- 19 FINISHES ARE TO BE APPLIED TO ALL SURFACES UNLESS OTHERWISE NOTED.
- 20 FINISHES ARE TO BE APPLIED TO ALL SURFACES UNLESS OTHERWISE NOTED.
- 21 FINISHES ARE TO BE APPLIED TO ALL SURFACES UNLESS OTHERWISE NOTED.
- 22 FINISHES ARE TO BE APPLIED TO ALL SURFACES UNLESS OTHERWISE NOTED.
- 23 FINISHES ARE TO BE APPLIED TO ALL SURFACES UNLESS OTHERWISE NOTED.
- 24 FINISHES ARE TO BE APPLIED TO ALL SURFACES UNLESS OTHERWISE NOTED.
- 25 FINISHES ARE TO BE APPLIED TO ALL SURFACES UNLESS OTHERWISE NOTED.
- 26 FINISHES ARE TO BE APPLIED TO ALL SURFACES UNLESS OTHERWISE NOTED.
- 27 FINISHES ARE TO BE APPLIED TO ALL SURFACES UNLESS OTHERWISE NOTED.
- 28 FINISHES ARE TO BE APPLIED TO ALL SURFACES UNLESS OTHERWISE NOTED.
- 29 FINISHES ARE TO BE APPLIED TO ALL SURFACES UNLESS OTHERWISE NOTED.
- 30 FINISHES ARE TO BE APPLIED TO ALL SURFACES UNLESS OTHERWISE NOTED.



01 LOFT LEVEL CEILING PLAN (see page 19)



**McCUMBY
 RESIDENCE**
 LOT 5, SUGAR HILL DEVELOPMENT
 SUBDIVISION, LOT 49453
 12.16.2021
 CONSTRUCTION DOCUMENTS

**LOFT LEVEL
 CEILING PLAN**
A402



**MICHIGAN DEPARTMENT OF ENVIRONMENT, GREAT LAKES, AND ENERGY
WATER RESOURCES DIVISION
PERMIT**

Issued To:

**Bjorn & Carla Hansen
7199 River Glen Drive SE
Caledonia, Michigan 49316**

**Permit No: WRP036150 v1.0
Submission No: HPN-7JGP-EFY6C
Site Name: 03-Vine Street Cottages Lot 6-Saugatuck
Issued: March 10, 2023
Revised:
Expires: March 10, 2028**

This permit is being issued by the Michigan Department of Environment, Great Lakes, and Energy (EGLE), Water Resources Division, under the provisions of the Natural Resources and Environmental Protection Act, 1994 PA 451, as amended (NREPA); specifically:

Part 353, Sand Dunes Protection and Management

EGLE certifies that the activities authorized under this permit are in compliance with the State Coastal Zone Management Program and certifies without conditions under the Federal Clean Water Act, Section 401 that the discharge from the activities authorized under this permit will comply with Michigan's water quality requirements in Part 31, Water Resources Protection, of the NREPA and associated administrative rules, where applicable.

Permission is hereby granted, based on permittee assurance of adherence to State of Michigan requirements and permit conditions, to:

Authorized Activity:

Construct a new single-family residential home with an attached garage that will be supported by a combination of basement and slab-on-grade foundations. The new home will be located on approximately 540 cubic yards of clean imported fill to level the site. Additional work will include a large concrete patio and pool, approximately 132 linear feet of retaining walls, a new driveway, storm water collection and disposal systems, temporary slope protection and shoring (as needed), landscaping around the new house with native plants and connections to public and private utilities. The foundation footprint of the new house will be approximately 2,064 square feet in size and that of the attached garage will add approximately 681 square feet to that footprint. Restore all areas disturbed by the construction of the house, garage, retaining walls, driveway, parking area, and supporting structures with native dune vegetation per the submitted and attached vegetation assurance.

All work shall be completed in accordance with the attached plans approved by EGLE on March 10, 2023, and the permit specifications listed herein.

Waterbody Affected: Lake Michigan / Kalamazoo River
Property Location: Allegan County, City of Saugatuck, Town/Range/Section: 03N16W09;
Property Tax No: 03-57-009-051-10

Authority granted by this permit is subject to the following limitations:

- A. Initiation of any work on the permitted project confirms the permittee's acceptance and agreement to comply with all terms and conditions of this permit.
- B. The permittee, in exercising the authority granted by this permit, shall not cause unlawful pollution as defined by Part 31 of the NREPA.
- C. This permit shall be kept at the site of the work and available for inspection at all times during the duration of the project or until its date of expiration.
- D. All work shall be completed in accordance with the approved plans and specifications submitted with the application and/or plans and specifications attached to this permit.
- E. No attempt shall be made by the permittee to forbid the full and free use by the public of public waters at or adjacent to the structure or work approved.
- F. It is made a requirement of this permit that the permittee give notice to public utilities in accordance with 2013 PA 174 (Act 174) and comply with each of the requirements of Act 174.
- G. This permit does not convey property rights in either real estate or material, nor does it authorize any injury to private property or invasion of public or private rights, nor does it waive the necessity of seeking federal assent, all local permits, or complying with other state statutes.
- H. This permit does not prejudice or limit the right of a riparian owner or other person to institute proceedings in any circuit court of this state when necessary to protect his rights.
- I. Permittee shall notify EGLE within one week after the completion of the activity authorized by this permit by completing and forwarding the attached preaddressed postcard to the office addressed thereon.
- J. This permit shall not be assigned or transferred without the written approval of EGLE.
- K. Failure to comply with conditions of this permit may subject the permittee to revocation of permit and criminal and/or civil action as cited by the specific state act, federal act, and/or rule under which this permit is granted.
- L. All dredged or excavated materials shall be disposed of in an upland site (outside of floodplains, unless exempt under Part 31 of the NREPA, and wetlands).
- M. In issuing this permit, EGLE has relied on the information and data that the permittee has provided in connection with the submitted application for permit. If, subsequent to the issuance of a permit, such information and data prove to be false, incomplete, or inaccurate, EGLE may modify, revoke, or suspend the permit, in whole or in part, in accordance with the new information.
- N. The permittee shall indemnify and hold harmless the State of Michigan and its departments, agencies, officials, employees, agents, and representatives for any and all claims or causes of action arising from acts or omissions of the permittee, or employees, agents, or representative of the permittee, undertaken in connection with this permit. The permittee's obligation to indemnify the State of Michigan applies only if the state: (1) provides the permittee or its designated representative written notice of the claim or cause of action within 30 days after it is received by the state, and (2) consents to the permittee's participation in the proceeding on the claim or cause of action. It does not apply to contested case proceedings under the Administrative Procedures Act, 1969 PA 306, as amended, challenging the permit. This permit shall not be construed as an indemnity by the State of Michigan for the benefit of the permittee or any other person.
- O. Noncompliance with these terms and conditions and/or the initiation of other regulated activities not specifically authorized shall be cause for the modification, suspension, or revocation of this

permit, in whole or in part. Further, EGLE may initiate criminal and/or civil proceedings as may be deemed necessary to correct project deficiencies, protect natural resource values, and secure compliance with statutes.

- P. If any change or deviation from the permitted activity becomes necessary, the permittee shall request, in writing, a revision of the permitted activity from EGLE. Such revision request shall include complete documentation supporting the modification and revised plans detailing the proposed modification. Proposed modifications must be approved, in writing, by EGLE prior to being implemented.
- Q. This permit may be transferred to another person upon written approval of EGLE. The permittee must submit a written request to EGLE to transfer the permit to the new owner. The new owner must also submit a written request to EGLE to accept transfer. The new owner must agree, in writing, to accept all conditions of the permit. A single letter signed by both parties that includes all the above information may be provided to EGLE. EGLE will review the request and, if approved, will provide written notification to the new owner.
- R. Prior to initiating permitted construction, the permittee is required to provide a copy of the permit to the contractor(s) for review. The property owner, contractor(s), and any agent involved in exercising the permit are held responsible to ensure that the project is constructed in accordance with all drawings and specifications. The contractor is required to provide a copy of the permit to all subcontractors doing work authorized by the permit.
- S. Construction must be undertaken and completed during the dry period of the wetland. If the area does not dry out, construction shall be done on equipment mats to prevent compaction of the soil.
- T. Authority granted by this permit does not waive permit requirements under Part 91, Soil Erosion and Sedimentation Control, of the NREPA, or the need to acquire applicable permits from the County Enforcing Agent (CEA).
- U. Authority granted by this permit does not waive permit requirements under the authority of Part 305, Natural Rivers, of the NREPA. A Natural Rivers Zoning Permit may be required for construction, land alteration, streambank stabilization, or vegetation removal along or near a natural river.
- V. The permittee is cautioned that grade changes resulting in increased runoff onto adjacent property is subject to civil damage litigation.
- W. Unless specifically stated in this permit, construction pads, haul roads, temporary structures, or other structural appurtenances to be placed in a wetland or on bottomland of the water body are not authorized and shall not be constructed unless authorized by a separate permit or permit revision granted in accordance with the applicable law.
- X. For projects with potential impacts to fish spawning or migration, no work shall occur within fish spawning or migration timelines (i.e., windows) unless otherwise approved in writing by the Michigan Department of Natural Resources, Fisheries Division.
- Y. Work to be done under authority of this permit is further subject to the following special instructions and specifications:
1. Authority granted by this permit does not waive permit or program requirements under Part 91 of the NREPA or the need to acquire applicable permits from the CEA. To locate the Soil Erosion Program Administrator for your county, visit: [Soil Erosion and Sedimentation Control Program \(SESC\) \(michigan.gov\)](https://www.michigan.gov/soil-erosion-and-sedimentation-control) and select "Soil Erosion and Sedimentation Control Agencies".
 2. The authority to conduct the activity as authorized by this permit is granted solely under the provisions of the governing act as identified above. This permit does not convey, provide, or otherwise imply approval of any other governing act, ordinance, or regulation, nor does it waive

the permittee's obligation to acquire any local, county, state, or federal approval or authorization necessary to conduct the activity.

3. No fill, excess soil, or other material shall be placed in any wetland, floodplain, or surface water area not specifically authorized by this permit, its plans, and specifications.
4. This permit does not authorize or sanction work that has been completed in violation of applicable federal, state, or local statutes.
5. The permit placard shall be kept posted at the work site in a prominent location at all times for the duration of the project or until permit expiration.
6. This permit is being issued for the maximum time allowed and no extensions of this permit will be granted. Initiation of the construction work authorized by this permit indicates the permittee's acceptance of this condition. The permit, when signed by EGLE, will be for a five-year period beginning on the date of issuance. If the project is not completed by the expiration date, a new permit must be sought.
7. Prior to initiation of construction, a preconstruction meeting shall be held with the contractor, permittee or her/his representative(s), and representatives of EGLE. Contact: John Bayha at BayhaJ@michigan.gov; 269-568-2680.
8. The tree pest, hemlock woolly adelgid (HWA), is known to infest hemlock and tiger-tail spruce trees in this county. The Michigan Department of Agriculture and Rural Development (MDARD) has issued a quarantine on the movement of all branches, boughs, any tree part bearing twigs and needles and uncomposted, chipped/shredded/ground parts that include twigs and needles. Issuance of this permit does not obviate the need to obtain approval to move hemlock and tiger-tail spruce parts off the project site prior to commencement of construction activity as stated in the quarantine effective on September 10, 2020, by authority of Public Act 72 of 1945, as amended, for Allegan, Ottawa, Muskegon, Oceana and Mason counties. Contact Mr. Robert Miller, MDARD Invasive Species Prevention and Response Specialist, MillerR35@Michigan.gov or 517-614-0454. For more information about HWA visit the HWA webpage at Michigan.gov/Invasives.
9. Oak wilt, a non-native tree killing fungus, is known to infect oak trees in this county. Damage to the trees from construction, such as cut or broken branches, during the growing season may result in the tree becoming infected and dying shortly thereafter. If possible, do not cut or trim oak trees during the growing season, especially April 15 through July 15. Open cuts on damaged trees should be immediately painted with pruning sealer or tree paint. Contact the local Cooperative Invasive Species Management Area (CISMA) staff for more information, info@MichiganInvasives.org or www.MichiganInvasives.org.
10. The permittee is responsible for acquiring all necessary easements or rights of way before commencing any work authorized by this permit. All construction operations relating to, or part of this project shall be confined to the existing right-of-way limits or other acquired easements.
11. Prior to the initiation of any permitted construction activities, a sedimentation barrier shall be constructed immediately down gradient of the construction site. Sedimentation barriers shall

be specifically designed to handle the sediment type, load, water depth, and flow conditions of each construction site throughout the anticipated time of construction and unstable site conditions. The sedimentation barrier shall be maintained in good working order throughout the duration of the project. Upon project completion, the accumulated materials shall be removed and disposed of at an upland (non-wetland, non-floodplain) site and stabilized with seed and mulch. The sedimentation barrier shall then be removed in its entirety and the area restored to its original configuration and cover.

12. All slopes steeper than one on three (33%) must not be disturbed under any circumstances.
13. All earth moving and contour changes must occur within **five (5) feet** of the limits of the proposed structures as depicted on the attached project drawings.
14. Vegetation changes are not permitted more than **ten (10) feet** outside of the project footprint. All disturbed areas shall be re-vegetated with native dune vegetation and stabilized with temporary measures before or upon commencement of the permitted activity and maintained until permanent measures are in place. The removal and re-establishment of vegetation must be in accordance with the submitted and attached vegetation assurance.
15. Restore all areas disturbed by the construction of the house and supporting structures, by planting native species as described in the submitted vegetation assurance. This will include the planting of new native tree specimens to replace all live trees over a diameter at breast height (DBH) of 3 inches removed as part of this project. The number of replacement trees and their size shall be as described in the revegetation and replanting required in permit WRP023252.
16. The transport of building materials/excavated sand and access to and from the site shall be via the newly permitted driveway and the existing private roadway.
17. A separate temporary driveway or access road is not permitted for construction activities.
18. Impacting the dunes is not permitted outside of the approved disturbance area including activities such as driving machinery on any slopes steeper than one-on-three (33%), or storing (permanently or temporarily) machinery, soil, materials, equipment, or removed vegetation, on any slopes steeper than one-on-four (25%).
19. The construction of porches, decks, landscaping (with the exception of planting native dune vegetation), on-grade walkways, on-grade stairways, and retaining walls which also includes the placement of boulders, are considered uses, and not permitted unless specified in the permit conditions.
20. The underground utility lines must be placed in areas with slopes less than one on four or the lines must be installed using the directional bore method or by hand digging. If the directional bore method is utilized, the bore pits must be located in areas with slopes less than one on four. The disturbed areas must be stabilized and repaired with temporary measures before or upon commencement of the permitted activity and shall be maintained until permanent measures are in place. Trenching areas with slopes steeper than one on four is not permitted.
21. All excess woody debris, concrete, building materials, or other types of soil must be deposited off site, outside of the Critical Dunes Area.
22. Only clean sand shall be placed in areas depicted on the site plan. Where mature trees are present, sand shall not be placed greater than 2 inches deep. Where shrubs are present, sand

shall not be placed greater 3 inches deep. In areas of open sand or dune grass, sand shall not be placed greater than 18 inches deep.

Upon signing by the permittee named herein, this permit must be returned to EGLE's Water Resources Division, Kalamazoo District Office, 7953 Adobe Road, Kalamazoo, MI 49009 for final execution. This permit shall become effective on the date of the EGLE representative's signature.

Permittee hereby accepts and agrees to comply with the terms and conditions of this permit.

X Carla Hansen
Bjorn Hansen 3-9-2023
Permittee Date

X Carla Hansen
Bjorn Hansen
Printed Name and Title of Permittee

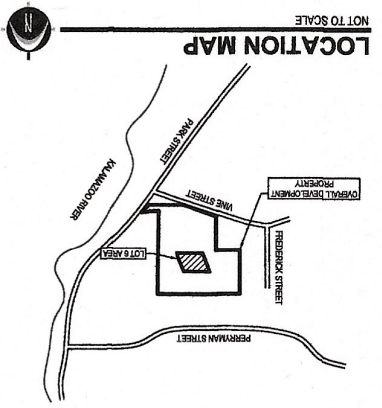
Issued By: John Bayha
John Bayha, P.E.
District Engineer
Kalamazoo District Office
Water Resources Division
BayhaJ@michigan.gov
269-568-2680

cc: City of Saugatuck Clerk
Allegan County SESC Agent
Brad Rottschafer, Owner
John Vigna, Agent

SHEET INDEX

- 1 SITE LOCATION MAP - OVERALL
- 2 EXISTING CONDITIONS MAP - LOT DETAIL
- 3 PROPOSED SITE PLAN
- 4 CROSS-SECTION A'
- 5 CROSS-SECTION B'
- 6 CROSS-SECTION C'

VINE STREET COTTAGES
 Permit Application Sketches for
(LOT 6)



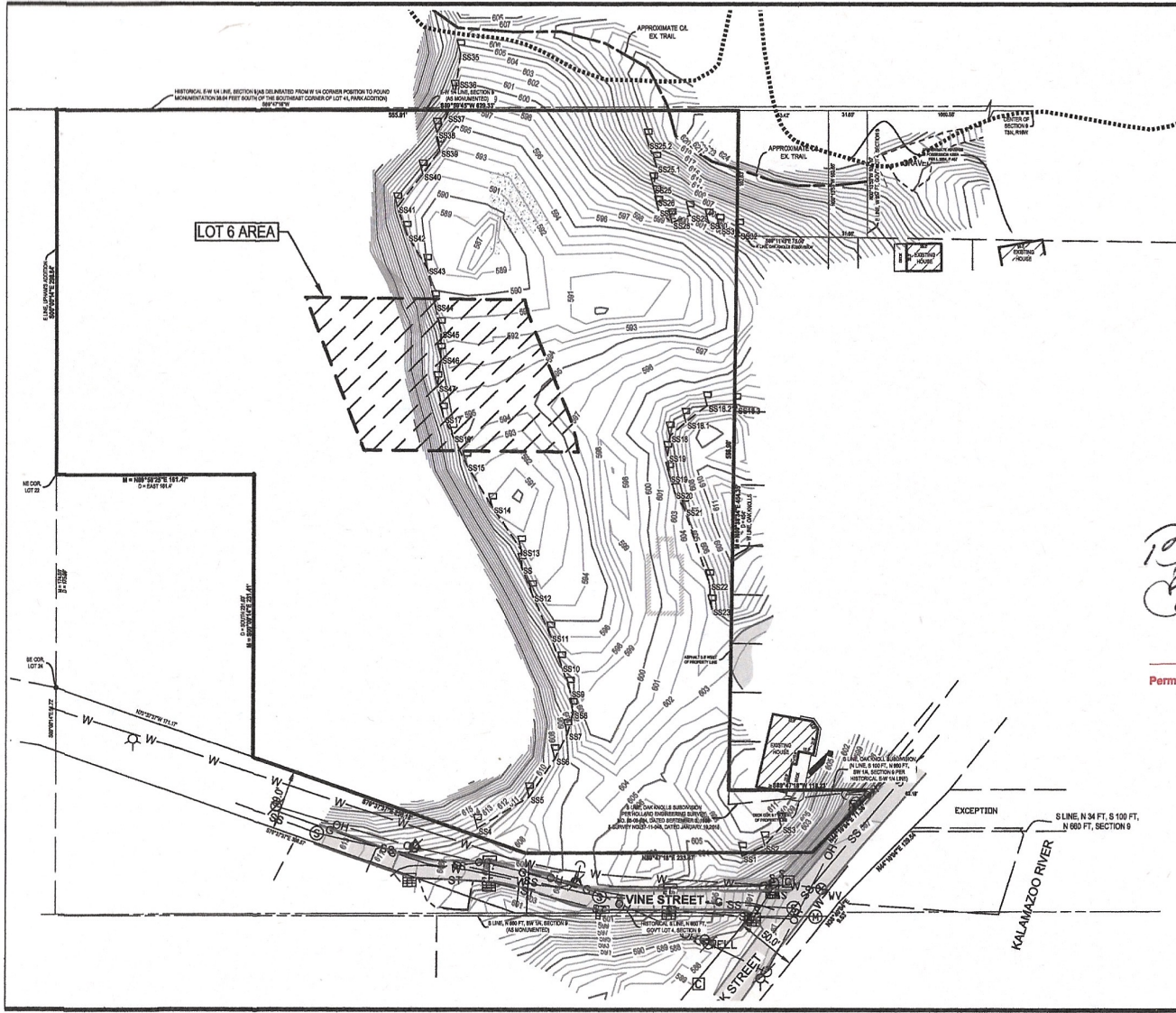
Vine Street Cottages
 (Lot 6)
 Site Location Map

SAUGATUCK ALLEGAN COUNTY, MI
 PLU NO: 16201022
 S. DATE: 02.20.23
 DRAWN BY: BEN
 CHECKED BY: JB
 1 OF 7

Grand Rapids
 217 Grand Rapids Ave., Suite 302
 Grand Rapids, MI 49503
 www.neederfeld.com • 602.222.1000
NEEDERFELD



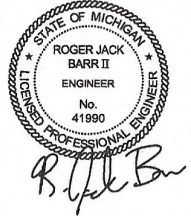
R. Barr
 Date: 3-9-23
 Permittee: *Calabro*



LEGEND

- △ Benchmark
- ▣ Catch Basin - Square
- Guy Anchor
- ⊙ Manhole
- ^S Sign
- ⊙^S Sanitary Sewer Manhole
- ⊙^U Utility Pole
- ⊙^S_{GAS} Underground Gas Marker
- ⊙^W WELL Water Well
- OH Overhead Utility
- SS Sanitary
- ST Storm
- ▭ Asphalt
- ▨ Concrete
- ▩ Building

Roger Jack Barr II
Capatibus
 3-9-23
 Permittee Date



SCALE: 1" = 80' 0' 40' 80'

Vine Street Cottages (Lot 6)

Existing Conditions Map - Overall

SAUGATUCK, ALLEGAN COUNTY, MI

DRAWN BY: BEM	V. DATE: 02.20.23	PRJ NO: 16201802
CHECKED BY: JB	S. DATE: 02.20.23	2 OF 7

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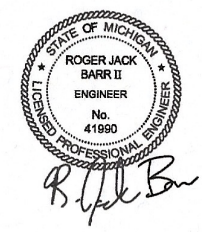
EGLE
 WRP036150 V1.0
 Approved
 Issued On: 03/10/2023
 Expires On: 03/10/2028



LEGEND

- Benchmark
- Catch Basin - Square
- Guy Anchor
- Iron - Found
- Underground Gas Marker
- Overhead Utility
- Sanitary
- Storm
- Asphalt
- Building
- Existing Grade Contour
- Critical Dune Steep Slope (33%) Boundary as determined by King & MacGregor

Robert J. Barr II
Carl A. Hous
 3-9-23
 Permittee Date



SCALE: 1" = 20' 0' 10' 20' NORTH

Vine Street Cottages (Lot 6)

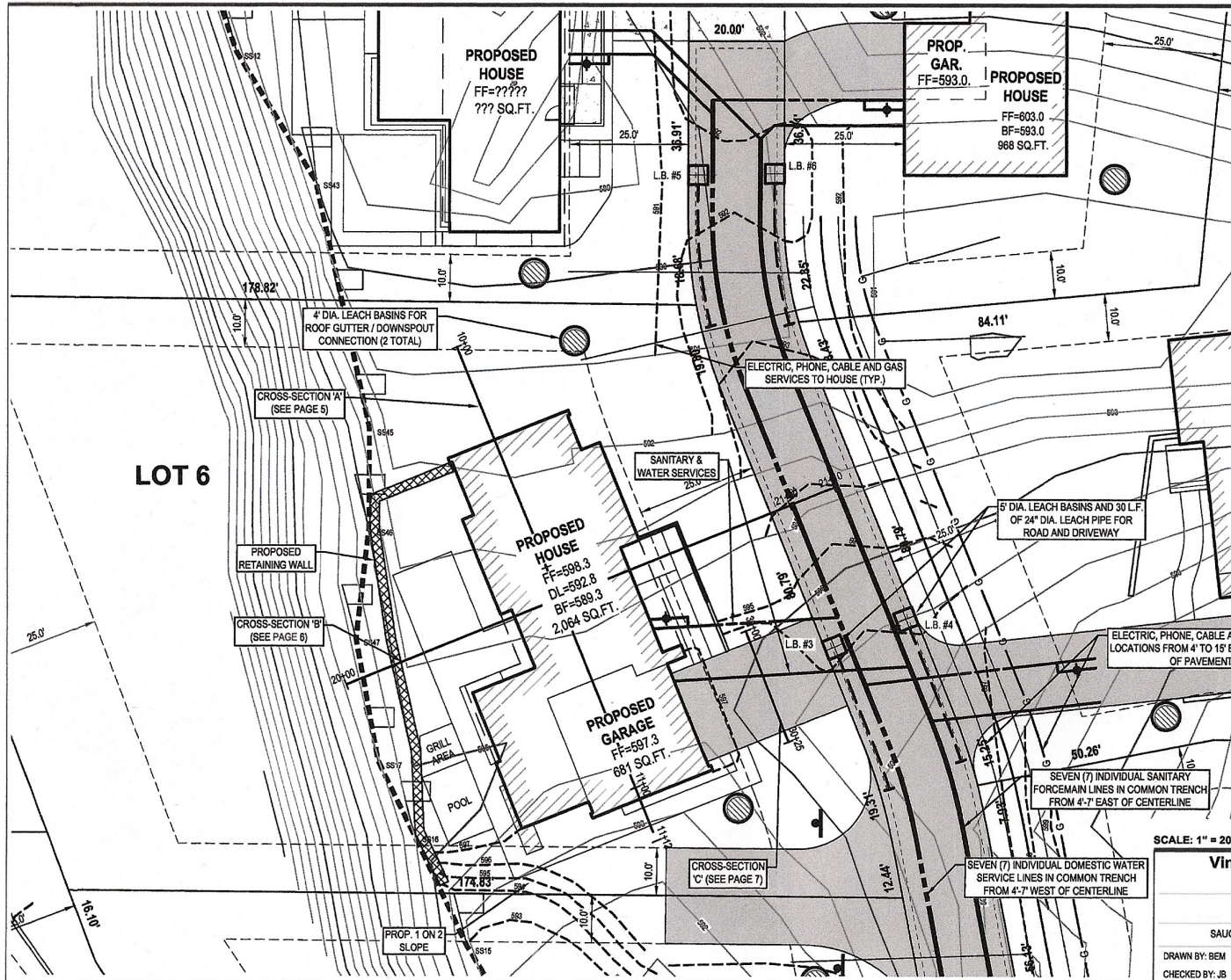
Existing Conditions Map - Lot Detail

SAUGATUCK, ALLEGAN COUNTY, MI

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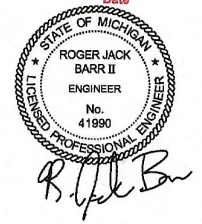


- LEGEND**
- EX. BITUMINOUS
 - PROPOSED BITUMINOUS
 - PROPOSED CONCRETE
 - CRITICAL DUNE STEEP SLOPE (33%) BOUNDARY AS DETERMINED BY KING & MACGREGOR
 - EX. GRADE CONTOUR
 - PROP. GRADE CONTOUR
 - PROPOSED 4" DIA. STORM LEACH BASIN FOR HOUSE ROOF WITH CONNECTION

R. Jack Barr II
Cal. Hansen

3-9-23

Permittee _____ Date _____



SCALE: 1" = 20'

Vine Street Cottages (Lot 6)

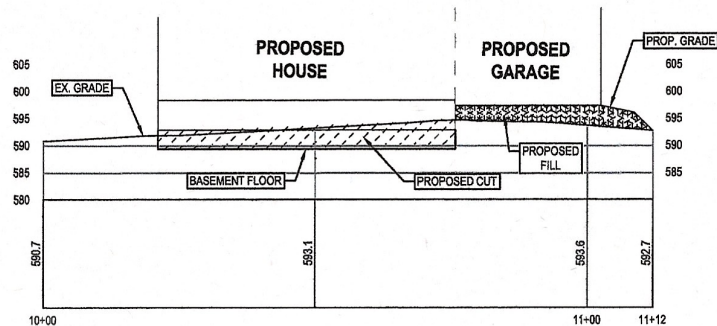
Proposed Site Plan

SAUGATUCK, ALLEGAN COUNTY, MI

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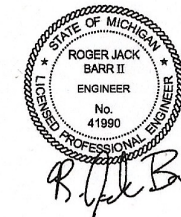
DRAWN BY: BEM V. DATE: 02.20.23 PRJ NO: 16201802
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B. J. Barr II
Carl Houser
 3-9-23

Permittee Date



SCALE: 1" = 20' 0' 10' 20' NORTH

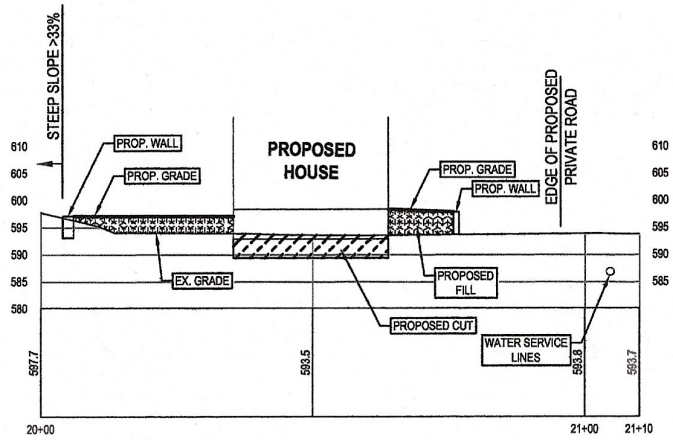
Vine Street Cottages (Lot 6)
 Cross-Section 'A'
 SAUGATUCK, ALLEGAN COUNTY, MI

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EGLE



B. J. Barr
Calata
 3-9-23
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SCALE: 1" = 20' 0' 10' 20'

Vine Street Cottages (Lot 6)

Cross-Section 'B'

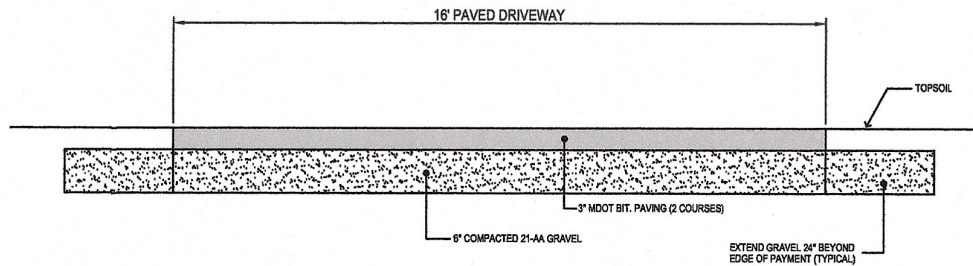
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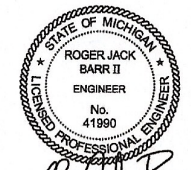
NORTH

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 Expires On: 03/10/2028



R. Jack Barr II
 CaDabauer
 3-9-23

Permittee Date



R. Jack Barr

TYPICAL 16' WIDE BITUMINOUS DRIVEWAY

N.T.S.

NO SCALE

Vine Street Cottages (Lot 6)

Cross-Section 'C'

SAUGATUCK, ALLEGAN COUNTY, MI

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NORTH

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 Expires On: 03/10/2028

Sugar Hill – Lot 6

Vegetation Removal Assurance

Site Description

The subject parcel is in a forested dune area. The overall Sugar Hill development is dominated by sassafras, maple and oak trees. The east half of the Lot 6 is relatively flat with a steep, dune slope rising near the middle of the parcel.

Proposed Development

The applicant proposes to construct a new, single-family residence on the subject parcel. The grading/disturbance area will be cleared to facilitate this activity. There are approximately 21 trees within the proposed grading area outside of the clearing limits for road construction. The attached figure shows tree locations, proposed site disturbance and tree-removal tally.

Seasonal issues

Oaks pruned or disturbed between April 15 and July 15 are susceptible to oak wilt.

Special Considerations

Japanese Barberry Management

Due to the extensive Japanese barberry (*Berberis thunbergii*) population on the subject property, removal and/or treatment of barberry plants is being required by the Michigan Department of Environment, Great Lake and Energy to help prevent recolonization following site construction activities. Removal of individuals from any disturbed areas will reduce the opportunity for recolonization of existing rooted plants.

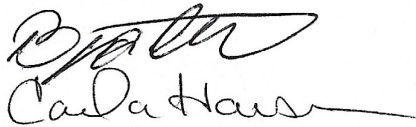
Proposed Management Activities:

- Prior to site disturbance, apply herbicide to kill barberry plants prior to site disturbance.
- If site disturbance occurs before spraying or die-off does not occur prior to site disturbance, remove grubbed root masses from the site following initial site clearing activities to prevent resprouting of barberry shrubs.

Site Stabilization Activities

Erosion control fencing will be installed at the base of the dune slope and around the perimeter of project disturbance in accordance with SESC permit requirements.

To help prevent oak wilt, effort will be made to prevent disturbance to oak trees at the edge of the development area.


Chad Haus
3-9-23

Permittee

Date

February 15, 2023

Page 1 of 2

Sugar Hill – Lot 6
Vegetation Removal Assurance

Proposed Revegetation of the Site

Following completion of construction activities, the exposed soils will be stabilized and revegetated with native plants and dune grass. If mulch blankets are needed, weed-free blankets will be used.

The attached list will be used as guidance for all replanting and site stabilization activities on the subject site.


Carla Hansen

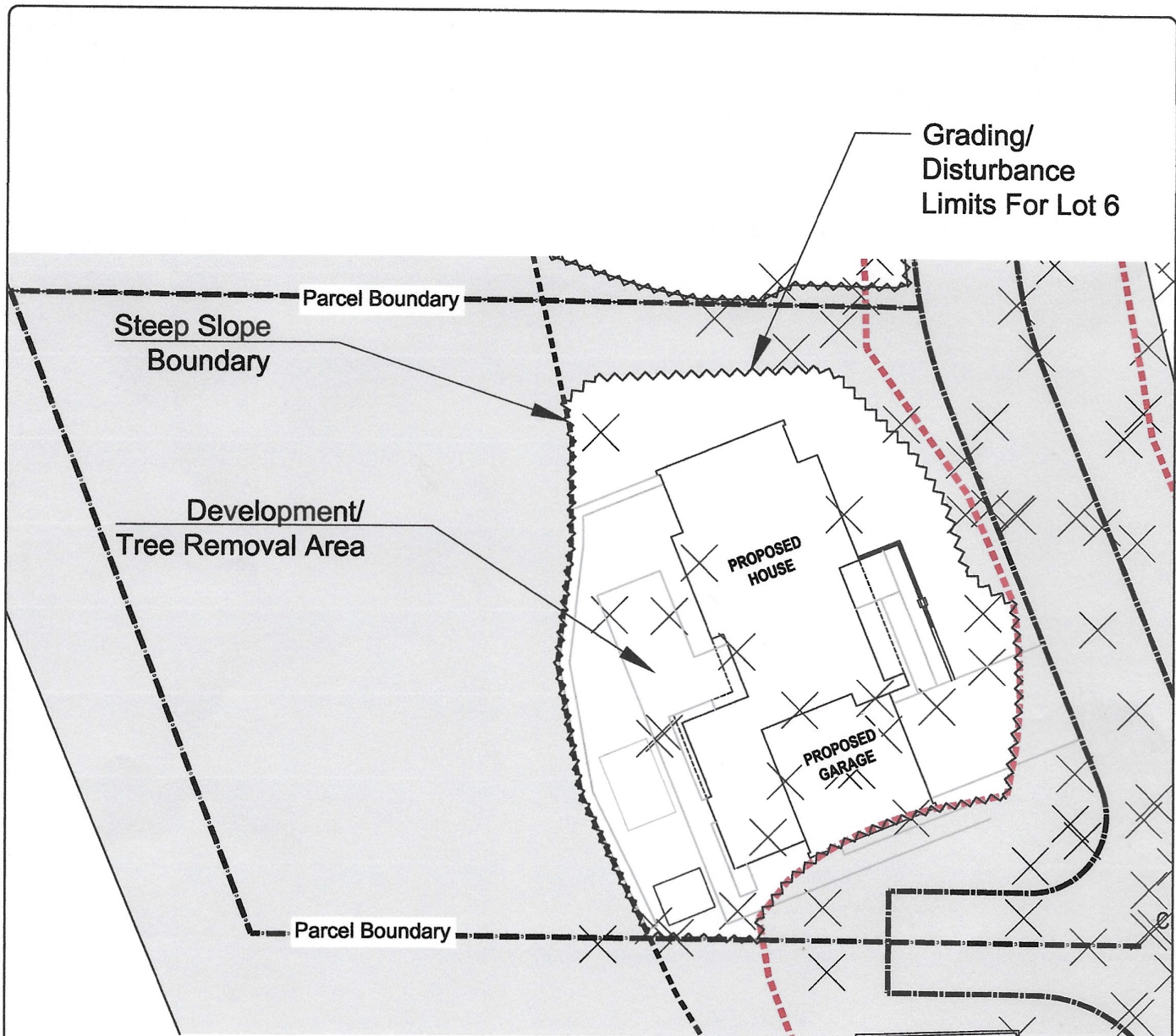
8-9-23

Permittee

Date

February 15, 2023

Page 2 of 2



Byzantine
Calabrese
 3-9-23
 Permittee Date

✕ Existing Trees (approximately 21 trees to be removed on Lot 6)



Tree Survey For:

Sugar Hill Lot #6

City of Saugatuck

Allegan County, Michigan

3 of 5

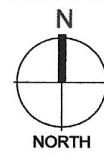


Figure
1

Tree
Survey

PROJECT NUMBER
22031063

EGLE
 WRP036150 v1.0
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 Issued On: 03/10/2023
 Expires On: 03/10/2028



List of Common Native (Indigenous) Plants of Michigan Sand Dunes*

This is a list of some of the many native plant species found in sand dune communities. The plant list is organized by the proximity to the lake where the plant is most likely to be found. Plants common to open dunes and interdunal wetlands are most likely to be found in the foredunes, those dunes closest to the lake where disturbance from wind and water is greatest. Further from the lake where the winds are less are dunes in transition. Plants common to this area can also be typical of open dune communities. The backdunes are furthest from the shoreline and support plants growing on a more stable dune. Plants will grow where they find the necessary nutrients, water, and sun regardless of the distance from the shoreline. For example, plants listed as being in a transition dune may also be found in a foredune.

The plant's common name is followed by its scientific name in italics. Photos of the plants may be found online at [United States Department of Agriculture Natural Resources Conservation Service Plants Database](#) or [University of Michigan Herbarium Michigan Flora On-Line](#). When searching online, use the scientific name as some plants have multiple common names.

Foredune


Common Name	Scientific Name	Category
Marram Grass or Beach Grass	<i>Ammophila breviligulata</i>	Grass
Sand Reed Grass	<i>Calamovilfa longifolia</i>	Grass
Common Milkweed	<i>Asclepias syriaca</i>	Herb
Sea-rocket	<i>Cakile edentula</i>	Herb
Harebell or Bluebell	<i>Campanula rotundifolia</i>	Herb
River-bank Grape	<i>Vitis riparia</i>	Vine
Sand Cherry	<i>Prunus pumila</i>	Shrub
Cottonwood	<i>Populus deltoides</i>	Tree

Transition Dune

Common Name	Scientific Name	Category
Little Bluestem	<i>Schizachyrium scoparium</i>	Grass
Sand Cress	<i>Arabidopsis lyrata</i>	Herb
Wild Wormwood	<i>Artemisia campestris</i>	Herb
Bugseed	<i>Corispermum sp.</i>	Herb
Pitcher's Thistle or Dune Thistle	<i>Cirsium pitcheri</i>	Herb
Summer Grape	<i>Vitis aestivalis</i>	Vine
Bearberry or Kinnikinick	<i>Arctostaphylos uva-ursi</i>	Shrub
Blueleaf Willow	<i>Salix myricoides</i>	Shrub

*This list was created in 1975 by Michigan State University staff from the Michigan Great Lakes Shorelands Zone Boundary Definitions. Additional plant species were added to the list by Department of Natural Resources staff in 1989. The list was reviewed by Hope College faculty in 2013.


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www.michigan.gov/deq


10/2018
3-9-23
Permittee Date

List of Common Native Plants in Michigan Sand Dunes (continued).

Backdune

Common Name	Scientific Name	Category
Canada Wild Rye	<i>Elymus canadensis</i>	Grass
Flowering Spurge	<i>Euphorbia corollata</i>	Herb
Seaside Spurge	<i>Euphorbia polygonifolia</i>	Herb
Plains Puccoon or Hairy Puccoon	<i>Lithospermum carolinense</i>	Herb
Horse Mint or Dotted Mint	<i>Monarda punctata</i>	Herb
Common Evening Primrose	<i>Oenothera biennis</i>	Herb
Beach Pea	<i>Lathyrus japonicus</i>	Vine
Ground Juniper	<i>Juniperus communis</i>	Shrub
Creeping Juniper	<i>Juniperus horizontalis</i>	Shrub
Yew or Ground-hemlock	<i>Taxus canadensis</i>	Shrub
Kalm's St. John's-wort	<i>Hypericum kalmianum</i>	Shrub
False Heather or Beach-heath	<i>Hudsonia tomentosa</i>	Shrub
Red-osier	<i>Cornus sericea</i>	Shrub
Alternate-leaved Dogwood	<i>Cornus alternifolia</i>	Tree
Serviceberry	<i>Amelanchier interior</i>	Shrub
Smooth Shadbush	<i>Amelanchier laevis</i>	Tree
Round-leaved Serviceberry	<i>Amelanchier sanguinea</i>	Shrub
Shadbush Serviceberry	<i>Amelanchier spicata</i>	Shrub
Hop-hornbeam or Ironwood	<i>Ostrya virginiana</i>	Tree
Basswood or Linden	<i>Tilia americana</i>	Tree
American Beech	<i>Fagus grandifolia</i>	Tree
Red Oak	<i>Quercus rubra</i>	Tree
Black Oak	<i>Quercus velutina</i>	Tree
Sugar Maple or Hard Maple	<i>Acer saccharum</i>	Tree
Red Maple	<i>Acer rubrum</i>	Tree
Red-cedar	<i>Juniperus virginiana</i>	Tree
White-cedar or Arbor Vitae	<i>Thuja occidentalis</i>	Tree
White Pine	<i>Pinus strobus</i>	Tree
Jack Pine	<i>Pinus banksiana</i>	Tree
Red Pine	<i>Pinus resinosa</i>	Tree
Hemlock	<i>Tsuga canadensis</i>	Tree
Balsam Fir	<i>Abies balsamea</i>	Tree


 C. Adams
 3-9-23
 Permittee Date



MEMORANDUM

City of Saugatuck Planning Commission

Memo Date:	August 15, 2023	Meeting Date:	August 17, 2023
Request:	Special Land Use	Applicant:	Jeffery Harwood
Address:	246/248 Culver St.	Project Name:	Culver Street Brewery
Parcel:	03-57-300-192-00	Plan Date:	July 17, 2023, by Nederveld
Lot Size:	7,800 s.f.	Zoning District:	C-1 City Center
Complete:	Yes	Recommendation:	Approval
Staff:	Ryan Cummins	Consultant:	David M. Jirousek, AICP

Overview

The applicant requests special land use approval for a brewery and restaurant within a portion of the ground floor of an existing building. Additional outdoor dining and service is proposed. The purpose of this memo is to provide a compliance review related to all applicable zoning standards and requirements and to assist the Planning Commission with developing findings related to special land use and site plan standards and specific requirements for the proposed business.

Background

Aside from a small exterior addition (grain cracking room) and a new dumpster enclosure, all production and storage will occur indoors. The existing outdoor dining area will also be incorporated into the brewery and restaurant service area.

Review Process and Standards

The application requires review in accordance with the following sections of the City of Saugatuck Zoning Ordinance:

- Site Plan approval in accordance with Section 151.060
- Special Land Use approval in accordance with Section 154.080
- Design standards in accordance with Section 154.092 M

102 Butler Street • P.O. Box 86 • Saugatuck, MI 49453
Phone: 269-857-2603 • Website: www.saugatuckcity.com

- Design standards in accordance with Section 154.092 O
- Design standards in accordance with Section 154.092 P

Site Plan Standards of Approval

The following standards for site plan review and approval apply to the project per Section 154.063. Findings related to each standard are provided for consideration by the Planning Commission.

- A. *All elements of the site plan shall be harmoniously and efficiently organized in relation to topography, the size and type of lot, the character of adjoining property and the type and size of the buildings. The site will be so developed as not to impede the normal and orderly development or improvement of surrounding property for uses permitted in this chapter.*

Comment: The building is in existence, and the site is already developed. The overall existing design is harmonious and compatible with nearby properties and land uses. Only a small addition is proposed for a grain cracking room. The operation is not anticipated to cause external impacts to neighboring property.

- B. *The landscape shall be preserved in its natural state, insofar as practical, by removing only those areas of vegetation or making those alterations to the topography which are reasonably necessary to develop the site in accordance with the requirements of this chapter.*

Comment: This standard is not applicable as the site is already developed.

- C. *The site plan shall provide reasonable visual and sound privacy for all dwelling units located therein. Fences, walks, barriers and landscaping shall be used, as appropriate, to accomplish these purposes.*

Comment: The outdoor dining area is lightly screened by an existing fence, landscaping, and the existing building on two sides. A commercial building exists on the west side of the dining area.

- D. *All buildings or groups of buildings shall be arranged so as to permit necessary emergency vehicle access as required by the Fire Department.*

Comment: This standard is not applicable as the site is already developed.

- E. *There shall be provided a pedestrian circulation system which is separated from the vehicular circulation system. In order to ensure public safety, special pedestrian measures, such as crosswalks, crossing signals and other such facilities may be required in the vicinity of schools, playgrounds, local shopping areas and other uses which generate a considerable*

amount of pedestrian traffic. All federal, state, and local barrier free requirements shall be met.

Comment: This standard is not applicable as sidewalks are located along two frontages.

- F. The arrangement of public or common ways for vehicular and pedestrian circulation shall be connected to existing or planned streets and pedestrian or bicycle pathways in the area. Streets and drives which are part of an existing or planned street pattern serving adjacent development shall be of a width appropriate to the traffic volume they will carry and shall have a dedicated right-of-way equal to that specified in the City's land use plan.*

Comment: This standard is not applicable.

- G. All streets shall be developed in accordance with city specifications, unless developed as a private road.*

Comment: This standard is not applicable.

- H. Appropriate measures shall be taken to ensure that removal of surface waters will not adversely affect neighboring properties or the public storm drainage system. Provisions shall be made to accommodate storm water, prevent erosion and the formation of dust. The use of detention/retention ponds may be required. Surface water on all paved areas shall be collected at intervals so that it will not obstruct the flow of vehicular or pedestrian traffic, create puddles in paved areas or create erosion problems.*

Comment: This standard is not applicable as the site is already developed.

- I. All loading and unloading areas and outside storage areas, including areas for the storage of trash, which face or are visible from residential districts or public thoroughfares, shall be screened by an opaque wall or landscaped screen not less than six feet in height. (See §§ 154.142 through 154.144).*

Comment: The new overhead door faces the interior of the City block and not toward residential districts or public thoroughfares.

- J. Exterior lighting shall be arranged so that it is deflected away from adjacent properties and so that it does not impede the vision of traffic along adjacent streets. Flashing or intermittent lights shall not be permitted.*

Comment: New light fixtures are not proposed. Existing light fixtures will remain.

- K. In approving the site plan, the Planning Commission may recommend that a bond or other financial guarantee of ample sum be furnished by the developer to ensure compliance for*

such requirements as drives, walks, utilities, parking, landscaping and the like (see § 154.173).

Comment: A financial guarantee is not necessary. The site is already developed.

Special Land Use Standards of Approval

In accordance with Section 154.080, before any special land use permit is granted, the Planning Commission shall make findings of fact based upon competent evidence certifying compliance with the specific regulations governing individual special land uses and, in addition, ensure that the following general standards have been met. Findings related to each standard are provided for consideration by the Planning Commission.

1. *In location, size, height and intensity of the principal and/or accessory operations, be compatible with the size, type and kind of buildings, uses and structures in the vicinity and on adjacent property;*

Comment: As stated earlier, the building is in existence, and the site is developed. The overall existing design is harmonious and compatible with nearby properties and land uses. Only a small addition is proposed for a grain cracking room. The operation is not anticipated to cause external impacts to neighboring property beyond that of the previous restaurant.

2. *Be consistent with and promote the intent and purpose of this chapter;*

Comment: The use will add to the vibrancy of the downtown area, and the investment will add value to the property.

3. *Be compatible with the natural environment and conserve natural resources and energy;*

Comment: This standard is not applicable as the site is already developed.

4. *Be consistent with existing and future capabilities of public services and facilities affected by the proposed use;*

Comment: The operation is not anticipated to cause external impacts to neighboring property beyond that of the previous restaurant.

5. *Protect the public health, safety, and welfare as well as the social and economic well-being of those who will use the land use or activity, residents, businesses and landowners immediately adjacent and the City as a whole;*

Comment: The operation is not anticipated to cause external impacts to neighboring property beyond that of the previous restaurant. It is anticipated that there will be no additional impact

on public health, safety, and welfare, as well as the social and economic well-being of the community.

6. *Not create any hazards arising from storage and use of inflammable fluids;*

Comment: Chemicals stored on site as described in the application are not anticipated to cause hazards beyond what is expected for any other downtown restaurant or tavern.

7. *Not be in conflict with convenient, safe and normal vehicular and pedestrian traffic routes, flows, intersections and general character and intensity of development. In particular:*

- (a) *The property shall be easily accessible to fire and police; and*
(b) *Not create or add to any hazardous traffic condition.*

Comment: The conversion of the building will have a negligible impact on traffic conditions.

8. *Be of such a design and impact that the location and height of buildings, the location, nature and height of walls, fences and the nature and extent of landscaping on the site shall not hinder or discourage the appropriate development and use of adjacent land and buildings or impair the value thereof;*

Comment: This standard is not applicable as the site is already developed.

9. *That in the nature, location, size, and site layout of the use, be a harmonious part of the district in which it is situated taking into account, among other things, prevailing shopping habits, convenience of access by prospective patrons, the physical and economic relationship of one type of use to another and characteristic groupings of uses of the district; and*

Comment: The use will add to the vibrancy of the downtown area, and the overall existing design is harmonious and compatible with nearby properties and land uses.

10. *That in the location, size, intensity and site layout be such that operations will not be objectionable to nearby dwellings, by reason of noise, fumes, pollution, vibration, litter, refuse, glare or flash of lights to an extent which is greater than would be operations of any use permitted by right for that district within which the special land use is proposed to be located.*

Comment: The operation is not anticipated to cause objectional impacts.

Brewery, Distillery, and Winery (Section 154.092 M)

A brewery, distillery, and winery as defined within § 154.005 shall be subject to the following conditions:

1. *All apparatus or equipment associated with the fermentation or distillation of grain, fruits, or other ingredients shall be completely contained within a fully enclosed principal building;*
2. *Applicants shall not store products, ingredients, supplies, or waste outdoors;*
3. *Products produced on site shall be sold or consumed on site as part of a retail business or restaurant and not distributed;*
4. *Operations shall not produce any noise, odor, or other conditions deemed to be a nuisance;*
5. *Applicants shall obtain and maintain all applicable local, state, and federal licenses.*

Comments: All operations and equipment will be indoors, and external impacts are not anticipated. Under the current requirements, the applicant may not distribute their product. The applicant intends to secure all MLCC permits for the operation.

Restaurants with Outdoor Seating (Section 154.092 O)

The inclusion of outdoor seating shall be viewed as an expansion of a commercial business and shall meet the following standards:

1. *Tables, chairs, or similar features shall not have display signage or emblems representative of the restaurant;*
2. *Outdoor seating area shall be on a fully improved surface of concrete, paver brick, or similar solid material;*
3. *If alcohol is served, area shall meet all applicable local, state, and federal regulations; and*
4. *Seating and service within the right-of-way*

Comments: The proposed outdoor service area will be the same as approved for the previous restaurant, and it is an improved surface. The applicant intends to secure all MLCC permits for the operation.

Service of Alcoholic Beverages Standards (Section 154.092 P)

1. *Any new establishment seeking a license for the sale and consumption of beer, wine, or alcoholic beverages on-premises shall require special land use approval and site plan review in accordance with this division.*
2. *The applicant shall provide a copy of any licensing materials submitted to the Michigan Liquor Control Commission.*
3. *The applicant shall provide a site plan illustrating the proposed location where the alcohol sales would occur, as well as all other locations where on-premises sales presently exist within a one thousand-foot radius of the closest lot lines of the subject site.*

4. *The proposed establishment must promote the city's economic development goals and objectives, and must be consistent with the city's master plan and zoning ordinance.*
5. *Given the character, location, development trends and other aspects of the area in which the proposed use or change in use is requested, the applicant shall demonstrate that the use will: rejuvenate an underutilized property or an identifiable area within the city; provide a unique business model, service, product, or function; add to the diversity of the to the city or to an identifiable area within the city; or, that the addition of the use or proposed change in use will be otherwise a benefit or asset to the city or identifiable area.*
6. *The applicant must demonstrate that the use or change in use as constructed and operated is compatible with the area in which it will be located, and will not have appreciable negative secondary effects on the area, such as:*
 - a. *Vehicular and pedestrian traffic, particularly during late night or early morning hours that might disturb area residents;*
 - b. *Noise, odors, or lights that emanate beyond the site's boundaries onto property in the area on which there are residential dwellings;*
 - c. *Excessive numbers of persons gathering outside the establishment; or*
 - d. *Peak hours of use that add to congestion or other negative effects in the neighborhood.*

Comments: The applicant is aware of local and state permitting requirements and intends to secure approval of the operation. The proposal is a small-scale operation that is consistent with the character of the downtown area.

Recommendation

Based on the findings in this report, all standards of approval have been satisfied, and approval is recommended.



Special Land Use Application

LOCATION INFORMATION APPLICATION NUMBER _____ - _____

Address 248 Culver Street Parcel Number 57-300-192-00

APPLICANTS INFORMATION

Name Jeffery Harwood Address / PO Box 3001 Fuller Dr. NE
City Grand Rapids State Mi Zip 49341 Phone 504-261-8034
Interest In Project Architect E-Mail jeffh@wlpae.com
Signature *Jeffery Harwood* Date 07-10-2023

OWNERS INFORMATION (IF DIFFERENT FROM APPLICANTS)

Name LP Operations Inc. Address / PO Box 589 Campbell Rd.
City Saugatuck State Mi Zip 49453 Phone 616.304.3666

I hereby authorize that the applicant as listed above is authorized to make this application for proposed work as my agent and we agree to conform to all applicable laws and regulations of the City of Saugatuck. I additionally grant City of Saugatuck staff or authorized representatives thereof access to the property to inspect conditions, before, during, and after the proposed work is completed.

Signature *[Signature]* Date 07-17-23

CONTRACTORS/ DEVELOPERS INFORMATION (UNLESS PROPOSED WORK IS TO BE DONE BY THE PROPERTY OWNER)

Name Orion Construction Contact Name Brad Walsh
Address / PO Box 32 Market Ave SW - Suite 200 City Grand Rapids
State Mi Zip 49503 Phone 616-464-1740 Fax _____
License Number _____ Expiration Date _____

PROPERTY INFORMATION

Depth 120 Width 65 Size 7,800 sf (.17 ac.) Zoning District C1 Current Use Mixed use

Check all that apply:
Waterfront _____ Historic District Dunes _____ Vacant _____

PROJECT DESCRIPTION (ATTACH MORE SHEETS IF NECESSARY)

A new brewery is proposing to open in the space where "Toulouse" restaurant was located. The brewery is going to brew beer on site while also serving wine, spirits and food. The brewery will provide a fun and welcoming atmosphere for both tourists and locals that will be open year-round.

The interior will be renovated and updated to house the brewery, bar and dining room. A new grain cracking room will constructed in place of the existing exterior walk-in cooler on the NW corner which will be approximately 70 s.f. A new overhead door facing west will be placed on the NW side of the building towards the parking lot.

The existing exterior courtyard will be used for outdoor dining and drinking. Any exterior changes to the courtyard area will fall within the guidelines and approval of the planning commission and historic district commission.



SITE PLAN REQUIREMENTS (SECTION 154.061)

A) Applications for preliminary site plan approval shall consist of the following information unless waived by the Zoning Administrator.

Y N NA

- Property dimensions
- Significant vegetation
- Water courses and water bodies, including human-made surface drainage ways
- Existing public right-of-way, pavements and/or private easements
- Existing and proposed uses, buildings, structures and parking areas
- Zoning classification of abutting properties
- The name, address and telephone number of the person and firm who prepared the site plan, and the date on which it was prepared
- A north arrow

B) Applications for final site plan approval shall consist of the following information unless waived by the Zoning Administrator. Twelve reproducible copies of a final site plan, at a scale of not less than one inch equals ten feet, shall include:

Y N NA

- Dimensions of property of the total site area,
- Contours at 2-foot intervals
- Locations of all buildings
- Other structures on adjacent properties within 100 feet of the property, including those located across the street from the property
- Parking areas
- Driveways
- Required and proposed building setbacks
- Location of abutting streets and proposed alignment of streets, drives and easements serving the development, including existing rights-of-way and pavement widths;
- Location, screening, dimensions and heights of proposed buildings and structures, such as trash receptacles, utility pads and the like, including accessory buildings and uses, and the intended uses thereof. Rooftop or outdoor appurtenances should also be indicated, including proposed methods of screening the equipment, where appropriate;
- Location and dimensions of parking areas, including computations of parking requirements, typical parking space dimensions, including handicapped spaces, and aisle widths;
- Proposed water supply and wastewater systems locations and sizes;
- Proposed finished grades and site drainage patterns, including necessary drainage structure. Where applicable, indicate the location and elevation of the 100-year floodplain;
- Proposed common open spaces and recreational facilities, if applicable;
- Proposed landscaping, including quantity, size at planting and botanical and common names of plant materials;
- Signs, including type, locations and sizes;



- Location and dimensions of all access drives, including driveway dimensions, pavement markings, traffic-control signs or devices, and service drives;
- Exterior lighting showing area of illumination and indicating the type of fixture to be used.
- Elevations of proposed buildings drawn to an appropriate scale shall include:
 1. Front, side and rear views;
 2. Heights at street level, basement floor level, top of main floor, top of building, and if applicable, height above water level; and
 3. Exterior materials and colors to be used.
- Location, if any, of any views from public places to public places across the property;
- Location, height and type of fencing; and
- The name and address of the person and firm who drafted the plan, the seal of the professional responsible for the accuracy of the plan (licensed in the state) and the date on which the plan was prepared.

STANDARDS FOR APPROVAL (SECTION 154.082)

Please respond to how the request will meet each of the following standards for special land use:

- (1) How will the location, size, height and intensity of the principal and/or accessory operations, compatible with the size, type and kind of buildings, uses and structures in the vicinity and on adjacent property?

The principal building will remain as is with 2 stories. It currently has retail on the 1st floor and apartments on the 2nd, these will remain unchanged. The brewery will go into a the space of a former restaurant (Toulouse). The new use will blend into the existing fabric of both the neighborhood and building itself. The brewery will focus just as much on serving the residents of Saugatuck just as much as the tourist population.

- (2) How will the proposed request consistent with, and will promote the intent and purpose of this chapter?

The project aims to add a commercial activity to the downtown village, specifically a restaurant and brewery. It will be a high volume space, serving food and drink to the busy summer tourists as well as being a hub for locals in the off season. It's mission is to create a positive experience for visitors to Saugatuck so that they will continue to come back year after year.

- (3) How will the proposed request compatible with the natural environment and will it conserve natural resources and energy?

The existing landscaping will remain as is. The brewing process will utilize technology and best-practices to conserve energy and resources. The use of on-demand steam generation will reduce natural gas consumption. A kettle condenser will be used to capture hot water for process reuse. The kitchen and brewery will both have a focus of using local ingredients to reduce carbon consumption from transport.

- (4) How will the proposed request consistent with existing and future capabilities of public services and facilities?

The existing services WILL NOT need to be upgraded since the building already has 3 phase 600 amp service. The existing 1.5" water main will be sufficient for the operations

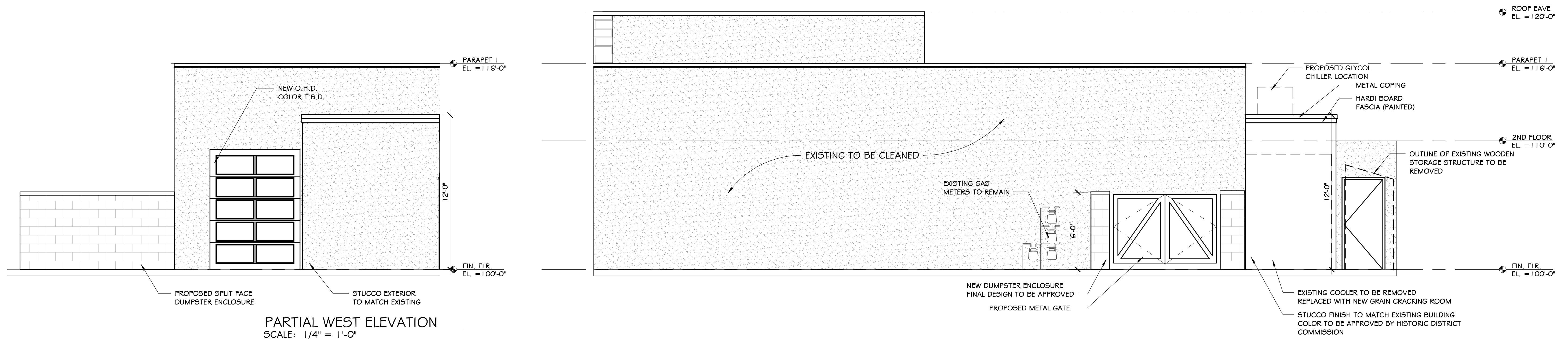
- (5) How will the proposed request protect the public health, safety and welfare as well as the social and economic well-being of those who will use the land use or activity, residents, businesses and landowners immediately adjacent and the city as a whole?

The restaurant and brewery will meet and exceed all laws and guidelines for operation and experience. Responsible consumption is a tenant of hospitality and one we will uphold. By creating a welcoming space for all, the project will increase social welfare for patrons through the enjoyment of high quality food and drink. With a focus on local labor and local providers, the project will create economic activity for Saugatuck and reinvest earnings into the community.

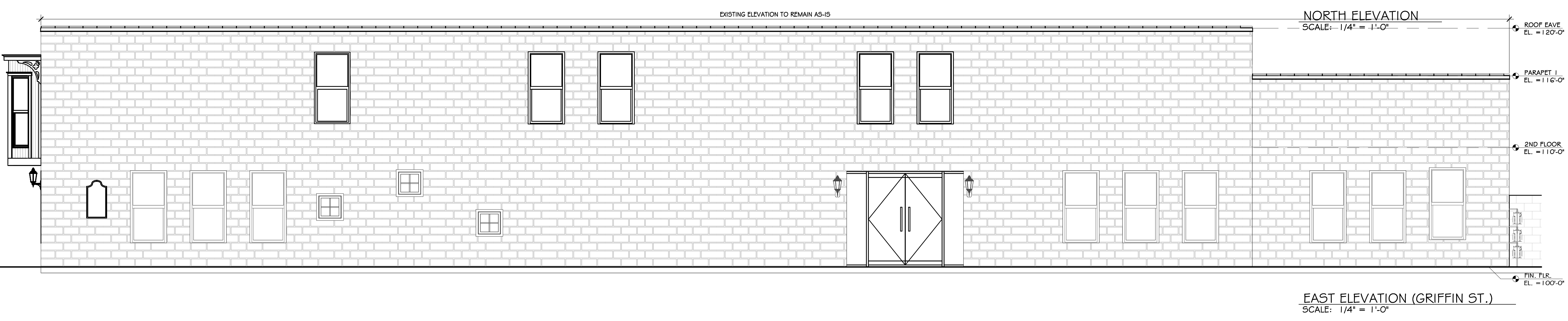
SHEET INDEX	
NO.	DESCRIPTION
A1.1	EXTERIOR ELEVATIONS
A2.1	FLOOR PLAN
A2.2	3D VIEWS



SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"



PARTIAL WEST ELEVATION
 SCALE: 1/4" = 1'-0"



EAST ELEVATION (GRIFFIN ST.)
 SCALE: 1/4" = 1'-0"

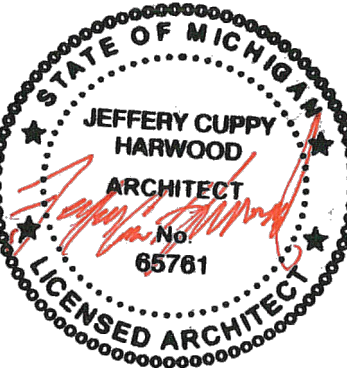
Building For:
CULVER STREET BREWERY

REMODEL

248 CULVER ST.
 SAUGATUCK, MI

ISSUED FOR	
DATE	DESCRIPTION
07-17-23	SLU

Revision Schedule		
No.	Date	Description



Drawn by: Author

EXTERIOR ELEVATIONS

SCALE: AS NOTED

Sheet No.
A1.1

Project No.
23-061

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These Drawings Remain The Property Of WLP Associates And Are For Uses Authorized By The Architect Only.

Building For:
**CULVER STREET
BREWERY**

REMODEL
248 CULVER ST.
SAUGATUCK, MI

ISSUED FOR	
DATE	DESCRIPTION
07-17-23	SLU

Revision Schedule		
No.	Date	Description

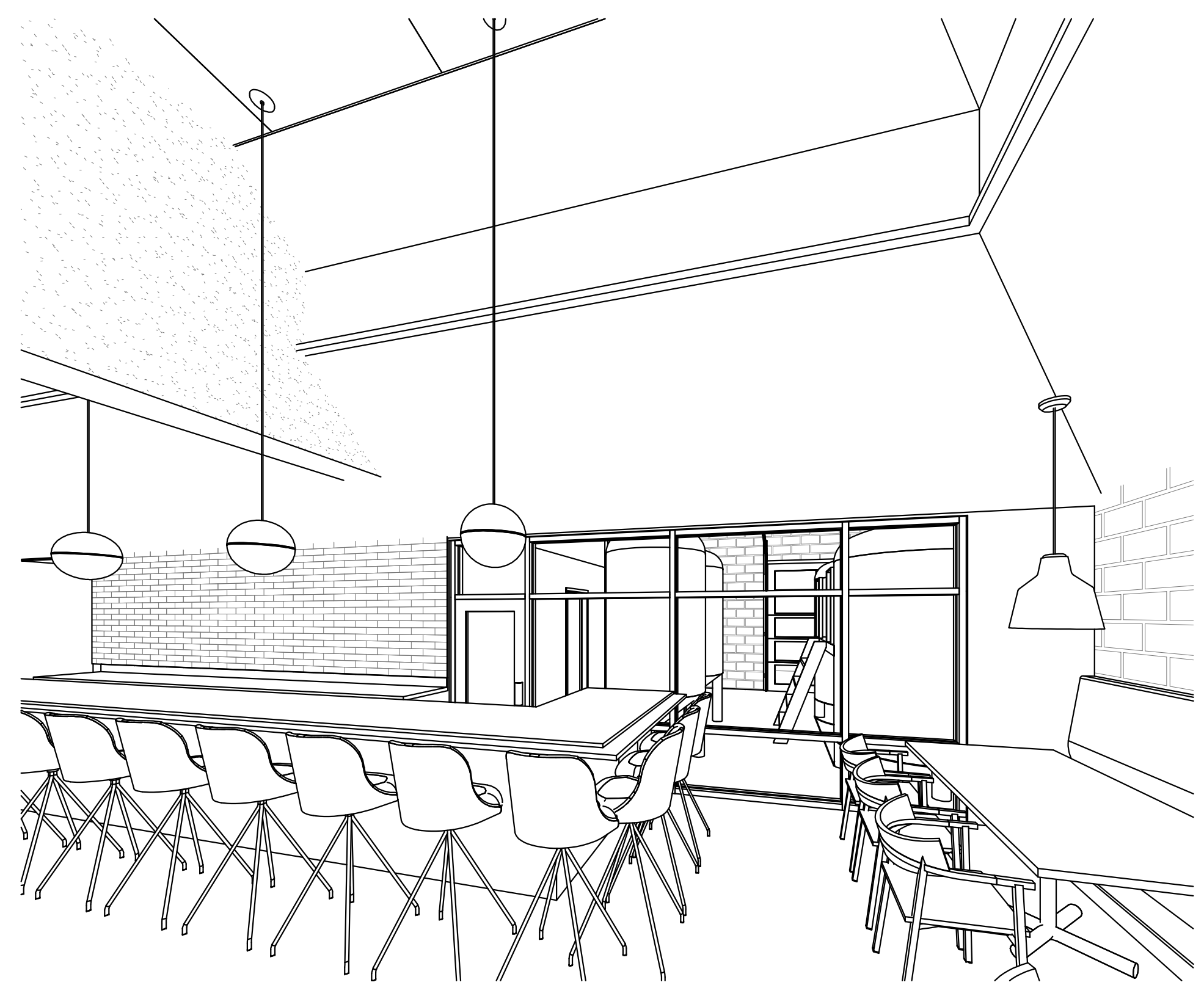
Drawn by: Author

3D VIEWS

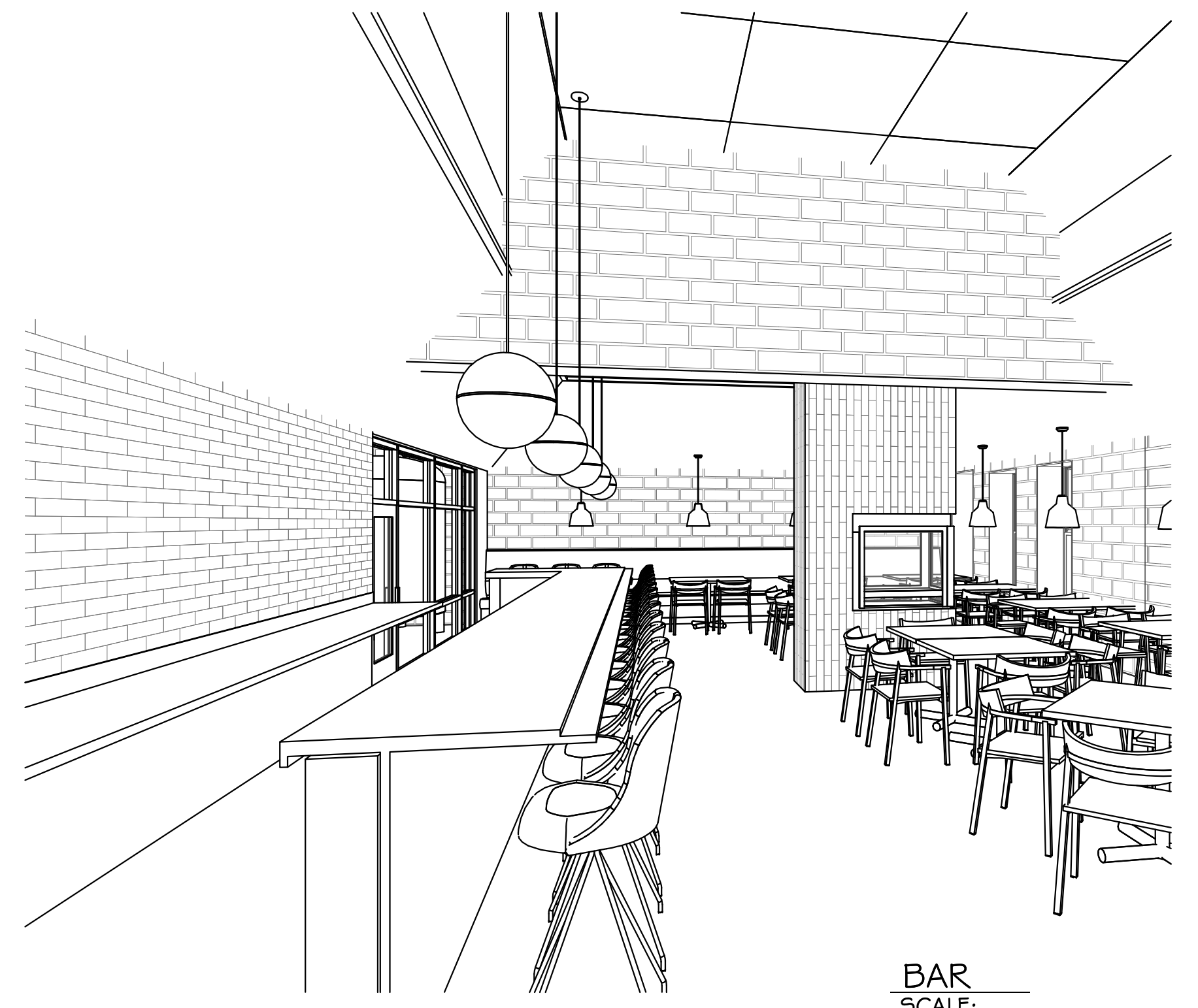
SCALE: AS NOTED

Sheet No.
A2.2

Project No.
23-061



BREWERY STOREFRONT GLASS
SCALE:



BAR
SCALE:



DINING ROOM
SCALE:



RECEPTION
SCALE:

ALLEGAN COUNTY CONDOMINIUM SUBDIVISION PLAN NO. _____
EXHIBIT "B" TO THE MASTER DEED OF:

246 CULVER STREET CONDOMINIUM

**Part of the SE 1/4 of Section 9, Town 3 North, Range 16 West,
City of Saugatuck, Allegan County, Michigan**

E X H I B I T " B "

DEVELOPER

HBT MAD-Property, LLC
9700 West Higgins Road
Suite 650
Rosemont, IL 60018

SURVEYOR

Nederveld, Inc.
217 Grandville Avenue SW
Suite 302
Grand Rapids, Michigan 49503

DESCRIPTION

Part of Lot 186, Kalamazoo Plat, formerly Saugatuck Village, now City of Saugatuck, Section 9, Town 3 North, Range 16 West, Saugatuck Township, Allegan County, Michigan, described as: Commencing at the Northeast corner of said Lot; thence S00°06'29"E 132.96 feet along the West right-of-way line of Griffith Street; thence S89°22'50"W 64.67 feet along the North right-of-way line of Culver Street; thence N00°03'50"E 120.75 feet along the East line of the West 2 feet of said Lot 186; thence S89°19'54"W 1.00 feet; thence N00°06'07"W 12.00 feet along the West line of the East 1 foot of the West 2 feet of said Lot 186; thence N89°11'24"E 65.31 feet to the Point of Beginning. Contains 0.20 acres.

NOTE

This condominium subdivision plan is not required to contain detailed project design plans prepared by the appropriate licensed design professional. Such project design plans are filed, as part of the construction permit application, with the enforcing agency for the state construction code in the relevant governmental subdivision. The enforcing agency may be a local building department or the state department of licensing and regulatory affairs.

ATTENTION COUNTY REGISTER OF DEEDS

The Condominium Subdivision Plan Number must be assigned in consecutive sequence. When a number has been assigned to this project it must be properly shown on this sheet and in the Surveyors Certificate on Sheet No. 2.

SHEET INDEX

- 1) COVER SHEET
- 2) SITE, SURVEY & UTILITY PLAN
- 3) FLOOR PLANS AND SECTIONS

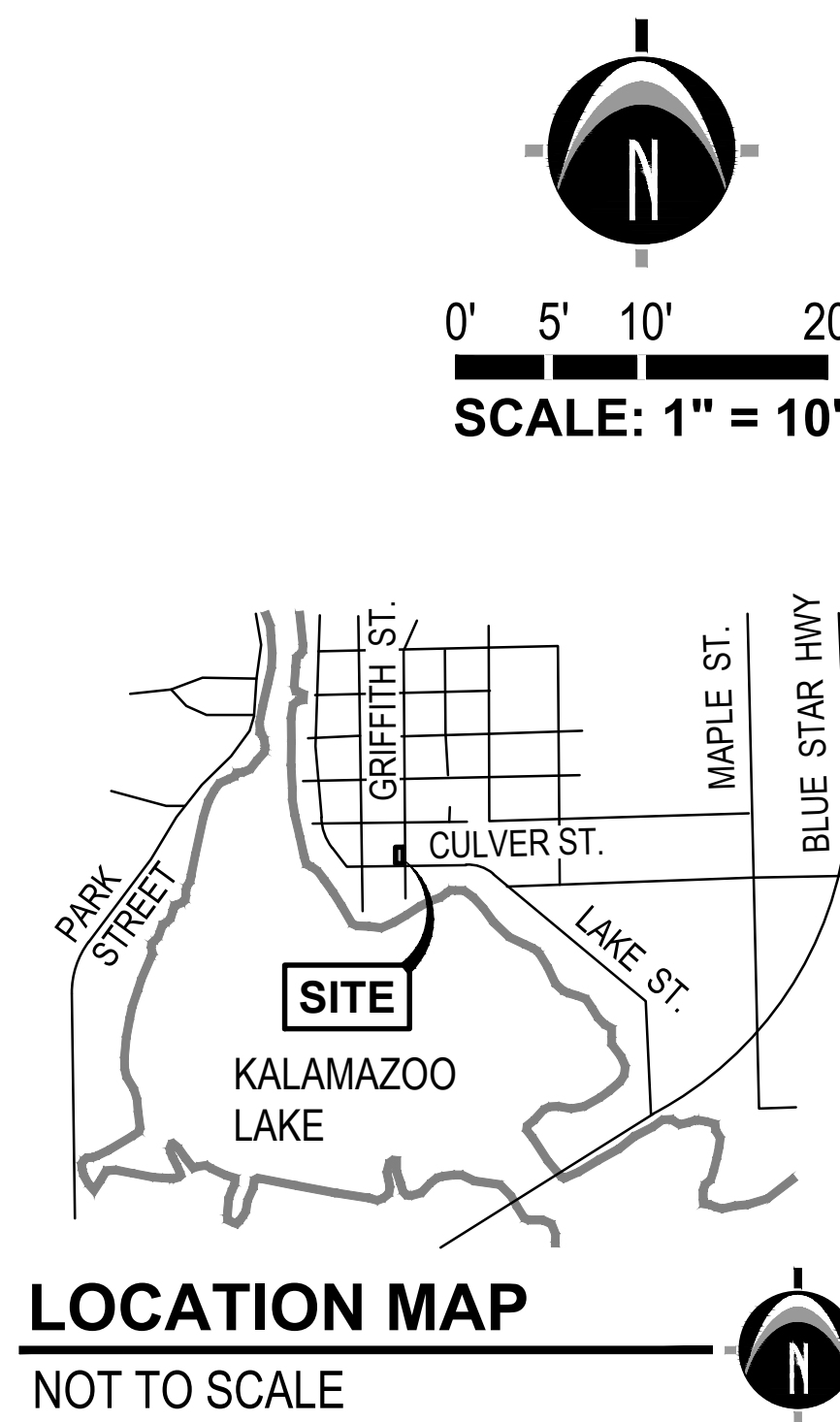
PROPOSED DATED _____, 2019

NOT FOR RECORDATION

COVER SHEET
SHEET NO. 1

GENERAL NOTES

- 1) Bearings as shown hereon are based on "Saugatuck Commerce Building", Allegan County Condominium Subdivision Plan No. 22.
- 2) All dimensions are in feet.
- 3) Flood Plain Note: National Flood Insurance Program Community number 260305 Panel No. 0001C determines the described property lies within Zone C, an area of minimal flooding.
- 4) The total area of the condominium is 0.20 Acres.
- 5) All improvements and utilities must be built.
- 6) Building interior dimensions are derived from field observations. This condominium subdivision plan reflects the individual unit ownership lines and should not be used or relied upon for any architectural renovations.
- 7) All land, airspace, and rooftop area of the project located outside of the building is general common element and is convertible area, unless otherwise designated.
- 8) All unsold units and limited common element areas, and all general common element areas are convertible areas.
- 9) Unit square footages shown are inclusive of interior partitioning within units and may include square footage occupied by structural load bearing building components. It is not the intent of these drawings to detail the dimensions or placement of said components, said components being general common elements.
- 10) All underground utility information as shown hereon is per available records or actual measurements on the ground and should not be mistaken to be a guarantee of completeness or accuracy.



SURVEYOR'S CERTIFICATE

I, Randal J. Vugteveen, Professional Surveyor of the State of Michigan, hereby certify: That the subdivision plan known as 246 CULVER STREET CONDOMINIUM, Allegan County Condominium Subdivision Plan No. _____, as shown on the accompanying drawings, represents a survey on the ground made under my direction. That there are no existing encroachments upon the lands and property herein described. That the required monuments and iron markers will be placed in the ground within 12 months from recordation of the Condominium Subdivision Plan as required by rules promulgated under Section 142 of Act No. 59 of the Public Acts of 1978. That the accuracy of this survey is within the limits required by the rules promulgated under Section 142 of Act No. 59 of the Public Acts of 1978. That the bearings, as shown, are noted on the survey plan as required by the rules promulgated under Section 142 of Act No. 59 of the Public Acts of 1978.

Date: _____

Randal J. Vugteveen
Professional Surveyor No. 28429
NEDERVELD, INC.

BENCHMARK

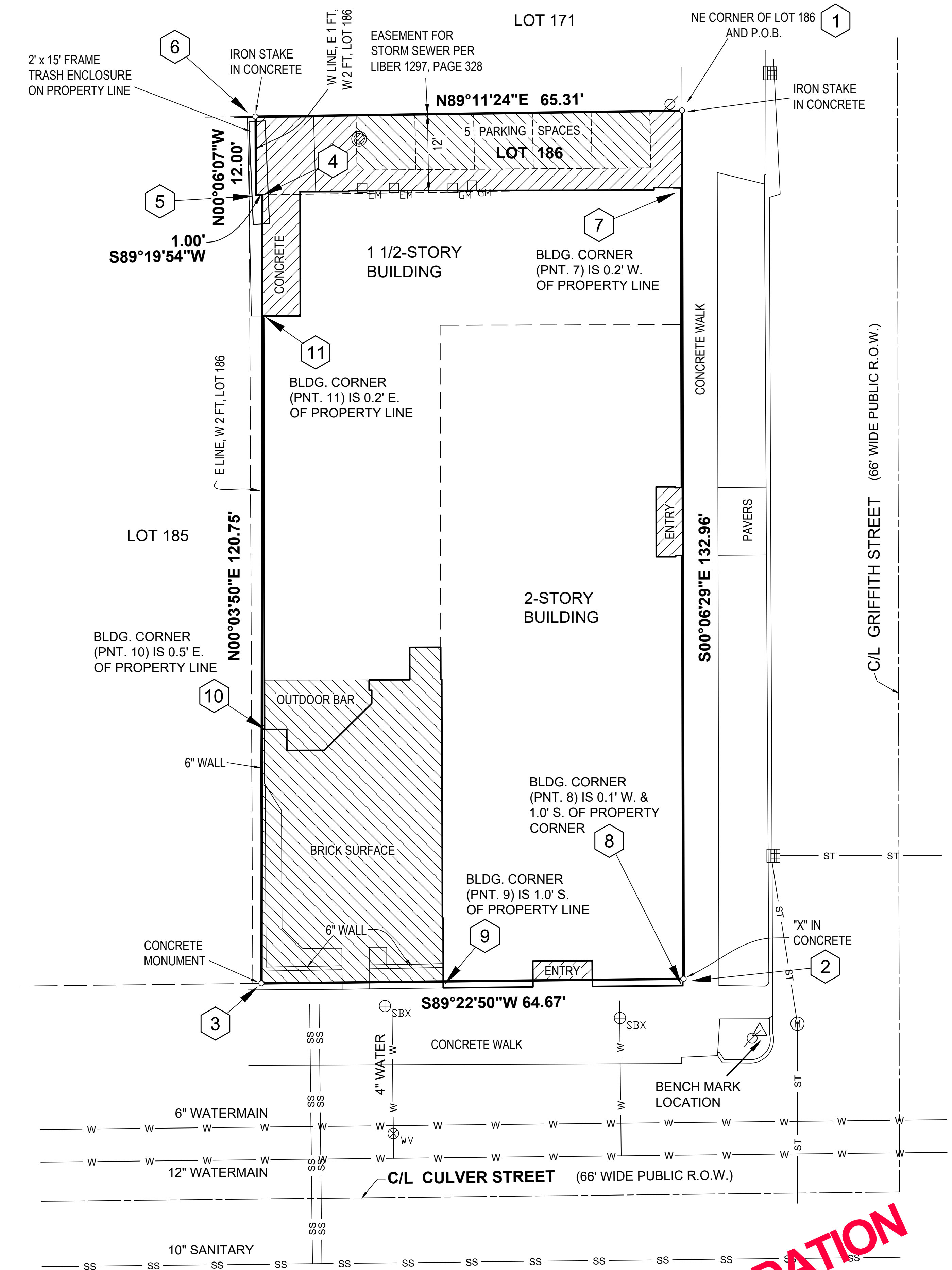
Benchmark Elevation: 593.87 (IGLD), Large spike in utility pole, 9' S. & 11' E. of Coordinate Point No. 2

COORDINATE TABLE

BOUNDARY COORDINATES			BUILDING COORDINATES		
POINT #	NORTHING	EASTING	POINT #	NORTHING	EASTING
1	6138.73'	5994.63	7	6126.93	5994.44
2	6005.77	5994.89	8	6004.73	5994.76
3	6005.07	5930.22	9	6004.38	5958.11
4	6125.82	5930.35	10	6043.65	5930.73
5	6125.81	5929.35	11	6107.27	5930.48
6	6137.81	5929.33			

LEGEND

	CONCRETE MONUMENT		UTILITY POLE
	CATCH BASIN		STOP BOX
	GAS METER		GENERAL COMMON ELEMENT
	ELECTRIC METER		LIMITED COMMON ELEMENT
	= SANITARY SEWER		A.C.H.D.
	= WATERMAIN		K.L.S.W.A.



SITE, SURVEY & UTILITY PLAN

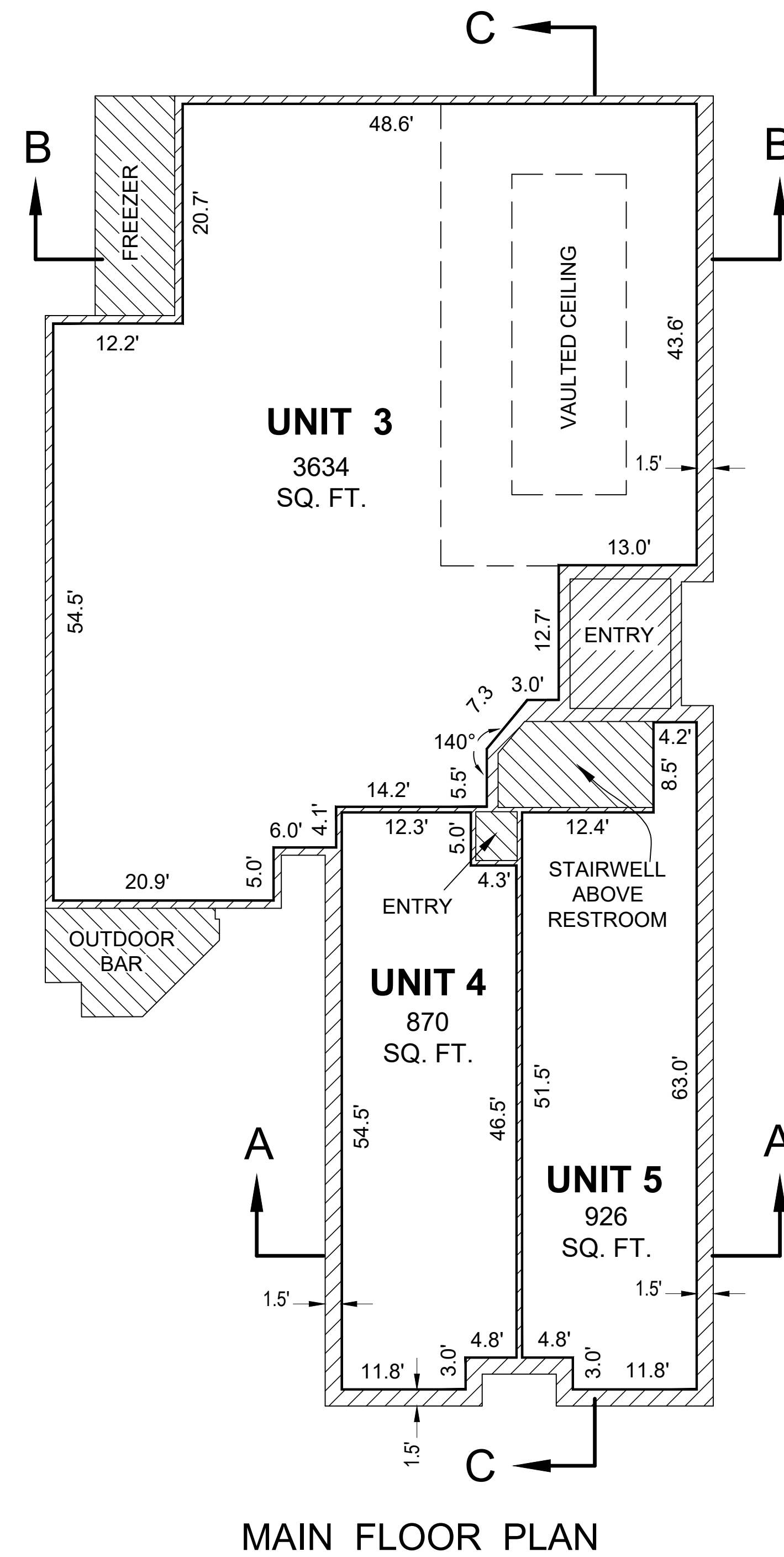
246 CULVER STREET CONDOMINIUM

NEDERVELD, INC. -- 217 GRANDVILLE AVENUE SW, GRAND RAPIDS, MI 49503

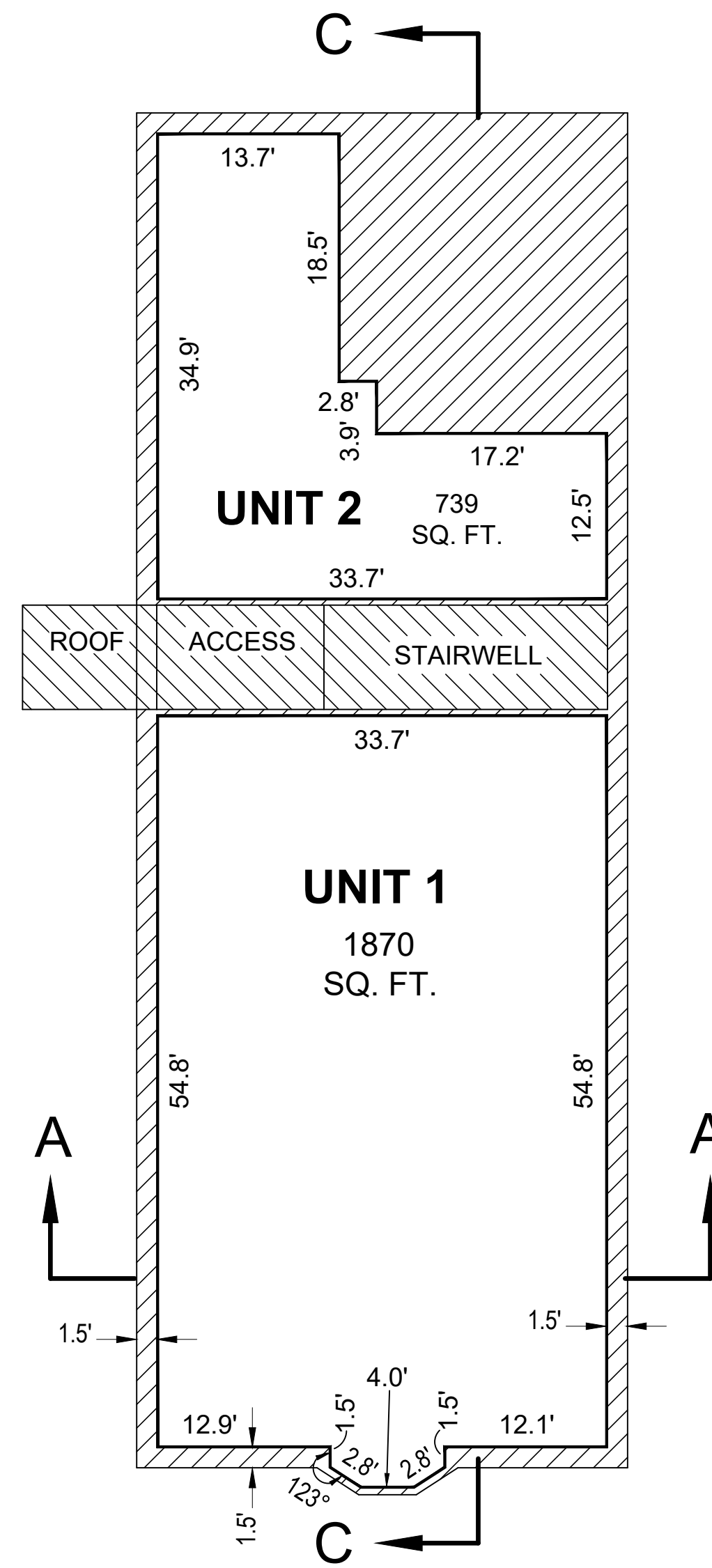
PROPOSED DATED _____, 2019

SHEET NO. 2

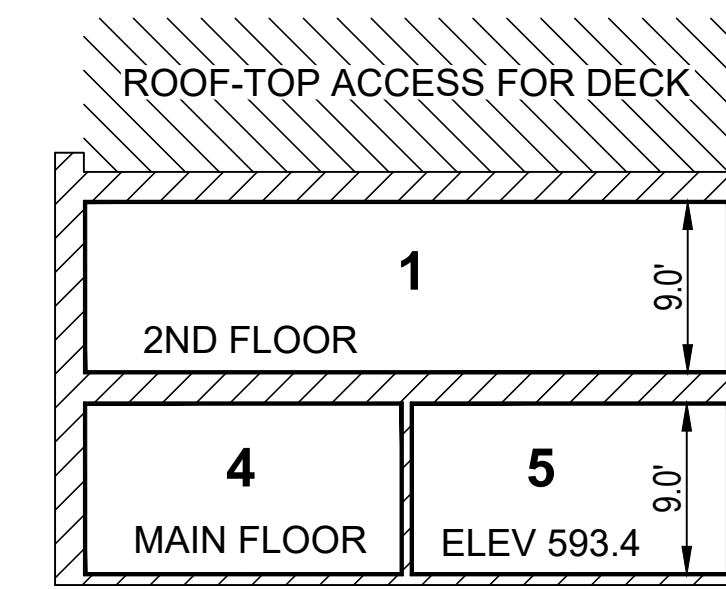
NOT FOR RECORDATION



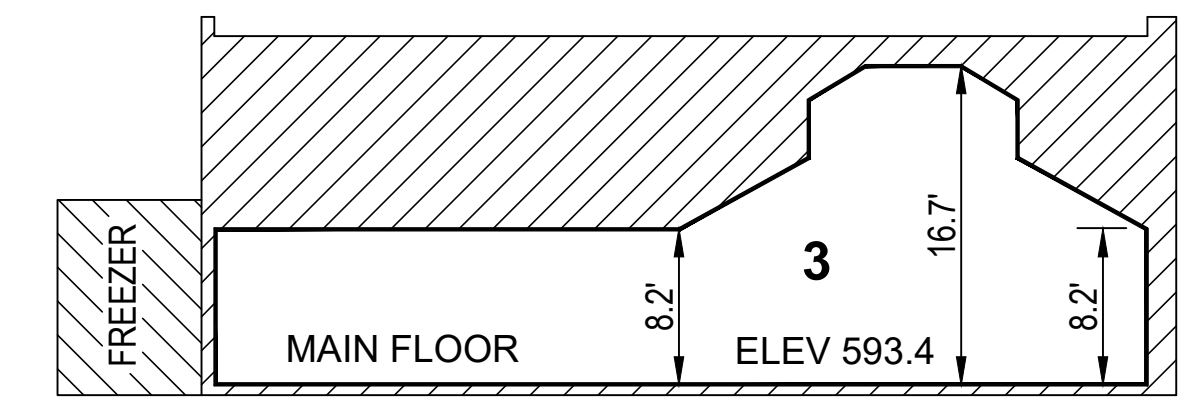
MAIN FLOOR PLAN



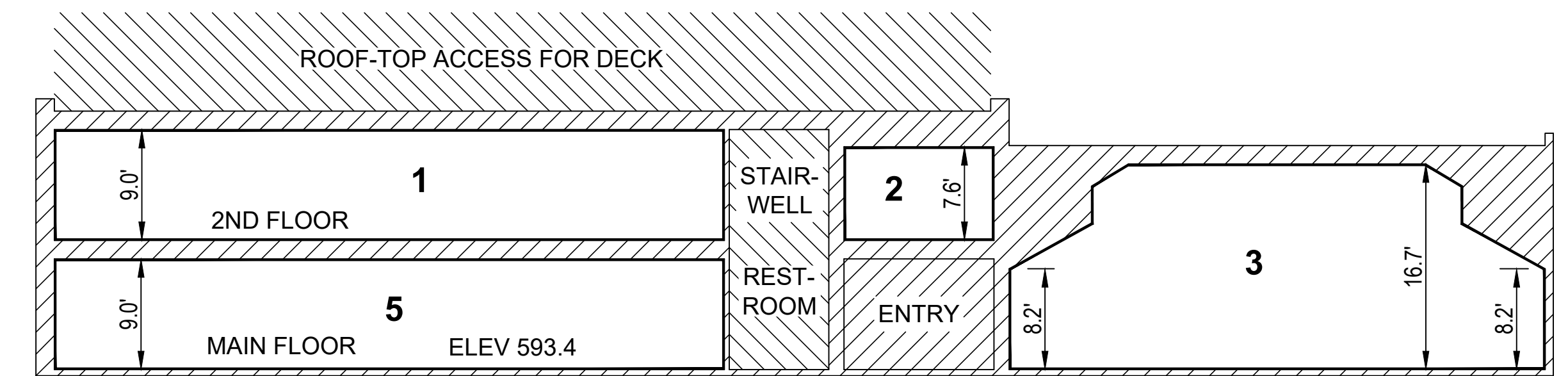
2ND FLOOR PLAN



SECTION "A - A"



SECTION "B - B"

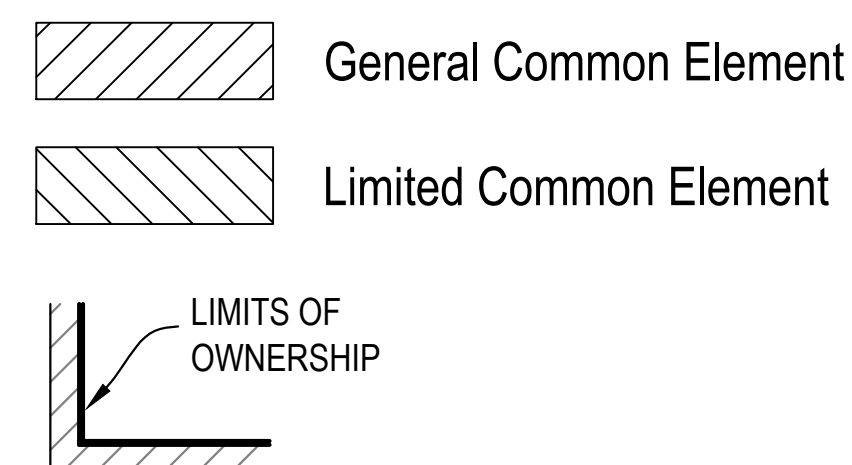


SECTION "C - C"

NOTES

- 1) All ownership lines are at right angles to each other unless otherwise noted.
- 2) Main floor exterior walls are 0.7" ± unless otherwise noted. Second floor exterior walls are 1.5" ±.
- 3) All land, airspace, and rooftop area of the project located outside of the building is general common element and is convertible area, unless otherwise designated.
- 4) All unsold units and limited common element areas, and all general common element areas are convertible areas.
- 5) Unit square footages shown are inclusive of interior partitioning within units and may include square footage occupied by structural load bearing building components. It is not the intent of these drawings to detail the dimensions or placement of said components, said components being general common elements.
- 6) Building interior dimensions are derived from field observations. This condominium subdivision plan reflects the individual unit ownership lines and should not be used or relied upon for any architectural renovations.

LEGEND



NOTE:
SEE SHEET NO. 2 FOR GENERAL NOTES.

**FLOOR PLANS AND SECTIONS
246 CULVER STREET CONDOMINIUM**

NEDERVELD, INC. -- 217 GRANDVILLE AVENUE SW, GRAND RAPIDS, MI 49503

PROPOSED DATED _____, 2019

SHEET NO. 3

NOT FOR RECORDATION

Memorandum

To: City of Saugatuck Planning Commission
Date: August 14, 2023
From: David M. Jirousek, AICP
RE: Waterfront Regulation Report #2- Public Input and Zoning Recommendations

Overview

This memo is the second of two waterfront regulation assessment reports, and it includes an overview of public input and initial recommendations on the framework for waterfront regulation amendments within the Zoning Ordinance. The objective of this phase is to gain consensus on the direction of the changes to the ordinance. After consideration and discussion by the Planning Commission, the final zoning language will be drafted for formal review. The project area is shown in Exhibit 1.



Public Input

The purpose of the public involvement effort was to gain meaningful and valuable local insight from residents and visitors of the City. Our methods for public input involved staffing stations at several community events and public buildings, a waterfront development survey, and a visual preference survey. This process aimed to ensure an understanding of a wide range of community member perspectives and gain a solid foundation for zoning recommendations.

Events

The three poster boards that comprised the public input stations included an introduction board, a priority assessment, and a visual preference exercise. The purpose of this effort was to publicize the study, provide QR codes for the surveys, and provide participants with a preview of the formal survey questions. Boards 2-3 are available to review as Exhibits 2-3 at the end of this report.



Board #1

What are the most important topics to study during this project? choose 3


Building frontages <small>(front or side yards, porches, and amount of window glazing)</small>	
Building materials <small>(such as brick, stone, wood, stucco, etc.)</small>	
Open spaces <small>(for recreation and treatment of stormwater)</small>	
Land use <small>(for residential, commercial, residential, mixed use, etc.)</small>	
Parking	
Public space <small>(such as courtyards, street parks, and the amount to provide them)</small>	
Rooflines / Roof types	
Scale, height, and width of buildings	
Sidewalks and outdoor seating <small>(within the public realm / right-of-way)</small>	

Board #2

Visual Preference

The City's "visual preference survey" serves as a community assessment of different building designs, forms, and architectural elements. This exercise will attempt to identify patterns and trends regarding participant preferences and also provide the opportunity for you to submit action responses.

Please consider these images as they relate to future waterfront development in the City of Saugatuck along Water Street and Park Street.



Board #3

Waterfront Survey

During this project, a community survey was implemented to ask questions regarding waterfront development priorities, concerns, and preferences. The survey attracted 310 participants over a month-long window for participation. Approximately 76% of respondents were full-time or part-time residents of the City of Saugatuck.

The most common activities of participants included dining, community events, and walking or biking. The most important elements of the waterfront were access to boardwalks and waterfront pathways, views of the river, and parks and open spaces. Participants felt that the project should focus on providing incentives for landowners and developers to provide waterfront pathways and open space and the control of the scale, height, and width of buildings. Views of the water and opportunities for access were common themes.

Concerning building height, participants generally desired buildings not to exceed two and a half stories. Participants did not prioritize more prescriptive requirements concerning building frontages, materials, and roof types. However, most felt parking lots in front of waterfront buildings detracted from their character and were not attractive.

Communities with waterfront development characteristics that were most appreciated were South Haven, Grand Haven, and Harbor Springs. Exhibit 4 includes a more detailed summary of the survey results.

Visual Preference Survey

A visual preference survey was also available during July, and it was intended to serve as a community assessment of different building designs, forms, and architectural elements. The survey attracted 293 participants, and 75% were full-time or part-time residents.

Participants indicated whether they preferred or did not prefer 25 separate images of buildings with a variety of forms, designs, and placements. Our goal was to identify patterns and trends regarding participant preferences and provide the opportunity for written responses.

The following table shows the general findings of the visual preference survey. Exhibit 5 shows more detailed response information with the first question “Do you prefer this building?” The second question was “Are there any aspects of this building that you like.”

Aspect	Preferred Buildings	Buildings not Preferred
For Water Street	8	17
For Park Street	7	18
Stories	1-2	2-5
Siding	Primarily horizontal clapboard	Wide range
Roof	All were pitched or hipped except one	All were flat except one
Style	Mainly traditional	Mostly modern, but some traditional

Recommendations for Zoning Amendments

The City's Zoning Ordinance regulations have the most significant impact on the development and redevelopment potential of the study area, while the Historic Preservation Guidelines considered by the Historic Preservation Committee (HDC) guide the specific architectural design and character of buildings. With that in mind, the following are initial recommendations and options for consideration by the Planning Commission.

Architecture

Zoning ordinances, particularly form-based codes, commonly address articulation, materials, fenestration, entry locations, facades, building min/max height, first-floor ceiling height, etc. Some codes are heavier than others concerning design and architecture, with or without a historic district. Others are silent and focus only on placement and measurable dimensional requirements.

Earlier in the process, requiring a minimum percentage of windows and doors on building facades, entryways oriented to the public right-of-way, and entry features (porch, balconies, stoops, etc.) felt appropriate. However, based on input from the HDC and no conclusive preferences regarding architectural treatments of buildings, it is recommended that the City's zoning practice continues to defer to the Historic Preservation Guidelines and the HDC's work, as the entire study area on the east side of the Kalamazoo River is within the Historic Preservation District.

Parking

While parking is a continued issue and a very high priority based on public input, retaining the on-site parking waiver for C-1 WSN and C-2 WSS is recommended. Still, discussions regarding a comprehensive strategy for public parking should continue. On-street parking, to some extent, will continue to serve customers and residents in the study area. However, the visual impact of on-site parking, when utilized, should be minimized.

For instance, parking lots in C-1 WSN and C-2 WSS should have minimum setbacks from the public right-of-way (beyond the front building line) and be placed to the side or rear of buildings. Further, it is recommended that overhead doors facing the public right-of-way and front-loaded garages are prohibited in these districts. The visual impact of parking lots should also be softened by low walls or vegetative screening. However, these recommendations do not apply to the R-4 Resort district based on the depth of lots and lack of on-street parking.

Dimensional Requirements

Summary

The summary of dimensional requirements is provided below for reference while reviewing the following two pages.

Zoning District Comparison- Dimensional Requirements				
Requirement		C-1 WSN	C-2 WSS	C-4 Resort
General				
Min. Lot Area (sq. ft.)		4,560 ¹	6,660 ²	15,000
Min. Lot Width (ft.)		66	66 ³	66
Max. Lot Depth (ft.)		--	100 ⁴	--
Max. Lot Coverage (%)		100	45	50
Max. Building Height (ft.)		28	28	28
Min. Setbacks (ft.)	Front	0	0	15
	Side	0	10	10
	Rear	0	15	10
	Water	25	25	25
Single-Family Residential (and Two-Family in C-1 WSN only)				
Min. Lot Area (sq. ft.)		6,600	--	8,712
Min. Lot Width (ft.)		66	--	66
Max. Lot Coverage (%)		50	--	25
Max. Building Height (ft.)		28	--	28
Min. Setbacks (ft.)	Front	15	--	15
	Side	5	--	7 ⁵
	Rear	10	--	10
	Water	25	--	25

¹ 8,712 square feet required for bed and breakfast, hotel/inn, and motel/motor court.

² 13,200 square feet required for hotel/inn, motel/motor court, motion picture facility, and marina commercial/private.

³ 132-foot minimum lot width required for hotel/inn, motel/motor court, motion picture facility, and marina commercial/private.

⁴ 100-foot minimum lot depth required for hotel/inn, motel/motor court, motion picture facility, and marina commercial/private.

⁵ For lots less than 66-feet wide, the side setbacks on each side shall be 10% of the lot width.

Lot Size

In C-1 WSN and C-2 WSS, most existing lots exceed the minimum areas for the subject zoning districts. The Planning Commission may wish to consider increasing minimum lot sizes to at least a quarter of an acre for waterfront lots but possibly slightly less for C-1 WSN. Increased lot sizes will allow for additional room for open space, access, and visibility.

Setbacks

While the front setback of waterfront buildings along Water Street and Park Street range in depth, buildings are generally drawn closer to the street. However, buildings are not drawn as close to the public right-of-way as those along Butler, Culver, Mason, Hoffman, and the east side of Water Street, as those property frontages reflect more of a “main street” character. As such, a zero-foot setback is not recommended for C-1 WSN and C-2 WSS.

For C-1 WSN, an increased minimum front setback of five feet is recommended, and an increased minimum front setback of 10 or 15 feet for C-2 WSS. Along with sidewalks in the public right-of-way, the extra room would allow for outdoor café seating and further limitations on building bulk and scale. With minimum front setbacks, maximum setbacks of 10-20 feet may also be considered, creating a “build-to area” between the minimum and maximum setbacks where the front building line must be placed.

Concerning side setbacks, C-1 WSN should have setbacks of at least 10 feet on each side or 20 feet on one side rather than the zero foot setback. Increasing side setbacks from 10 to 15 or 20 feet in C-2 WSS may be more appropriate. Waivers to reduce side setbacks could be considered through the Planned Unit Development process if a minimum area was maintained within the waterfront yard for public access.

The waterfront setback of 25 feet remains appropriate. Still, a waiver could be considered to reduce the setback to 10-15 feet if at least 10 feet of depth is reserved for public access through the Planned Unit Development process. Further, certain accessory structures may be appropriate and permissible within the setback area, specifically for marinas and related uses.

Building Width and Roof Lines

Maximum building width is not currently regulated. The maximum building width should be around 60%. However, this may be more appropriate to apply to the C-2 WSS and C-4 Resort districts. Due to the narrower lots of C-1 WSN, increased setbacks should be sufficient to address building mass and scale. The Planning Commission may also consider varying the roof lines for larger and wider buildings.

Height

The current city-wide building height maximum is 28 feet (32 feet at peak), and the number of stories is not regulated. While it is unlikely that a three-story building could be constructed with this height limit, the Zoning Ordinance should specifically state that buildings are limited to two and a half stories, and “half story” should be defined to limit the amount of usable floor space.

Building Coverage and Open Space

The C-2 WSS and C-4 Resort districts include maximum building coverages of 45% and 50%, respectively. Waivers to increase lot coverage could be considered through the Planned Unit Development process if a minimum area was maintained within the waterfront yard for public access.

Concerning C-1 WSN, a more restrictive minimum lot coverage is recommended. Acknowledging the smaller-sized parcels of C-1 WSN, lot coverage between 70% and 80% could be considered.

Additionally, for all mixed-use and commercial buildings, there should be a minimum of usable outdoor open space or civic area for use by tenants, customers, or clients, or at the discretion of the owner, use by the general public.

Land Use Regulation

In general, listed land uses should be simplified, modernized, and better defined. As long as dimensional and HDC requirements are met, the use of any portion of a building should be secondary. However, single-family and two-family dwellings do not seem appropriate for C-1 WSN and C-2 WSS, but residential apartment units on the upper floors remain appropriate. While the ordinance currently restricts first-floor dwellings in mixed-use buildings, this restriction may be less important on ground floors facing the waterfront.

Another consideration is to increase reliance on the special land use process to expand the discretionary review authority of the Planning Commission. Several uses currently listed as “permitted” could be reclassified as “special land uses,” such as personal services, galleries, retail stores, and marinas.

Flood Areas

It should be noted that a significant percentage of the study area falls within a Special Flood Hazard Area (SFHA). A SFHA is defined as the area that will be inundated by the flood event having a one-percent chance of being equaled or exceeded in any given year. The one-percent annual chance flood is also referred to as the base flood or 100-year flood.

The most notable areas primarily outside of the SFHA with higher redevelopment potential include the Singapore Yacht Club parking lot and the Coral Gables building. The most notable areas within the SFHA that have a higher redevelopment potential include 640, 650, and 716 Water Street and the Casa Loma Marina property on Park Street.

The lowest floor level of buildings on developed or redeveloped properties within the SFHA must be at least one (1) foot above the Base Flood Elevation (BFE). Buildings proposed to maximize the height allowance will be slightly limited by this provision. In certain circumstances, in zoning practice, the ground floor elevation is prescribed. However, raised buildings will have no bearing on the zoning recommendations in this report.

Recommendations for Zoning District Regulation

Traditional Base Districts or Overlay

While zoning recommendations have been provided, the City must determine how they are applied. Considering the study area includes a portion of each of the three subject zoning districts, we need to ensure that requirements are specific to waterfront lots and not non-waterfront lots in the same districts. A few options are using traditional zoning districts and overlay zoning districts, some more complicated than others. As always, the more straightforward the framework, the better.

1. Divide out three additional waterfront zoning districts.
2. Create a waterfront zoning district for the entire study area with varying applicability of requirements (i.e. lots north vs. south of Francis Street).
3. Establish a waterfront overlay district with a similar intent as the waterfront zoning district.
4. Amend C-1 WSN, C-2 WSS, and C-4 Resort districts separately with distinct “waterfront lot” requirements.

Planned Unit Development

Planned Unit Development (PUD) zoning was recommended early to allow for waivers that may incentivize public access to the waterfront. There are two PUD options envisioned as possibilities.

1. Voluntary PUD. A voluntary waterfront PUD option could have distinct goals and desired design characteristics to demonstrate recognizable waterfront benefits to the community. Development incentives are an essential aspect of this option.
2. Mandatory PUD. The Planning Commission may also consider establishing the entire study area as a PUD with defined goals and design characteristics. With this option, the City would have significant discretionary authority to require developers to submit a preliminary plan before a final site plan for each lot.

Summary

After review of this report, the Planning Commission should continue its discussion but focus on the direction of the zoning requirements and recommendations. From there, the regulatory framework can be drafted and then calibrated when discussed in more detail in September.

Exhibit 1: Area of Study

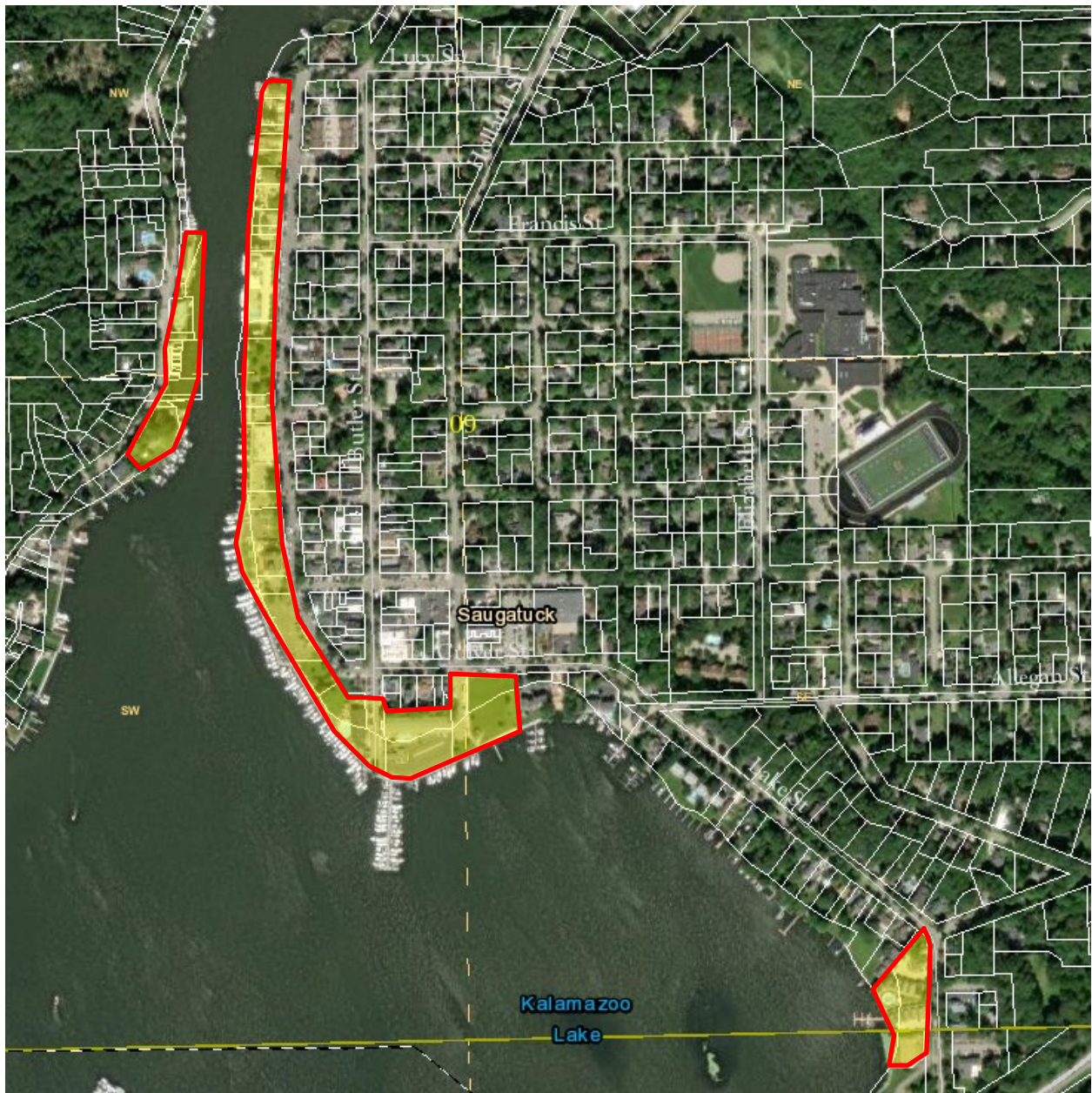


Exhibit 2: Public Input Board- Priorities

What are the most important topics to study during this project? (Choose 3)

place dots here!

Topic	Dot Count (Green, Blue, Red)
Building frontages <i>(such as entries, porches, overhangs, and amount of window visibility)</i>	10 (7 Green, 2 Blue, 1 Red)
Building materials <i>(such as brick, metal, wood, stucco, etc.)</i>	3 (2 Green, 1 Blue)
Green spaces <i>(for natural infiltration and treatment of stormwater)</i>	20 (12 Green, 6 Blue, 2 Red)
Land use <i>(i.e., retail, office, services, residential, mixed use, etc.)</i>	10 (6 Green, 3 Blue, 1 Red)
Parking	8 (5 Green, 3 Blue)
Public space <i>(such as pathways, pocket parks, and the incentives to provide them)</i>	20 (12 Green, 6 Blue, 2 Red)
Rooflines / Roof types	4 (2 Green, 1 Blue, 1 Red)
Scale, height, and width of buildings	15 (8 Green, 4 Blue, 3 Red)
Sidewalks and outdoor seating <i>(within the public realm / right-of-way)</i>	12 (7 Green, 3 Blue, 2 Red)

TO PROVIDE ADDITIONAL INPUT, PLEASE TAKE OUR ONLINE SURVEY

<https://www.surveymonkey.com/r/waterfront-zoning>

Historic church architecture takes...

Meeting Number	Meeting Date	Meeting Date
1/1/2023	1/1/2023	1/1/2023
2/1/2023	2/1/2023	2/1/2023
3/1/2023	3/1/2023	3/1/2023
4/1/2023	4/1/2023	4/1/2023
5/1/2023	5/1/2023	5/1/2023
6/1/2023	6/1/2023	6/1/2023

Exhibit 3: Public Input Board- Visual Preference


Visual Preference

The City's "visual preference survey" serves as a community assessment of different building designs, forms, and architectural elements. This exercise will attempt to identify patterns and trends regarding participant preferences and also provide the opportunity for you to submit written responses.

Please consider these images as they relate to future waterfront development in the City of Saugatuck along Water Street and Park Street.

*Blue - City of Saugatuck - Primary (in video)
Red - City of Saugatuck - Secondary (in our assembly)
Green - Other (ie. Towns, Towns Douglas, etc)
Use Pens to designate Preferences
Use Stickers for Priorities*

ONLINE VISUAL PREFERENCE SURVEY



<https://www.surveymonkey.com/r/waterfront-visual>







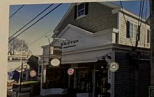



Image	PREFER	DO NOT PREFER	Response
	9	7	19 1 2 1
	4	6	15 2 1 4 3 11 6 4 16
	4	4	5 3 2 6
	6	4	16
	4	4	5 3 2 6
	5	5	2 3 11 4 6 16
	6	6	11
	6	4	11
	6	4	16 2 1 5 3 8 2 3 9
	5	3	8 2 3 9

Exhibit 4: Waterfront Survey Summary

1. *Are you a full-time or part-time resident of the City of Saugatuck?*
 - Full-time/primary home resident **47% / 145**
 - Part-time/second home resident **29% / 90**
 - Not a resident **24% / 75**
 - Total Respondents **310**

2. *If you are a full-time or part-time resident, where do you live?*
 - Not a resident **27% / 83**
 - On the "Hill" **23% / 70**
 - Downtown **21% / 65**
 - Peninsula/west of the river **17% / 51**
 - North/east side of the river **13% / 39**
 - Total Respondents **308**

3. *If not a resident, are you:*
 - A resident of Saugatuck Township **40% / 57**
 - A resident outside of Allegan County **36% / 51**
 - A resident outside of Saugatuck, Douglas, or Saugatuck Township but within Allegan County **13% / 19**
 - A resident of Douglas **11% / 15**
 - Total Respondents **142**

4. *How do you currently use the waterfront area? (choose all that apply)*
 - Dining **85.81% / 266**
 - Entertainment, i.e. Concerts in the Park, Star of Saugatuck, Art Shows, etc. **82.58% / 256**
 - Walking/running/biking/exercise **76.45% / 237**
 - Shopping **68.39% / 212**
 - Park use **68.06% / 211**
 - Sightseeing **55.48% / 172**
 - Marina use, slip holder, or boat rentals **38.06% / 118**
 - Dog walking **35.48% / 110**
 - Residence **23.23% / 72**
 - Fishing **11.29% / 35**
 - Employment **8.06% / 25**
 - Total Respondents **310**

5. *Which waterfront area features are most important to you? (pick one to three)*
 - Access to boardwalks and waterfront pathways **75.16% / 233**
 - Views of the river from Water Street and Park Street **51.94% / 161**
 - Parks and open space **51.29% / 159**
 - Outdoor dining **25.48 / 79**
 - Historic building preservation **23.87% / 74**
 - Restaurants **20.00% / 62**

- Public docks **13.87% / 43**
 - Parking availability **10.65% / 33**
 - Sidewalks along the street **7.42% / 23**
 - Shopping **4.52% / 14**
 - Housing **2.58% / 8**
 - Wayfinding and historical area signage **2.26% / 7**
 - Fishing areas **1.94% / 6**
 - Hotels **1.29% / 4**
 - Total Respondents **310**
6. *What are the most important topics to study? (pick one to three)*
- Pathways, pocket parks, and public space, and incentives to provide them **61.29% / 190**
 - Scale, height, and width of buildings **57.10% / 177**
 - Sidewalks and outdoor seating within the public realm (right-of-way) **43.87% / 136**
 - Land use- retail, office, services, residential, mixed-use, etc. **38.71% / 120**
 - Green spaces for natural infiltration and treatment of stormwater **35.81% / 111**
 - Parking **21.61% / 67**
 - Building frontages such as entries, porches, overhangs, and amount of window visibility **12.26% / 38**
 - Building materials **7.10% / 22**
 - Rooflines and roof types **4.52% / 14**
 - None of the above **0.65% / 2**
 - Total Respondents **310**
7. *To what degree do you agree or disagree with the following statements? Summary numbers include those who strongly agree or agree.*
- Buildings should be designed and placed to preserve views of the water. **90.58% / 283**
 - Building bulk, mass, and scale should be limited along the waterfront. **86.89% / 270**
 - I am concerned with the character and scale of new buildings along the waterfront. **79.87% / 246**
 - Outdoor dining along sidewalks, such as café seating, is desirable. **73.61% / 226**
 - I would support development incentives, such as building setback reductions if a boardwalk or waterfront access was provided for public use. **67.53% / 208**
 - It is safe to walk along the sidewalks or bike on the street along Water Street. **55.05% / 169**
 - I would support development incentives, such as building height increases if a boardwalk or waterfront access was provided for public use. **37.34% / 115**
 - It is safe to walk or bike along Park Street. **32.03% / 98**
 - I do not mind seeing parking lots in front of waterfront buildings or on waterfront sites. **24.10% / 74**
 - Total Respondents **310**
8. *What building height do you believe is best for the community on the downtown side of the river? (choose one)*
- Buildings up to two or two and a half stories **55.99% / 173**
 - Buildings up to one story **31.07% / 96**

- Buildings up to three stories **8.41% / 26**
 - Buildings up to four stories **4.53% / 14**
 - Total Respondents **309**
9. *What building height do you believe is best for the community on the Peninsula (west) side of the river? (choose one)*
- Buildings up to two or two and a half stories **58.63% / 180**
 - Buildings up to one story **28.01% / 86**
 - Buildings up to three stories **8.47% / 26**
 - Buildings up to four stories **4.89% / 15**
 - Total Respondents **307**
10. *Tell us your “big ideas” for the waterfront. For instance, a playground, commercial development opportunity, fishing pier, boat launch improvement, park benches, bike racks, patio, mixed-use project, housing, etc. Summary of zoning-related ideas below:*
- Preservation of open spaces
 - Ensure views of the river
 - Provide Bike racks
 - Encourage mixed-use buildings
 - Preserve historic character
 - Plan for restaurants and bars
 - Maximize green space
 - Limit size of buildings
 - Control scale and massing
 - Increase outdoor dining options
11. *What are your most significant concerns related to the waterfront? General summary below:*
- Loss of access to the waterfront
 - Tall buildings
 - Larger buildings that are out of scale
 - Blocking views
 - Overdevelopment
 - Loss of historic charm
 - Loss of open space
 - Lack of parking
 - Water quality
12. *What waterfront communities have developed in a way that you would like to see along the Saugatuck waterfront, and what aspects do you like about them?*
- South Haven (14)
 - Buildings do not block views
 - Access to pier and beach
 - Well-designed downtown near the water
 - Connection to Lake Michigan, improved streetscapes, covered farmers market and ice rink.

- Green space and access
- Mixed commercial and residential uses
- Accessible to public
- Good waterfront vibe
- diversity of structures and marina
- mixture of scenic waterways, restaurants, shopping and housing
- Grand Haven (14)
 - Buildings do not block views
 - Boardwalk
 - Public access
 - Boardwalk and access to water
 - Green space along waterfront
 - Sidewalks and green spaces along channel
 - integration of park spaces, beach, boater day slips, outdoor dining, and vibrant downtown. Larger condos are developed on outskirts and further back so not blocking public view.
- Harbor Springs (7)
 - Lovely and not congested
 - Upscale and tasteful
 - Balance of commercial, residential with water views, access, and activities
 - Water views
- Chicago (6)
 - Lakefront paths
 - Green space along the riverfront and lakefront
 - Greenways
- Leland (6)
 - historic buildings along their primary thoroughfare
- Charlevoix (4)
 - Balance of commercial, residential with water views, access, and activities
- Traverse City (3)
 - Balance of water access and scale/massing while with focus on historic district preservation
 - Set back from water
- Petosky (3)
 - Balance of water access and scale/massing while with focus on historic district preservation
 - Parks and green spaces along the bay with views
 - historic character and green spaces
- Holland (3)
- Mackinaw (2)

Several other waterfront communities were mentioned, but only once each.





Exhibit 5: Visual Preference Survey Summary





1. *Are you a full-time or part-time resident of the City of Saugatuck?*
 - Full-time/primary home resident **48% / 141**
 - Part-time/second home resident **27% / 78**
 - Not a resident **25% / 74**
 - Total Respondents 293

2. *If you are a full-time or part-time resident, where do you live?*
 - Not a resident **29% / 84**
 - Downtown **25% / 72**
 - On the "Hill" **20% / 57**
 - Peninsula/west of the river **17% / 50**
 - North/east side of the river **10% / 29**
 - Total Respondents **292**

3. *If not a resident, are you:*
 - A resident of Saugatuck Township **37% / 46**
 - A resident outside of Allegan County **33% / 41**
 - A resident outside of Saugatuck, Douglas, or Saugatuck Township but within Allegan County **16% / 20**
 - A resident of Douglas **14% / 17**
 - Total Respondents **124**





A summary of building preferences is found on the following pages.





Building		Preference		Other Aspects	
1.		Answer Choices	Responses	Answer Choices	Responses
		Yes- Water Street	7.12% 19	Height or number of stories	8.33% 22
		No- Water Street	92.13% 246	Sidewalk or boardwalk	27.65% 73
		Yes- Park Street	9.74% 26	Landscaping/trees	25.38% 67
		No- Park Street	87.64% 234	Width	5.30% 14
			Answered 267	Roof type	5.30% 14
			Skipped 26	The use of the building (commercial, residential, mixed-use, etc.)	16.29% 43
				Windows and doors	7.95% 21
				Porches or balconies	32.58% 86
				I did not like any aspects of this building	48.48% 128
				Answered 264	
				Skipped 29	
2.		Answer Choices	Responses	Answer Choices	Responses
		Yes- Water Street	14.02% 37	Height or number of stories	14.45% 37
		No- Water Street	85.98% 227	Sidewalk or boardwalk	12.89% 33
		Yes- Park Street	8.71% 23	Landscaping/trees	11.33% 29
		No- Park Street	89.77% 237	Width	1.95% 5
			Answered 264	Roof type	3.91% 10
			Skipped 29	The use of the building (commercial, residential, mixed-use, etc.)	16.02% 41
				Windows and doors	7.03% 18
				Porches or balconies	3.91% 10
				I did not like any aspects of this building	66.02% 169
				Answered 256	
				Skipped 37	
3.		Answer Choices	Responses	Answer Choices	Responses
		Yes- Water Street	76.74% 198	Height or number of stories	71.08% 177
		No- Water Street	22.09% 57	Sidewalk or boardwalk	28.51% 71
		Yes- Park Street	63.18% 163	Landscaping/trees	16.06% 40
		No- Park Street	34.11% 88	Width	24.90% 62
			Answered 258	Roof type	30.92% 77
			Skipped 35	The use of the building (commercial, residential, mixed-use, etc.)	30.52% 76
				Windows and doors	24.90% 62
				Porches or balconies	6.43% 16
				I did not like any aspects of this building	14.46% 36
				Answered 249	
				Skipped 44	
4.		Answer Choices	Responses	Answer Choices	Responses
		Yes- Water Street	9.88% 25	Height or number of stories	9.70% 23
		No- Water Street	89.33% 226	Sidewalk or boardwalk	8.02% 19
		Yes- Park Street	6.72% 17	Landscaping/trees	4.64% 11
		No- Park Street	93.28% 236	Width	2.95% 7
			Answered 253	Roof type	2.95% 7
			Skipped 40	The use of the building (commercial, residential, mixed-use, etc.)	9.70% 23
				Windows and doors	8.02% 19
				Porches or balconies	3.80% 9
				I did not like any aspects of this building	72.57% 172
				Answered 237	
				Skipped 56	

5.		<table border="1"> <thead> <tr> <th>Answer Choices</th> <th colspan="2">Responses</th> </tr> </thead> <tbody> <tr> <td>Yes- Water Street</td> <td>72.87%</td> <td>180</td> </tr> <tr> <td>No- Water Street</td> <td>24.70%</td> <td>61</td> </tr> <tr> <td>Yes- Park Street</td> <td>78.95%</td> <td>195</td> </tr> <tr> <td>No- Park Street</td> <td>21.05%</td> <td>52</td> </tr> <tr> <td></td> <td>Answered</td> <td>247</td> </tr> <tr> <td></td> <td>Skipped</td> <td>46</td> </tr> </tbody> </table>	Answer Choices	Responses		Yes- Water Street	72.87%	180	No- Water Street	24.70%	61	Yes- Park Street	78.95%	195	No- Park Street	21.05%	52		Answered	247		Skipped	46	<table border="1"> <thead> <tr> <th>Answer Choices</th> <th colspan="2">Responses</th> </tr> </thead> <tbody> <tr> <td>Height or number of stories</td> <td>66.09%</td> <td>152</td> </tr> <tr> <td>Sidewalk or boardwalk</td> <td>29.13%</td> <td>67</td> </tr> <tr> <td>Landscaping/trees</td> <td>37.83%</td> <td>87</td> </tr> <tr> <td>Width</td> <td>30.43%</td> <td>70</td> </tr> <tr> <td>Roof type</td> <td>34.35%</td> <td>79</td> </tr> <tr> <td>The use of the building (commercial, residential, mixed-use, etc.)</td> <td>25.22%</td> <td>58</td> </tr> <tr> <td>Windows and doors</td> <td>33.91%</td> <td>78</td> </tr> <tr> <td>Porches or balconies</td> <td>46.52%</td> <td>107</td> </tr> <tr> <td>I did not like any aspects of this building</td> <td>12.17%</td> <td>28</td> </tr> <tr> <td></td> <td>Answered</td> <td>230</td> </tr> <tr> <td></td> <td>Skipped</td> <td>63</td> </tr> </tbody> </table>	Answer Choices	Responses		Height or number of stories	66.09%	152	Sidewalk or boardwalk	29.13%	67	Landscaping/trees	37.83%	87	Width	30.43%	70	Roof type	34.35%	79	The use of the building (commercial, residential, mixed-use, etc.)	25.22%	58	Windows and doors	33.91%	78	Porches or balconies	46.52%	107	I did not like any aspects of this building	12.17%	28		Answered	230		Skipped	63
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Yes- Water Street	7.50%	15
No- Water Street	92.50%	185
Yes- Park Street	5.50%	11
No- Park Street	94.50%	189
	Answered	200
	Skipped	93

Answer Choices	Responses	
Height or number of stories	5.68%	10
Sidewalk or boardwalk	2.27%	4
Landscaping/trees	1.14%	2
Width	0.00%	0
Roof type	2.27%	4
The use of the building (commercial, residential, mixed-use, etc.)	7.95%	14
Windows and doors	3.98%	7
Porches or balconies	9.09%	16
I did not like any aspects of this building	80.11%	141
	Answered	176
	Skipped	117

From: Denise B <dbarowicz71@gmail.com>

Sent: Thursday, August 3, 2023 11:22 AM

To: Jamie Wolters <Jwolters@saugatuckcity.com>

Subject: Re: City of Saugatuck Waterfront Surveys Ends July 31

hi. I know the survey has closed. how/where do we give input...meetings? I'm a 2nd home owner at saug harbor, also live in St. joseph.

my opinion: the city needs to preserve the quaintness of saugatuck in order to continue to make it a destination place. the "feel of a city" is desirable....and that should be the goal. cutting the view above one story only benefits a few and will change the town forever in a negative manor....and it will put unnecessary pressures on the river bank, sanitation, etc. new buffalo blocked their view and the city no longer has the same vibe. St. joe luckily has the full length bluff and the beaches below city street level.

we need to ask ourselves what is the overall goal and what are all of the options to reach them.

thanks

denise barowicz



Planning, Zoning and Project Report

August 14, 2023

Planning and Zoning

- Prepared for and attended Short Term Rental Task Force meeting.
- Prepared for Historic District Commission meeting. The initial waterfront assessment report was also shared with the HDC members for feedback.
- Prepared for and attended Zoning Board of Appeals meeting.
- Attended STR Task Force Town Hall meeting. McKenna Associates advised 103 attended! The Town Hall summary report can be viewed in the 8-3 STR Task Force packet:
https://www.saugatuckcity.com/uploads/1/3/3/9/133977444/str_p_8.3.23.pdf
- The STR Survey is now closed. A report of the results will be presented at the August 17 STR Task Force meeting.
- The Waterfront Development Survey and Visual Preference Survey are now closed. A report of the results will be presented at the August 17 Planning Commission meeting.
- Set up and participated in HDC candidate interview.
- Followed up with AT&T regarding Mount Baldhead project questions.
- Met with legal and planning consultant to discuss waterfront zoning regulation options.
- Participated in a Zoom meeting with the South Haven Zoning Administrator to discuss STR enforcement.
- Lunch meeting with the new Douglas Zoning Administrator.
- Continued follow-up on complaints of code violations throughout the City.
- Met and talked with property owners and applicants to answer questions and provide resources.
- Completed planning and zoning casework as outlined in the chart below.

Planning and Zoning Casework

149 Griffith	HDC and Zoning	<p>Historic District application for various work. Replacing siding, decks, fencing, windows, and doors. Repair and modify existing roof. Remove existing chimney, basement hatch, walk-in cooler, steps, shrubs and ivy. Add new deck and steps. HDC approved work with conditions. Discussed additional work the applicant is considering and issues with a front window. A second HDC app was submitted to replace fence, modify window, add new patio space and freezer, and remove a rear door and infill. HDC approved with conditions. Applicant submitted site plan application and materials requested by HDC. Initial materials were not what was approved by HDC. Applicant revised plans. Applicant submitted site plan application. Planning Commission approved with condition. Permit issued.</p>
560 Mill	Enforcement	<p>Written request to extend fence onto City property. Also received a complaint of hardscape in right of way and lack of parking along Simonson Dr. Reviewed history. Sent to legal for review as no prior formal approval for landscaping or hardscaping on city property and fencing can't be placed in right of way per zoning ordinance. Discussed with City Manager, City Attorney, City Engineer and insurance carrier. Homeowner asked to remove hardscape items from right of way. Met with homeowner and landscaper. Discussed options. Owner advised to remove items. Received letter from homeowners attorney. Shared with legal. Seeking policy direction from City Council. Update planned for August 23 workshop.</p>
860 Simonson	Enforcement	<p>Complaint of hardscaping in the right of way along Simonson Dr and parking issues in area. Observed site. Found stone wall in the City right of way. Work occurred sometime after 2019. Was not permitted or licensed. Sent owner e-mail requesting hardscaping to be removed. Owner requested an in person meeting. Met with owner to discuss options. Owner plans to work with neighbor to approach City Council. Owner advised to remove items. Update planned for August 23 workshop.</p>

Planning and Zoning Casework Continued

405 Park	Multiple Enforcements	<p>Previous complaint of possible retaining wall, gravel fill, and window/door additions without permits. Researched history and investigated concerns. No permits found for retaining wall which is in city ROW. Previous discussion of work but no final plans. Sent email to property owner. No response. MTS sent a letter. EGLE logged a complaint and advised work appears to be a violation of Part 31 and may not be permissible "after-the-fact".</p> <p>Additional complaint of new dumpster without screening. Discussed with legal. Sent letter to owner to remove dumpster and apply for appropriate permits when moratorium is no longer in place. Dumpster has been removed.</p> <p>Fire Department recently responded to a gas line struck. Trench work was being conducted to replace sewage line on private property. Viewed on site with engineer. Also observed retaining wall removal and vegetation removal. Followed up with homeowner regarding engineer's recommendations. No response.</p> <p>Received a report that deck and cantilevered structure work was occurring on site. Notified MTS and building inspector confirmed. No zoning or building permits issued for this work. Moratorium remains in place. Discussed enforcement action with legal. Issued a stop work order and civil infraction notices for lack of zoning permits and destruction/excavation of a street without permits. Discovered prior deck work also completed without permits. Received response from owner's attorney. Worked with legal on responses. Stop work order for deck and structural work remains in effect. No EGLE updates at this time.</p>
184 Park	Setback Variance / New Home	<p>ZBA application for front setback variance. ZBA granted variance. Zoning app and water/sewer connection app received for new home received. Engineer and planning consultant reviewed. Provided feedback from both. Engineer answered applicant questions. Still awaiting updated plans.</p>

Planning and Zoning Casework Continued

633 Butler	Enforcement	Complaint that ADU and main home are being rented separately. Complainant advised they would send information they discovered supporting this. This information was never received. Conducted an evaluation of available information and discovered evidence supporting the complaint. Notified the owner and rental agent to cease renting the ADU and home separately. Answered additional questions related to obtaining special land use approval to owner occupy the home and rent the ADU separately.
241 Culver	Enforcement	Evidence found that home is being rented without a STR certificate. STR application was reviewed with legal and denied back in March due to not meeting zoning ordinance requirements. Discussed enforcement options with legal. Sent violation letter via e-mail and mail with opportunity to voluntarily cease use as STR within 7 days. Response received from owner's attorney reviewed by legal. City Attorney reviewed and sent response. Worked with legal on second response to owner's attorney. Provided owner with options.
665 Spear St	Drainage Complaint	Concern of drainage issues from project. Over winter similar concerns received. Engineer reviewed and felt issues were soil and erosion related. Notified Allegan County Health Department at that time. Received further information from neighbor. Viewed on site with Engineer and DPW Superintendent. Project still ongoing. Some storm water items on site but not connected. Sand bags on portion of property. Engineer advised stormwater plans should be requested. He advised to notify Allegan County as well to check on soil and erosion control permit. Advised owner of complaint and requested stormwater management plans. Advised Allegan County. Meeting held with owner. He advised he was meeting with contractor soon and will provide formal stormwater plans to review. Sent e-mail asking if formal plans have been developed.

Planning and Zoning Casework Continued

321 Water	Variance Request	ZBA app for a dimensional variance for a 6'10" fence where only a 6' fence is allowed. Scheduled for August ZBA meeting.
256 Spear	Complaint	Complaint of homeowner charging for parking and parking several cars on the property. Under continued review with legal.
333 Lucy	HDC and Zoning	HDC app to remove sliding doors, replace with double hung windows and French door. Replacement of entrance steps. HDC approved with conditions. Zoning permit app needed for porch stairs.
291, 292, 293, 296, 297, 298, 301 Sugar Hill Ct	Formal Site Plan Review	Formal site plan app. Met with consultant and applicant's planner. Scheduled for August 17 PC meeting.
901 Allegan	Enforcement	Complaint of signs in right of way. Complainant sent photo which showed construction signs. Sent contractor an e-mail of regulations and sign permit app. Signs remain. Sent formal notice to remove.
1041 Holland	Short Term Rental	STR app. New owner of existing STR. Sent to Fire Department for inspection.
146 Butler	Short Term Rental	STR app. Previous STR. Sent to Fire Department for inspection.
234 Francis	Short Term Rental	STR app. Renewing. Sent to Fire Department for inspection.
445 S Maple	Sewer Connection	Sewer connection on Township side into City infrastructure. Township permitted the work. Had City Engineer review. Connection fee transferred to City.
638 Allegan	Enforcement	Real estate sign placed in City right of way. E-mailed agent advising of regulation and asking for removal Sign remained. Additional real estate "open house" sign placed in right of way. Issued civil infraction notice to listing agent. Sign removed from right of way.
248 Culver	Special Land Use	Special land use app for a brewery and restaurant. Answered applicant questions related to concerns with distribution language. Discussed with legal and consultant. To distribute will require a text amendment. Applicant may be seeking that at later date. Scheduled application for August 17 PC meeting.

Planning and Zoning Casework Continued

560 Campbell	Complaint	Information received that single family dwelling on property is being advertised as an STR and is not registered. Confirmed not registered. Reviewing and gathering history.
441 Frederick	Short Term Rental	STR app. New STR. Sent to Fire Department for inspection. Advised owner inspection shall occur within 30 days. Owner withdrew application.
336 Mary	Short Term Rental	STR app. Previous STR. Sent to Fire Department for inspection.
520 S Maple	Enforcement	Complaint of trash tote left by road three days after pickup. Checked area and observed violation. No prior complaints logged. Sent warning/informational letter.
510 S Maple	Enforcement	Complaint of trash tote left by road three days after pickup. Checked area and observed violation. Recycling receptacle also not screened. Complaint also received earlier in this year. Sent prior warning/informational letter. Civil infraction notice issued. Fine payment due by 8/18/23.
940 Pleasant	Inquiry	Questions about utility depths. Provided requested information supplied by engineer.
642 and 648 Allegan	Short Term Rental	STR app for both dwellings. New owner of existing STRs. This property is a legal nonconforming use. Advised applicant another app and fee will be needed to issue a certificate to each unit. Second app received.
717 Water #5	Short Term Rental	STR app. New owner of existing STR. Need property transfer affidavit and fee paid.
851 Holland	Street Cut	Street cut permit application for gas line work. Reviewed by engineer. Fee/deposit needed.
731 Pleasant	Short Term Rental	STR app. New STR. Sent to Fire Department for inspection. Passed. STR certificate issued.
230 Griffith	Short Term Rental	STR App. Renewing. Sent to Fire Department for inspection. Passed. STR certificate issued.
325 Elizabeth	Enforcement	Complaint of mattresses placed discarded between sidewalk and street. Attempted to speak to homeowner. No answer. Sent letter to remove. Items removed.
N/A	Inquiry	Questions about short term and long term rental units. Returned voicemail and answered questions.

Planning and Zoning Casework Continued

N/A	Inquiry	Questions about drones. Returned voicemail and answered questions.
321 Water	Inquiry	Questions about installing a generator. Answered questions.
816 Allegan	Inquiry	Questions about lead water service lines. Discussed lead and copper rule and answered questions.
345 Griffith	Enforcement	Complaint via website that rocks were placed in the right of way outside address. Complainant submitted photo. E-mailed owner to remove rocks. Answered owner questions. Also observed sign in right of way. Asked to remove. Rocks and sign removed.
91 Interlaken	Inquiry	Request for elevation certificate and plat map. Provided plat maps. MTS and City files have no elevation certificate. Advised owner how to obtain one.
149 Griffith	Inquiry	Questions about construction noise ordinance. Provided times listed in the ordinance.
665 Spear	Inquiry	Questions about permits for interior HVAC work. Referred to MTS.
647 Butler	Zoning and HDC	Zoning and historic app for patio and fireplace. Chair reviewed. Needed setbacks labeled for patio and fire pit. Fire pit doesn't meet distance requirements in open fire ordinance. Deputy Chief confirmed. Applicant removed fire pit from plans. HDC and zoning permit issues for patio only.
249 Mason	Inquiry	Questions about allowed uses for property. Provided list of permitted and special land uses.
Dunegrass	Inquiry	Concerns about damaged Frontier box. Frontier advised to contact City for fix. Advised DPW. DPW notified Frontier contact. Frontier is responsible for their own equipment. Frontier local manager notified.
336 Hoffman	Short Term Rental	STR app. New STR. Needed proof of new ownership. E-mailed owner. Proof provided. Sent to Fire Department for inspection. Failed. Reinspection fee paid. Passed reinspection. STR certificate issued.
828 Park St	Final Inspections	Final inspections completed for deck.
646 Francis St	Inquiry	Questions about STR regulations. Answered question.

Planning and Zoning Casework Continued

582 Campbell	Zoning	Zoning app for addition. Needed to submit height. Received height. Zoning permit issued. Sent copy to owner and MTS.
N/A	Inquiry	Questions about STR regulations and status of any potential changes. Answered question.
N/A	Inquiry	Questions about historic district boundaries along Lucy St and changing them. Provided resources and answered questions.
321 Water St	Zoning	Zoning app to install a pad mounted generator. Plan did not meet setback encroachment distance. Advised applicant. Plan revised to meet setback. HDC Chair agreed admin approval. Zoning and HDC permits issued.
Township STR	Health Complaint	Health Department received a vermin complaint about a rental in Saugatuck. No address on complaint. E-mailed complainant asking for address and link to VBRO listing. Complainant advised address is 3409 Elizabeth which is in the township. Forwarded info to Saugatuck Township for further action.
321 Water St	Inquiry	Questions about accessory structures and accessory dwellings. Provided resources.
900 Lake	Final Inspections	Final inspections completed for conference room space.
727 Butler	Inquiry	Answered questions regarding surveys, zoning, and historic district guidelines.
248 Culver	Inquiry	Met via Zoom to answer questions related to requesting a zoning text amendment.
592 Campbell	Inquiry	Questions about building a 8 ft fence. Neighbor at 594 Campbell agrees. Advised 6 ft is max. Advised could apply for a variance. Provided application and fees.
245 Spear	Final Inspections	Final inspections for ADU and patios completed.
145 Grant	Inquiry	Questions about new water/sewer connection and vacating Elizabeth St. Reviewed engineer feedback. Answered owner's questions.
525 Butler	Final Inspections	Final inspections for addition completed.